

TOWN OF YORKTOWN PLANNING BOARD

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

PUBLIC MEETING AGENDA VIDEO CONFERENCE

April 26, 2021
7:00 PM

This meeting will be broadcast Live on the Town's YGTV stations, Optimum channel 20 and FiOS channel 33, and on the Town's website at yorktownny.org/ygtv/live.

To participate in the video conference, please register in advance:

<https://us02web.zoom.us/meeting/register/tZUudO-sqzspGdPdcv9m4ofXUDYqkdq0tBfG>

If any interested members of the public would like to provide comments on the Public Hearings, please email the meeting host at rsteinberg@yorktownny.org. In addition, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to Robyn Steinberg at rsteinberg@yorktownny.org. Submitted written comments will be given to the Planning Board in advance of the meeting.

1. Correspondence
2. Meeting Minutes – March 22, 2021

REGULAR SESSION

3. **Albert French Subdivision
Public Hearing**

Location: 48.06-1-24; 1762 French Hill Road

Contact: Site Design Consultants

Description: Proposed 2 Lot subdivision where there are three existing residences. A Zoning Board decision from 1983 supports this subdivision.

4. **Correia Site Plan
Public Hearing**

Location: 6.17-2-65; 250 East Main Street

Contact: Site Design Consultants

Description: Proposed storage facility on 8.22 acres in the Country Commercial zone consisting of two 1 ½ story buildings of 6,000 sf each.

WORK SESSION

5. **Aspen & Mill Street Subdivision
Discussion Private Road Maintenance Agreement**

Location: 16.05-1-13, 13.1, 13.3; 3802-3818 Mill Street

Contact: Allan Rothman

Description: Review and acceptance of proposed private road maintenance agreement.

6. **Pappous Greek Kitchen
Proposed Outdoor Seating**

Location: 37.14-2-67 & 68; 1983 Commerce Street

Contact: Rui Cunha

Description: Proposed outdoor seating area for 28 seats.

7. NY Self Storage – Jefferson Valley

Discussion Lighting Plan

Location: 16.08-1-4; 621 Bank Road, Jefferson Valley

Contact: Insite Engineering, Surveying & Landscape Architecture, P.C.

Description: Approved retrofit and expansion of the former Toys R Us building for a 70,435 SF self-storage facility. Proposed minor amendment to approved plan and Wetland Permit Application.

8. Envirogreen Associates

Discussion Site Plan

Location: 15.16-1-30 & 31; 1833, 1851, 1867, and 1875 East Main Street

Contact: Site Design Consultants

Description: Proposed redevelopment of a portion of the referenced property by removing one of the existing buildings and parking area, and constructing a 13,278 sf retail building with associated parking.

9. Town Board Referral

1496 Old Logging Road

Location: 47.14-1-3 & 20; 1496 Old Logging Road

Contact: Site Design Consultants

Description: Proposed new driveway from Old Logging Road East across Lot 3 to Lot 20.

10. Dell Avenue Solar Farm

Discussion Site Plan & Special Use Permit

Location: 70.15-1-2; 200 Dell Avenue

Contact: Zarin & Steinmetz

Description: Proposed 3.625MW solar array and 3.743 MW energy storage system to disturb 16 acres on 59.35 acres in the R1-160 zone.

11. Proposed Planned Design District Overlay Zones

Town Board Referral

Last Revised – April 26, 2021

Correspondence

TOWN OF YORKTOWN PLANNING DEPARTMENT

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

To: Planning Board
From: Planning Department
Date: April 23, 2021
Subject: Bellamy Subdivision
379 Hallocks Mills Road
SBL: 37.20-1-38

The Planning Board had requested an additional site meeting with the applicant, Planning Department, Town Engineer, and Highway Superintendent, however it then snowed and was not safe to make a site visit. When would you like to schedule a site visit before the next meeting? A site meeting on a weekday may make more sense.

Robyn Steinberg

From: Schwalbe, Gerhard M. <jschwalbe@divneytungschwalbe.com>
Sent: Wednesday, April 21, 2021 11:19 AM
To: Robyn Steinberg; John Tegeder
Cc: Brian G. Koffler; Michael Koffler; David Steinmetz; Maiello, Donna M.
Subject: Shrub Oak International School
Attachments: 824 21-04-08 SOIS PB Site Walk Proposed MP Figure.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Morning John and Robyn,

The Applicant would like to be included on the April 26th Planning Board meeting agenda to discuss the Shrub Oak International School Site Plan and any comments the Planning Board may have from the recent site walk. Please let us know if you need any additional information. Attached is a plan of the site improvements we reviewed at the site walk.

Best Regards,

Gerhard (Jerry) M. Schwalbe, P.E.

Divney Tung Schwalbe, LLP

One North Broadway

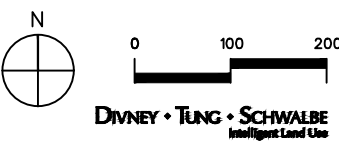
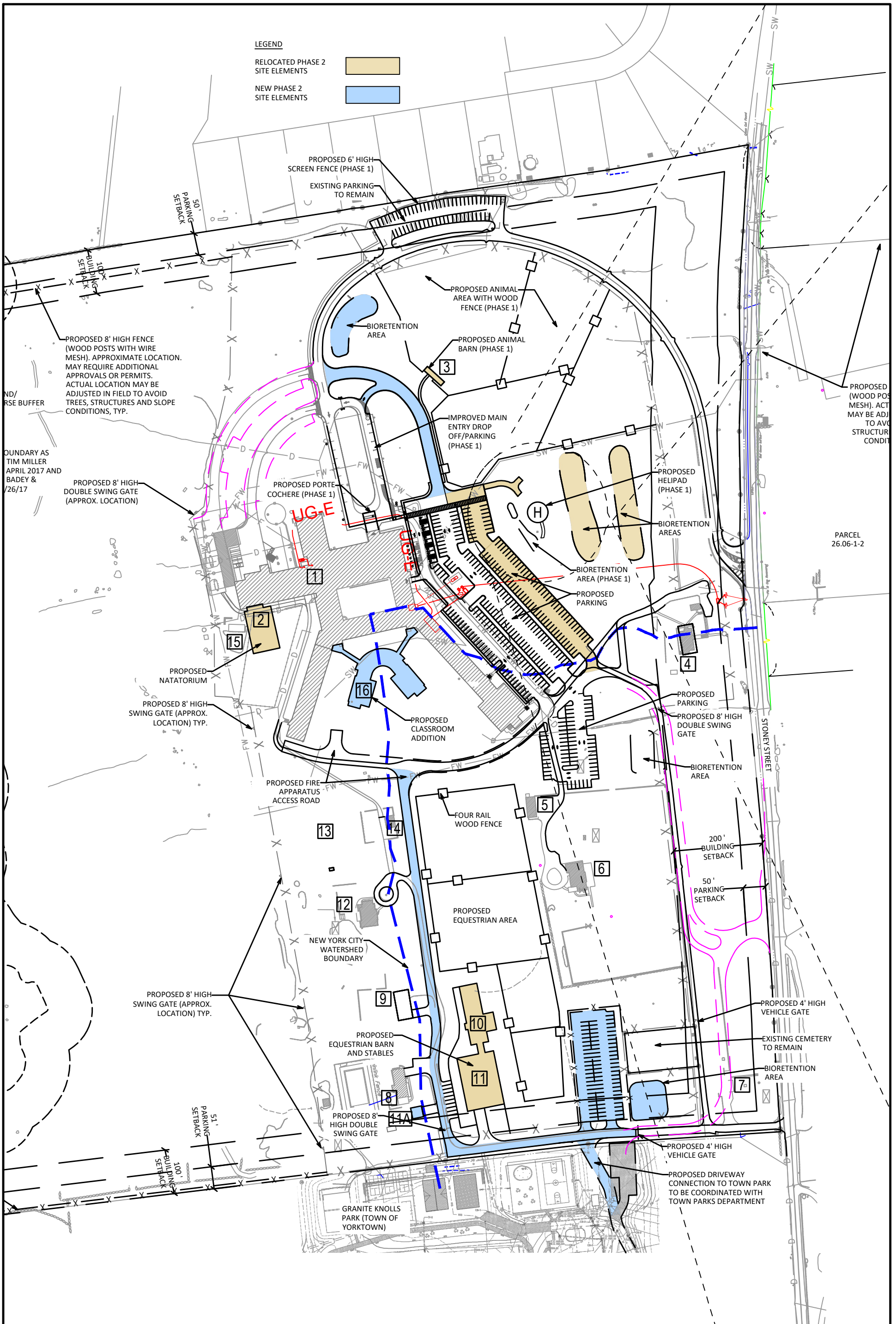
White Plains, New York 10601

(914) 428-0010

<http://www.divneytungschwalbe.com>

LEGEND

- RELOCATED PHASE 2 SITE ELEMENTS
- NEW PHASE 2 SITE ELEMENTS



PROPOSED MASTER PLAN

SHRUB OAK INTERNATIONAL SCHOOL
TOWN OF YORKTOWN, NY

FIGURE NO. 1
DATE: 04/08/21

March 10, 2021

Mr. Richard Fon, Chairman
and Members of the Planning Board
Yorktown Community and Cultural Center (YCCC)
1974 Commerce Street, Room 222
Yorktown Heights, New York 10598

RECEIVED
PLANNING DEPARTMENT

MAR 10 2021

TOWN OF YORKTOWN

Re: Shrub Oak International School
3151 Stony Street
Section 26.05, Block 1, Lot 4

Dear Chairman Fon and Members of the Planning Board:

On behalf of the Shrub Oak International School (School), we are pleased to submit Conceptual Architectural and Site Plans reflecting several modifications to the previously approved Site Plan. Prior to making a formal request for a Site Plan Amendment, we respectfully request a review and discussion of the modifications at your next scheduled meeting on March 22, 2021. As you may recall, on May 21, 2018, the School received approval for an amended Site Plan to provide for phased construction of the School.

Since that time, much of the School's initial interior renovations have been completed and the School has been open and operating since September 1, 2018. The School remained open during most of last year and is currently operating with approximately 42 boarding and day students. Given the age and condition of the existing School building, the School has had to reexamine and modify some of the proposed building renovation work and has retained the local firm of KG+D Architects to lead in the design of the remaining building spaces as well as other ongoing renovations and facility improvements. The external building changes include the addition of a future classroom building located in the south courtyard and relocating the proposed pool house building to the west side of the School building. Together with KG+D Architects, our respective firms have prepared the attached conceptual plans to illustrate the proposed improvements and modifications to the approved Site Plan. Other modifications to the Site Plan include the following:

Mr. Richard Fon, Chairman and Members of the Planning Board
Re: Shrub Oak International School

March 10, 2021
Page 2

1. Equestrian Center – Adjust location slightly and provide more detail on the building design.
2. Animal Barn – Locate the small animal barn north and closer to the paddocks.
3. Parking Areas – Consolidate parking to the east of the building to improve staff access to the building at the primary staff entrances.
4. Parking Access – A new driveway connection, to the north of the oval, away from the building's main entrance at the oval to reduce vehicle conflicts.
5. Secondary Driveway Access – Eliminate the secondary access driveway to Stony Street and provide a new left-turn lane at the main driveway entrance to be constructed when the traffic demand warrants the need for the left-turn lane.
6. Granite Knolls Parking – Provide a 62-car overflow gravel parking area on the School site for the Town's use when needed. A new driveway connection will be extended from the existing southern School driveway into the Granite Knolls site to allow for a safe access.
7. Emergency Access – Portions of the internal School driveways located on the west and south side of the School will be widened and paved to a minimum width of 20 feet to allow emergency access both ways from the School and from Granite Knolls.

We will also review the remaining work currently underway to complete the Phase 1 improvements.

Should you need any additional information before the meeting, please let us know. We look forward to meeting with the Board at your March 22nd Meeting.

Very truly yours,

DIVNEY TUNG SCHWALBE, LLP



Gerhard M. Schwalbe, PE
Partner

Enclosures

cc: Brian Koffler
David Steinmetz, Esq.
Erik Kaeyer, AIA
Donna Maiello, LA

Draft Minutes

Albert French Sub Public Hearing

State Environmental Quality Review
NEGATIVE DECLARATION
 Notice of Determination of Non-Significance

Project Number _____

Date: _____

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The _____ as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

SEQR Status: Type 1 **G**
 Unlisted **G**

Conditioned Negative Declaration: **G** Yes
 G No

Description of Action:

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

For Further Information:

Contact Person:

Address:

Telephone Number:

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SUBDIVISION PLAT TITLED
PRELIMINARY SUBDIVISION MAP
PREPARED FOR ALBERT A. & DEBORA T. FRENCH**

RESOLUTION NUMBER: #21-

DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, Kincart, LaScala, Bock, and Garrigan the following resolution was adopted:

WHEREAS, in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a subdivision plat titled, "Preliminary Subdivision Map prepared for Albert A. & Debora T. French," prepared by Ward Carpenter Engineers, Inc., dated February 8, 2021, was submitted to the Planning Board on behalf of Albert French (hereinafter referred to as "the Applicant"); and

WHEREAS, the property owned by the Applicant is located at 1762 French Hill Road, Yorktown Heights, also known as Section 48.06 Block 1, Lot 24 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"), and the applicant has represented to this Board that they are the lawful owners of the land within said subdivision; and

WHEREAS, an application fee of \$1,620 for a 2 lot subdivision covering 2.182 acres has been received by this Board; and

WHEREAS, pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on <DATE>.
3. A negative declaration has been adopted on <DATE> on the basis of a Short Environmental Assessment Form dated November 24, 2020.

WHEREAS, the applicant has submitted as part of his application the following maps and documents:

1. A map, titled "Preliminary Subdivision Map prepared for Albert A. & Debora T. French," prepared by Ward Carpenter Engineers, Inc., dated February 8, 2021; and
2. A drawing, Sheet 1 of 1, titled "Minor Subdivision prepared for Al French," prepared by Site Design Consultants, dated December 28, 2020;

WHEREAS, the existing homes are on both lots of the proposed subdivision, therefore no increase in recreation needs is created by this subdivision; and

WHEREAS, the Zoning Board of Appeals Decision dated August 1, 1974 legalized the existing three structures provided the property is not subdivided into more than two parcels; and

WHEREAS, the Zoning Board of Appeals Decision dated January 27, 1983 amended the Board's 1974 decision to the extent of allowing the utilization of applicant's frontage on the adjoining lands conditioned upon the redefinition of appropriate lot lines of not more than four lots of the applicant's entire holding by the Planning Board; and

WHEREAS, the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
Conservation Board	02/19/2021

WHEREAS, the requirements of this Board's Land Development Regulations, *inter alia* Town Code Chapter 195, have been met; and

WHEREAS, a Public Informational Hearing was held in accordance with Town Code Section §195-22A(5) of the Yorktown Town Code on the said subdivision application and plat by Zoom video conference on March 22, 2021; and

WHEREAS, having reviewed all current site plans and comments from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing on the said subdivision application in accordance with Town Code Section §195-22E commencing and closing on April 26, 2021 by Zoom video conference;

BE IT THEREFORE NOW RESOLVED that the application of Albert French for approval of a subdivision plat titled "Preliminary Subdivision Map prepared for Albert A. & Debora T. French," prepared by Ward Carpenter Engineers, Inc., dated February 8, 2021, be approved subject to the following modifications and conditions and that the Chairman and Secretary of this board be and hereby are authorized to endorse this board's approval on said plat upon compliance by the applicant with such modification and additional requirements as noted. If such modifications are not made and such conditions are not fulfilled within 180 days from the date of this resolution the plat shall be deemed disapproved.

BE IT FURTHER RESOLVED, said plat map shall not be endorsed by the Planning Board until:

1. Submission of a statement signed by the Town's Tax Collector that all taxes due on this parcel have been paid.
2. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

General Development	\$720.00
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3. The plat has been reviewed by the Town Assessor.
4. Submission of the plat signed by the Westchester County Health Department.

BE IT FURTHER RESOLVED, that upon consideration by the Board the installation of street trees and sidewalks required by Town Code Sections §195-15 and §195-31 respectively, are hereby waived; and

BE IT FURTHER RESOLVED, that upon due consideration by the Board no other requirements of these regulations be modified; and

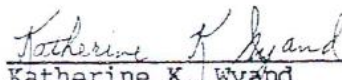
BE IT FURTHER RESOLVED, that the approved plat shall be recorded and filed in the County Clerk's office within 30 days from the signature on the plat, otherwise said approval shall become null and void.

DECISION OF THE YORKTOWN ZONING BOARD OF APPEALS
August 1, 1974

RENZLER, BEATRICE

Application for variance to legalize existing structures (3) for Certificates of Occupancy to issue to modify Decision dated June 6, 1974. Premises located east side of French Hill Road aka/Sec. 12.11, Parcel 17, Lot 23 on the Tax Map of the Town of Yorktown.

The Board having considered all of the evidence submitted to it, including the reports of the Site Committee, Planning Director and Assistant Building Inspector, all as set forth in the Minutes of the Public Hearing of August 1, 1974 and the Board having reviewed the Minutes and evidence submitted for the meeting of June 6, 1974 and it having been determined that the applicant had demonstrated proof of practical difficulty and unusual hardship and to grant the requested relief would not be depreciative of neighborhood property values nor in derogation of the Town Development Plan, it is the decision of this Board that the existing structures consisting of three (3) dwellings have Certificates of Occupancy to issue therefor and the decision dated June 6, 1974 be so amended provided the applicant continue existing driveway to accommodate the third dwelling. This decision is predicated on the subject premises not being subdivided into more than two (2) parcels.



Katherine K. Wyand
Town Clerk

STATE OF NEW YORK
COUNTY OF WESTCHESTER
Office of the Clerk of the
TOWN OF YORKTOWN

ss.

This is to certify that I, Katherine K. Wyand, Town Clerk of the Town of Yorktown in the said County of Westchester, have compared the foregoing copy of Decision of Zoning Board of Appeals

DECISION OF THE YORKTOWN ZONING BOARD OF APPEALS

January 27, 1983

FRENCH, ALBERT
#74/82

Application for variance to permit construction on two lots with 50 ft of frontage each where 100 ft is required (in conjunction with proposed subdivision). Premises located on east side of French Hill Road, aka/ Section 12.11 Parcel 17 Lot 23 on the Tax Map of the Town of Yorktown.

Upon reading and filing the Certificate of Notice, the reports of Superintendent of Highways dated November 15, 1982; Assistant Building Inspector dated December 1, 1982; Director of Planning dated December 1, 1982; The Affirmation of Albert Capellini in Support of the Application, a petition in opposition to the application, a prepared statement in opposition to the application and upon the report of the site committee and upon the testimony offered and received at the public hearing of this application, it is found and determined as follows:

The subject property consists of some 143,532 square feet off of French Hill Road where the required minimum lot size is 40,000 square feet. Applicant proposes to subdivide the subject property to create two lots, each with 50 feet of frontage where 100 feet is required.

An application for subdivision approval is currently being processed by the Planning Board, which previously rejected as unfeasible, applicant's request for three lots on the subject property. The Planning Board has preliminarily endorsed this two lot request.

The applicant, who is the contract vendee of this property, is also the owner of the adjoining property which contains some 100,800 square feet and three dwelling units. By a prior decision of this Zoning Board dated August 1, 1974, the three dwelling units on this adjoining lot were legalized, predicated on such property not being subdivided into more than two parcels.

The Board notes that the combined frontage of applicant's present and future holdings amounts to 801.77 feet, which is more than sufficient to accommodate the two new lots provided that the frontage of all applicant's holdings were allowed to be combined and that lot lines for a total of not more than four lots were drawn on applicant's combined holdings. Pursuant to the Zoning Board's 1974 decision, one of such lots would contain two dwelling units.

In deciding whether or not to grant variances, Zoning Boards are initially faced with the question of determining whether there are other means available other than a variance to overcome the difficulties presented. If the applicant were permitted to combine frontage by the partial amendment of this Board's 1974 decision, there would be no need for the variance requested in the instant application. The Planning Board could then set lot lines for applicant's combined holdings. This approach would seem to serve the dual purpose of orderly planning while at the same time avoiding the need for the variance.

The resultant lots will be in conformity with the neighborhood in terms of lot size and will not substantially effect the Town's ability to provide community services.

The Board's 1974 decision is accordingly amended to the extent of allowing the utilization of applicant's frontage on the adjoining lands conditioned upon the redefinition of appropriate lot lines of not more than four lots of the applicant's entire holding by the Planning Board. For the reasons above stated, it is not necessary to otherwise rule upon the variance request as submitted.

Filed on the 31st
day of January, 1983

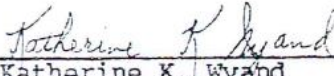

GERALDINE SCHWALB, Town Clerk

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Katherine K. Wyand
Town Clerk

STATE OF NEW YORK
COUNTY OF WESTCHESTER
Office of the Clerk of the
TOWN OF YORKTOWN

} ss.

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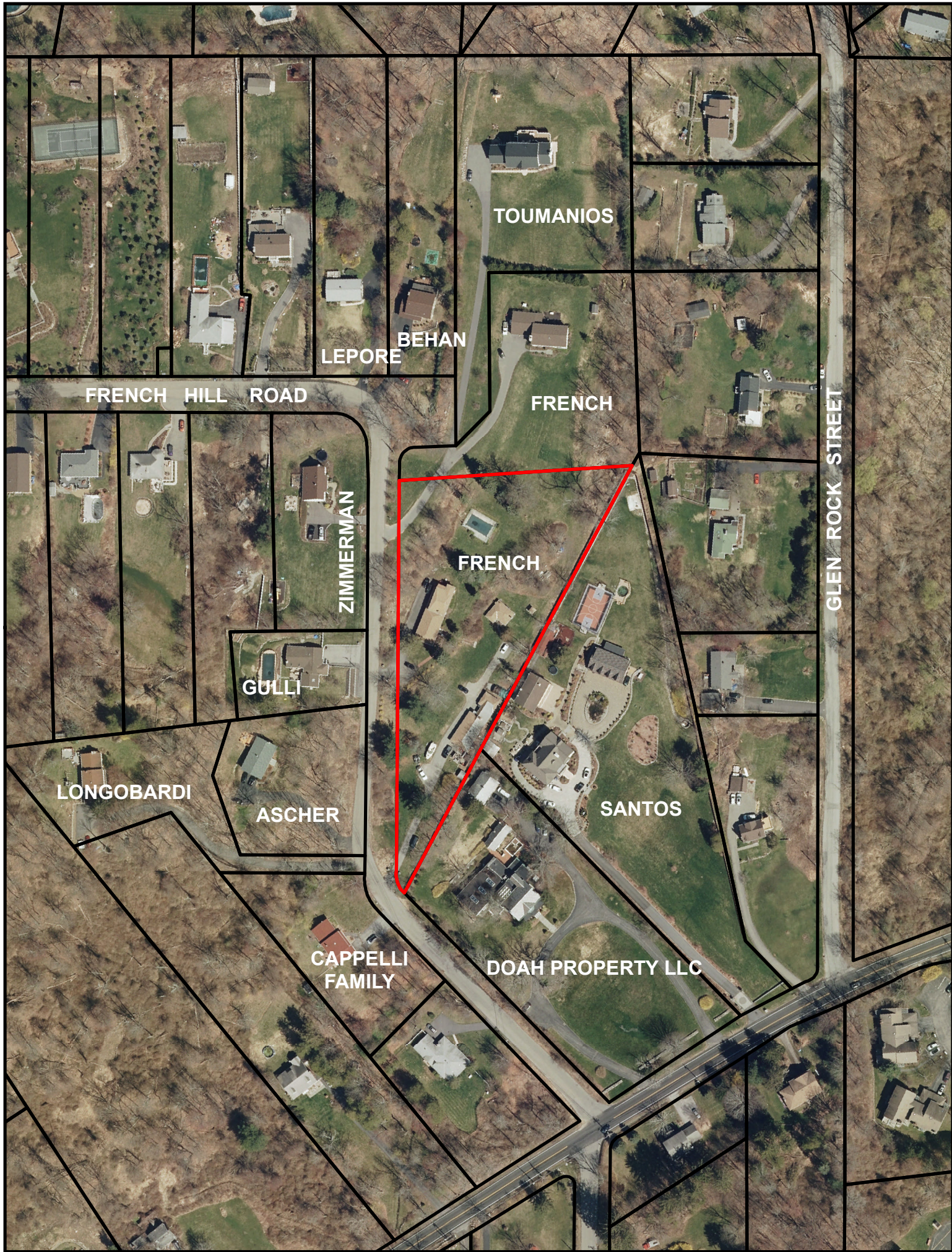
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Filed on the 31st
day of January, 1983


GERALDINE SCHWALB, Town Clerk



TOUMANIOS

BEHAN

LEPORE

FRENCH HILL ROAD

FRENCH

GLEN ROCK STREET

ZIMMERMAN

FRENCH

GULLI

LONGOBARDI

ASCHER

SANTOS

CAPPELLI FAMILY

DOAH PROPERTY LLC

Site Design Consultants

Civil Engineers • Land Planners

April 9, 2021

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

APR 12 2021

TOWN OF YORKTOWN

Re: Albert French
1762 French Hill Road

Dear Robyn:

As required by the Town of Yorktown, we have sent copies of the attached "Notice to Interested Parties" as provided by your Office, to the adjoining property owners for the above referenced project.

These Notices are regarding the Planning Board Public Hearing scheduled for April 26, 2021 and have been sent in accordance with the Town of Yorktown Code.

Enclosed please find the following items regarding this submission:

- Sample of the "Notice to Interested Parties" which reflect the project's information as detailed in the Town of Yorktown's Public Notice;
- List of adjoining property owners;
- Copy of the Yorktown Map indicating the adjoiners;
- USPS "Confirmation of Mailing" indicating confirmation of the mailing and date;
- 1 photo of "Notice" sign; and
- Sign Notification Certification.

Please review our submission and contact us as soon as possible if you have any concerns. Thank you.

Yours Truly,


Joseph C. Riina, P.E.

/cm /Enc./ sdc 18-06

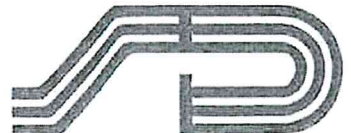
251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



NOTICE TO INTERESTED PARTIES

TO:

PLEASE TAKE NOTICE that the Planning Board of the Town of Yorktown will hold a **Public Hearing on Monday, April 26, 2021 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of Albert French for approval of 2 lot subdivision with plat titled, "Preliminary Subdivision map prepared for Albert A. & Debora T. French," prepared by Ward Carpenter Engineers, Inc., and dated February 8, 2021.

It is proposed to subdivide the property, which contains 3 residences into two lots. One lot will contain a single residence and the second lot will contain two residences. The existing residences are served by town water and private septic systems. The site is located at the address 1762 French Hill Road, also known as Section 48.06 Block 1, Lot 24 on the Town of Yorktown Tax Map. The parcel consists of 2.182 acres in the R1-40 zoning district.

Due to public health and safety concerns related to COVID-19, the Town of Yorktown Planning Board will not be meeting in-person. In accordance with the Governor's Executive Order 202.1, the April 26, 2021 Planning Board meeting will be held via video conferencing. The public will have an opportunity to see and hear the meeting live and provide comments. The meeting will also be available to view on the Town's YouTube channel.

If any interested members of the public would like to provide comments on this application, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to Robyn Steinberg at rsteinberg@yorktownny.org. Submitted written comments will be given to the Planning Board in advance of the meeting. Please check the meeting agenda posted on the town's website www.yorktownny.org for information regarding joining the video conference and any additional updated information regarding this meeting.

The above listed site plan may be reviewed on the Town's website at:
<http://www.yorktownny.org/planning/public-hearings>.

This notice is being sent to you by regular first class mail pursuant to Section '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined thereunder.

Albert French
Name of Applicant

Joseph C. Riina, P.E., Project Engineer, Site Design Consultants
By (Name and Title)

April 8, 2021
Date

Albert French

Aaron R. & Kimberly Zimmerman
1779 French Hill Road
Yorktown Hgts., NY 10598
48.06-1-19

Nick & Chrysanthe Toumanios
1776 French Hill Road
Yorktown Hgts., NY 10598
37.18-1-8

Walter & Martha Dodenhoff
1811 Glen Rock Street
Yorktown Hgts., NY 10598
37.18-1-10

Albert & Debora French
1770 French Hill Road
Yorktown Hgts., NY 10598
37.18-1-9

Stephen & Susan Dolled
1801 Glen Rock Street
Yorktown Hgts., NY 10598
48.06-1-29

Anthony Santos Revocable Trust
c/o Kashyap Bakhai
Morrison, Brown et al.
1450 Brickell Avenue
Miami, Florida 33131
48.06-1-26

Albert & Debora French
1770 French Hill Road
Yorktown Hgts, NY 10598
48.06-1-24

Giuseppe Gulli & Dina Dipaola-Gulli
1759 French Hill Road
Yorktown Hgts., NY 10598
48.06-1-18

Anthony R. & Michelle &
Kathryn J. Pellegrino
1743 French Hill Road
Yorktown Hgts., NY 10598
48.06-1-17

Doah Property, LLC
482 Underhill Avenue
Yorktown Hgts., NY 10598
48.06-1-24

Jason Longobardi & Keren Larkin
1737 French Hill Road
Yorktown Hgts., NY 10598
48.06-1-16

2020 Cappelli Family
Irrevocable Trust
1729 French Hill Road
Yorktown Hgts., NY 10598
48.06-1-15

Alfonse & Marjorie Schmidt
1815 Glen Rock Street
Yorktown Hgts., NY 10598
37.18-1-11

48.06-1-19
ZIMMERMAN, AARON R. &
KIMBERLY
1779 FRENCH HILL RD.
YORKTOWN HGTS., NY 10598

37.18-1-9
FRENCH, ALBERT & DEBORA
1770 FRENCH HILL RD.
YORKTOWN HGTS., NY 10598

48.06-1-24
FRENCH, ALBERT & DEBORA
1770 FRENCH HILL RD.
YORKTOWN HGTS., NY 10598

48.06-1-25
DOAH PROPERTY, LLC
482 UNDERHILL AVE
YORKTOWN HEIGHTS, NY 10598

37.18-1-8
TOUMANIOS, NICK &
CHRYSANTHE
1776 FRENCH HILL RD.
YORKTOWN HGTS, NY 10598

48.06-1-29
DOLLED, STEPHEN & SUSAN
1801 GLEN ROCK ST.
YORKTOWN HGTS., NY 10598

48.06-1-18
GULLI, GIUSEPPE &
DIPAOLA-GULLI, DINA
1759 FRENCH HILL RD
YORKTOWN HGTS, NY 10598

48.06-1-16
LONGOBARDI, JASON &
LARKIN, KEREN
1737 FRENCH HILL RD.
YORKTOWN HGTS., NY 10598

37.18-1-10
DODENHOFF, WALTER &
MARTHA
1811 GLEN ROCK ST.
YORKTOWN HGTS., NY 10598

48.06-1-26
SANTOS, ANTHONY
REVOCABLE TRUST
C/O KASHYAP BAKHAJ
MORRISON, BROWN ET AL.
1450 BRICKELL AVE.

48.06-1-17
PELLEGRINO, ANTHONY R. &
MICHELLE & KATHRYN J.
1743 FRENCH HILL RD.
YORKTOWN HGTS., NY 10598

48.06-1-15
2020 CAPPELLI FAMILY
IRREVOCABLE TRUST
1729 FRENCH HILL RD.
YORKTOWN HGTS., NY 10598

*Mami
F I
3/3/34*

37.18-1-11
Schmidt, Alfons & Marjorie
1815 Glen Rock St.
Yorktown Heights, NY 10598

Name and Address of Sender

Site Design Consultants
251-F Underhill Avenue
Yorktown Heights, New York 10598

USPS Tracking/Article Number

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Addressee (Name, Street, City, State, & ZIP Code™)

Aaron R. & Kimberly Zimmerman
 1779 French Hill Road
 Yorktown Hgts., NY 10598

Nick & Chrysanthe Toumanios
 1776 French Hill Road
 Yorktown Hgts., NY 10598

Walter & Martha Dodenhoff
 1811 Glen Rock Street
 Yorktown Hgts., NY 10598

Albert & Debora French
 1770 French Hill Road
 Yorktown Hgts., NY 10598

Stephen & Susan Dolled
 1801 Glen Rock Street
 Yorktown Hgts., NY 10598

Anthony Santos Revocable Trust
 c/o Kashyap Bakhai
 Morrison, Brown et al.
 1450 Brickell Avenue
 Miami, Florida 33131

Giuseppe Gulli & Dina Dipaola-Gulli
 1759 French Hill Road
 Yorktown Hgts., NY 10598

Anthony R. & Michelle &
 Kathryn J. Pellegrino
 1743 French Hill Road
 Yorktown Hgts., NY 10598

Postmaster, Per (Name of receiving employee)

Total Number of Pieces
 Mailed by Sender

Total Number of Pieces
 Received at Post Office

Complete in Ink

U.S. POSTAGE PAID
 YORKTOWN HEIGHTS, NY
 10598
 APR 12 21
 AMOUNT

\$5.28

R2305H130634-19



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Affix Stamp
 (for additional
 Postmark with

Type of Mail	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1. Aaron R. & Kimberly Zimmerman 1779 French Hill Road Yorktown Hgts., NY 10598							
2. Nick & Chrysanthe Toumanios 1776 French Hill Road Yorktown Hgts., NY 10598							
3. Walter & Martha Dodenhoff 1811 Glen Rock Street Yorktown Hgts., NY 10598							
4. Albert & Debora French 1770 French Hill Road Yorktown Hgts., NY 10598							
5. Stephen & Susan Dolled 1801 Glen Rock Street Yorktown Hgts., NY 10598							
6. Anthony Santos Revocable Trust c/o Kashyap Bakhai Morrison, Brown et al. 1450 Brickell Avenue Miami, Florida 33131							
7. Giuseppe Gulli & Dina Dipaola-Gulli 1759 French Hill Road Yorktown Hgts., NY 10598							
8. Anthony R. & Michelle & Kathryn J. Pellegrino 1743 French Hill Road Yorktown Hgts., NY 10598							



Mail

Firm Mailing Book For Accountable Mail

Faxsch

Check type of mail or service

- Adult Signature Required
- Priority Mail Express
- Adult Signature Restricted Delivery
- Registered Mail
- Certified Mail
- Return Receipt for Merchandise
- Certified Mail Restricted Delivery
- Signature Confirmation
- Collect on Delivery (COD)
- Signature Confirmation Restricted Delivery
- Insured Mail
- Priority Mail

Name and Address of Sender
Site Design Consultants
251-F Underhill Avenue
Yorktown Heights, New York 10598

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

1.	DOAH Property, LLC 482 Underhill Ave. Yorktown Hgts, NY 10598	Postage	(Extra Service) Fee	Handling Charge	Actual Value If Registered	Insured Value	Dye Sent if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
2.	Jason Longobardi & Keren Larkin 1737 French Hill Road Yorktown Hgts, NY 10598													
3.	2020 Cappelli Family Irrevocable Trust 1729 French Hill Road Yorktown Hgts., NY 10598													
4.	Alfonse & Marjorie Schmidt 1815 Glen Rock Street Yorktown Hgts., NY 10598													
5.														
6.														
7.														
8.														



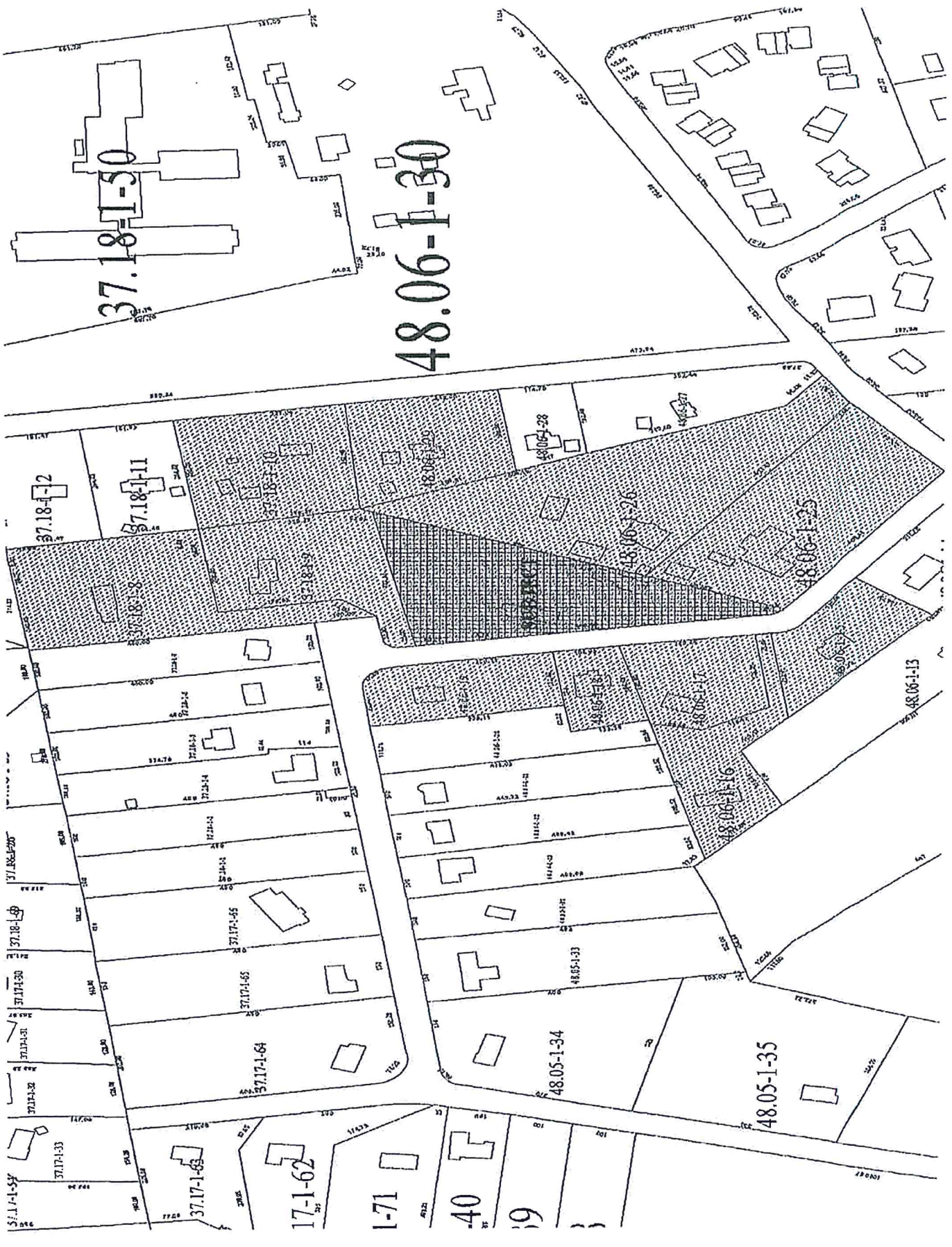
Affix Stamp Here
 (for additional copies of this receipt).
 Postmark with Date of Receipt.

Postmaster, Per (Name of receiving employee)

Total Number of Pieces
 listed by Sender

Total Number of Pieces
 Received at Post Office

Complete in Ink



37.18-1-50

48.06-1-30

37.18-1-2

37.18-1-11

48.06-1-23

48.06-1-26

48.06-1-25

48.06-1-13

48.06-1-16

48.06-1-17

48.05-1-34

48.05-1-35

17-1-62

1-71

4-40

1-19

1-1-57

37.17-1-33

37.17-1-63

APR 12 2021

TOWN OF YORKTOWN

Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 12.0 Block 07 Lot 23

Project Name: ALBERT FRENCH SUBDIVISION

Address: 1762 FRENCH HILL ROAD YORKTOWN

Applicant's Name: ALBERT + DELORIAN FRENCH

Address: 1770 FRENCH HILL ROAD YORKTOWN

Phone: 914-962-3676 H
914-879-0888 C

No. Signs Posted: 1

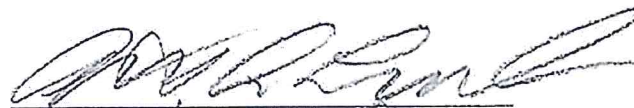
Sign #1 Location: 1762 FRENCH HILL ROAD - DRIVEWAY

Sign #2 Location: _____

Sign #3 Location: _____

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature:



Land Owner's Signature:





TOWN OF YORKTOWN PLANNING BOARD

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

APPLICATION FOR APPROVAL OF A MINOR SUBDIVISION PLAT OR PRELIMINARY APPROVAL OF A MAJOR SUBDIVISION PLAT

Date 11-24-20

1. Name of Project: Albert French

2. Tax Map Designation: Section 12.11 Block 17 Lot 23

3. Zone: R1-40 Acreage: 2.182

4. Total number of lots proposed: 2

5. Project narrative (brief description of proposed development):

It is proposed to subdivide the property which contains 3 residences in to two lots for conformity. One lot will contain a single residence and the second

lot will contain two residences. A decision was made by the ZBA in 1983 Res.# 74-82 supporting this subdivision. The existing residences are supported by

septic systems and town water. Driveways exist and gain access from French Hill Road.

6. Contact Person - CHOOSE ONLY ONE:

- | | | | |
|------------------------------------|--|------------------------------------|--|
| <input type="checkbox"/> Applicant | <input type="checkbox"/> Owner | <input type="checkbox"/> Architect | <input type="checkbox"/> Wetland Scientist |
| <input type="checkbox"/> Attorney | <input checked="" type="checkbox"/> Engineer | <input type="checkbox"/> Surveyor | <input type="checkbox"/> Landscape Architect |

7. Applicant

Name Albert French

Firm _____

Address _____

Phone _____

Fax _____

Email _____

8. Owner of Record

Name Albert French

Firm _____

Address 1770 French Hill Road, Yorktown Hgts., NY 10598

Phone 914-879-0888

Fax _____

Email frenchiea1@aol.com

9. Attorney

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

10. Engineer

Name Joseph C. Riina, P.E.
Firm Site Design Consultants
Address 251F Underhill Avenue, Yorktown Hgts., NY 10598
Phone 914-962-4488
Fax 914-962-7386
Email jriina@sitedesignconsultants.com
Lic. No. 64431

11. Surveyor

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

12. Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

13. Wetland Scientist/Specialist

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

14. Landscape Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

15. Is this project within 500 feet of the Town line? Yes No

16. Is this project within 500 feet of the Putnam County line? Yes No

17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:
- The right-of-way of any existing or proposed state or county road? Yes No
 - The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No
 - The boundary of state or county-owned land on which a public building/ institution is located? Yes No
 - An existing or proposed county drainage line? Yes No
 - The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

- Wetland Permit
- Stormwater Permit
- Tree Permit
- Planning Board special permit: _____
- Town Board variance or approval: _____
- Zoning Board of Appeals variance or special permit: Area variance Res. #74-82

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: _____

22. This parcel is in the following districts:

School District	<u>Yorktown</u>	Water District	<u>Yorktown Consolidated</u>
Fire District	<u>Yorktown Hgts</u>	Sewer District	<u>N/A</u>

23. Is a statement of easements relating to property attached? Yes None exist

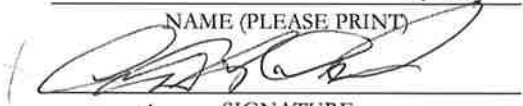
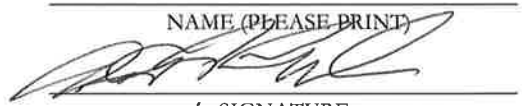
A Long Form/Full EAF with the original signature of the applicant must be attached to this application when submitted. The signature of the applicant's design professional or attorney is not acceptable.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

This application shall be considered officially submitted when all plans and data required by Land Development Regulations, including final reports from the Director of Planning and Town Engineer are received by the Board.

<p>Applicant</p> <p><u>Albert A Fench</u></p> <p>NAME (PLEASE PRINT)</p> <p><u></u></p> <p>SIGNATURE</p> <p><u>11/24/20</u></p> <p>DATE</p>	<p>Owner of Record</p> <p><u>Albert Fench</u></p> <p>NAME (PLEASE PRINT)</p> <p><u></u></p> <p>SIGNATURE</p> <p><u>11/24/20</u></p> <p>DATE</p>
---	--

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

Albert French, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

[Handwritten signature of Albert French]

Sworn before me this 24th date of November, 2020

CAROL A. MOROCCO
Notary Public, State of New York
Reg. No. 01MO6251660
Qualified in Westchester County
Commission Expires 11/21/23

[Handwritten signature of Carol A. Morocco]

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

_____, being duly sworn, deposes and says that he resides at _____ in the County of _____ and State of _____. That he is the _____ of _____ the corporation which is owner in fee of the property described in the foregoing application for _____ and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20__

Notary Public

AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

_____, being duly sworn, deposes and says that he is the agent named in the foregoing application for _____ and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20__

Notary Public

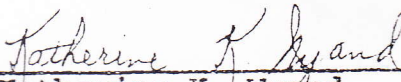
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Last updated: December 2011

DECISION OF THE YORKTOWN ZONING BOARD OF APPEALS
August 1, 1974

RENZLER, BEATRICE

Application for variance to legalize existing structures (3) for Certificates of Occupancy to issue to modify Decision dated June 6, 1974. Premises located east side of French Hill Road aka/Sec. 12.11, Parcel 17, Lot 23 on the Tax Map of the Town of Yorktown.

The Board having considered all of the evidence submitted to it, including the reports of the Site Committee, Planning Director and Assistant Building Inspector, all as set forth in the Minutes of the Public Hearing of August 1, 1974 and the Board having reviewed the Minutes and evidence submitted for the meeting of June 6, 1974 and it having been determined that the applicant had demonstrated proof of practical difficulty and unusual hardship and to grant the requested relief would not be depreciative of neighborhood property values nor in derogation of the Town Development Plan, it is the decision of this Board that the existing structures consisting of three (3) dwellings have Certificates of Occupancy to issue therefor and the decision dated June 6, 1974 be so amended provided the applicant continue existing driveway to accommodate the third dwelling. This decision is predicated on the subject premises not being subdivided into more than two (2) parcels.



Katherine K. Wyand
Town Clerk

STATE OF NEW YORK
COUNTY OF WESTCHESTER
Office of the Clerk of the
TOWN OF YORKTOWN

ss:

This is to certify that I, Katherine K. Wyand, Town Clerk of the Town of Yorktown in the said County of Westchester, have compared the foregoing copy of Decision of Zoning Board of Appeals

DECISION OF THE YORKTOWN ZONING BOARD OF APPEALS

January 27, 1983

FRENCH, ALBERT
#74/82

Application for variance to permit construction on two lots with 50 ft of frontage each where 100 ft is required (in conjunction with proposed subdivision). Premises located on east side of French Hill Road, aka/ Section 12.11 Parcel 17 Lot 23 on the Tax Map of the Town of Yorktown.

Upon reading and filing the Certificate of Notice, the reports of Superintendent of Highways dated November 15, 1982; Assistant Building Inspector dated December 1, 1982; Director of Planning dated December 1, 1982; The Affirmation of Albert Capellini in Support of the Application, a petition in opposition to the application, a prepared statement in opposition to the application and upon the report of the site committee and upon the testimony offered and received at the public hearing of this application, it is found and determined as follows:

The subject property consists of some 143,532 square feet off of French Hill Road where the required minimum lot size is 40,000 square feet. Applicant proposes to subdivide the subject property to create two lots, each with 50 feet of frontage where 100 feet is required.

An application for subdivision approval is currently being processed by the Planning Board, which previously rejected as unfeasible, applicant's request for three lots on the subject property. The Planning Board has preliminarily endorsed this two lot request.

The applicant, who is the contract vendee of this property, is also the owner of the adjoining property which contains some 100,800 square feet and three dwelling units. By a prior decision of this Zoning Board dated August 1, 1974, the three dwelling units on this adjoining lot were legalized, predicated on such property not being subdivided into more than two parcels.

The Board notes that the combined frontage of applicant's present and future holdings amounts to 801.77 feet, which is more than sufficient to accommodate the two new lots provided that the frontage of all applicant's holdings were allowed to be combined and that lot lines for a total of not more than four lots were drawn on applicant's combined holdings. Pursuant to the Zoning Board's 1974 decision, one of such lots would contain two dwelling units.

In deciding whether or not to grant variances, Zoning Boards are initially faced with the question of determining whether there are other means available other than a variance to overcome the difficulties presented. If the applicant were permitted to combine frontage by the partial amendment of this Board's 1974 decision, there would be no need for the variance requested in the instant application. The Planning Board could then set lot lines for applicant's combined holdings. This approach would seem to serve the dual purpose of orderly planning while at the same time avoiding the need for the variance.

The resultant lots will be in conformity with the neighborhood in terms of lot size and will not substantially effect the Town's ability to provide community services.

The Board's 1974 decision is accordingly amended to the extent of allowing the utilization of applicant's frontage on the adjoining lands conditioned upon the redefinition of appropriate lot lines of not more than four lots of the applicant's entire holding by the Planning Board. For the reasons above stated, it is not necessary to otherwise rule upon the variance request as submitted.

Filed on the 31st
day of January, 1983


GERALDINE SCHWALB, Town Clerk

DECISION OF THE YORKTOWN ZONING BOARD OF APPEALS
August 1, 1974

RENZLER, BEATRICE

Application for variance to legalize existing structures (3) for Certificates of Occupancy to issue to modify Decision dated June 6, 1974. Premises located east side of French Hill Road aka/Sec. 12.11, Parcel 17, Lot 23 on the Tax Map of the Town of Yorktown.

The Board having considered all of the evidence submitted to it, including the reports of the Site Committee, Planning Director and Assistant Building Inspector, all as set forth in the Minutes of the Public Hearing of August 1, 1974 and the Board having reviewed the Minutes and evidence submitted for the meeting of June 6, 1974 and it having been determined that the applicant had demonstrated proof of practical difficulty and unusual hardship and to grant the requested relief would not be depreciative of neighborhood property values nor in derogation of the Town Development Plan, it is the decision of this Board that the existing structures consisting of three (3) dwellings have Certificates of Occupancy to issue therefor and the decision dated June 6, 1974 be so amended provided the applicant continue existing driveway to accommodate the third dwelling. This decision is predicated on the subject premises not being subdivided into more than two (2) parcels.

Katherine K. Wyand
Katherine K. Wyand
Town Clerk

STATE OF NEW YORK
COUNTY OF WESTCHESTER
Office of the Clerk of the
TOWN OF YORKTOWN

ss:

This is to certify that I, Katherine K. Wyand, Town Clerk of the Town of Yorktown in the said County of Westchester, have compared the foregoing copy of Decision of Zoning Board of Appeals

with the original now on file in this office, and that the same is a correct and true transcript of such original

Decision of Zoning Board of Appeals and the whole thereof.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said Town this 21st day of August, 1974

Katherine K. Wyand
Town Clerk of the Town of Yorktown
Westchester County, N. Y.

(SEAL)

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

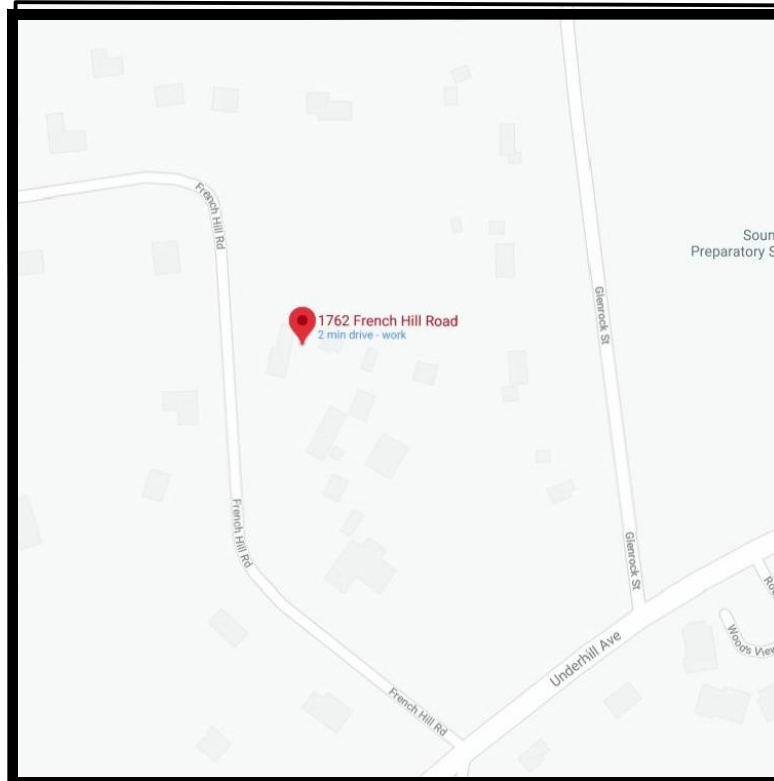
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

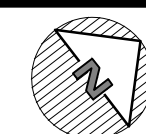
Part 1 - Project and Sponsor Information			
Albert French			
Name of Action or Project: Albert French			
Project Location (describe, and attach a location map): 1762 French Hill Road			
Brief Description of Proposed Action: It is proposed to subdivide the property which contains 3 residences in to two lots for conformity. One lot will contain a single residence and the second lot will contain two residences. A decision was made by the ZBA in 1983 Res.# 74-82 supporting this subdivision. The existing residences are supported by septic systems and town water. Driveways exist and gain access from French Hill Road.			
Name of Applicant or Sponsor: Joseph Riina, P.E. - Project Engineer		Telephone: 914-962-4488 E-Mail: jriina@sitedesignconsultants.com	
Address: 251F Underhill Avenue			
City/PO: Yorktown Heights		State: NY	Zip Code: 10598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Westchester County Department of Health - Realty Subdivision Approval			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		2.182 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Septic Systems _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Joseph C. Rina</u> Date: <u>11-24-20</u></p> <p>Signature: _____</p>		



LOCATION MAP
NOT TO SCALE

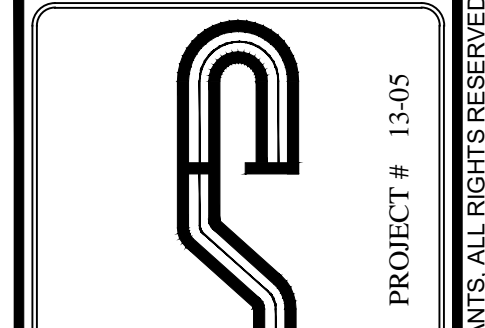


SITE DATA:

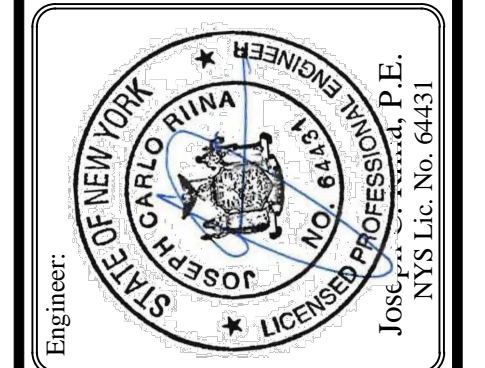
OWNER / DEVELOPER: AL FRENCH
1762 FRENCH HILL ROAD
YORKTOWN HEIGHTS, NY

PROJECT LOCATION: 1762 FRENCH HILL ROAD
YORKTOWN HEIGHTS, NY

EXISTING TOWN ZONING: R1-40 SINGLE FAMILY
PROPOSED USE: R1-40 SINGLE FAMILY
TOWN TAX MAP DATA: 2.182 ACRES (95,052 SF)
SEWAGE FACILITIES: SUBSURFACE SEWAGE DISPOSAL
WATER FACILITIES: PUBLIC WATER FACILITIES



Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com



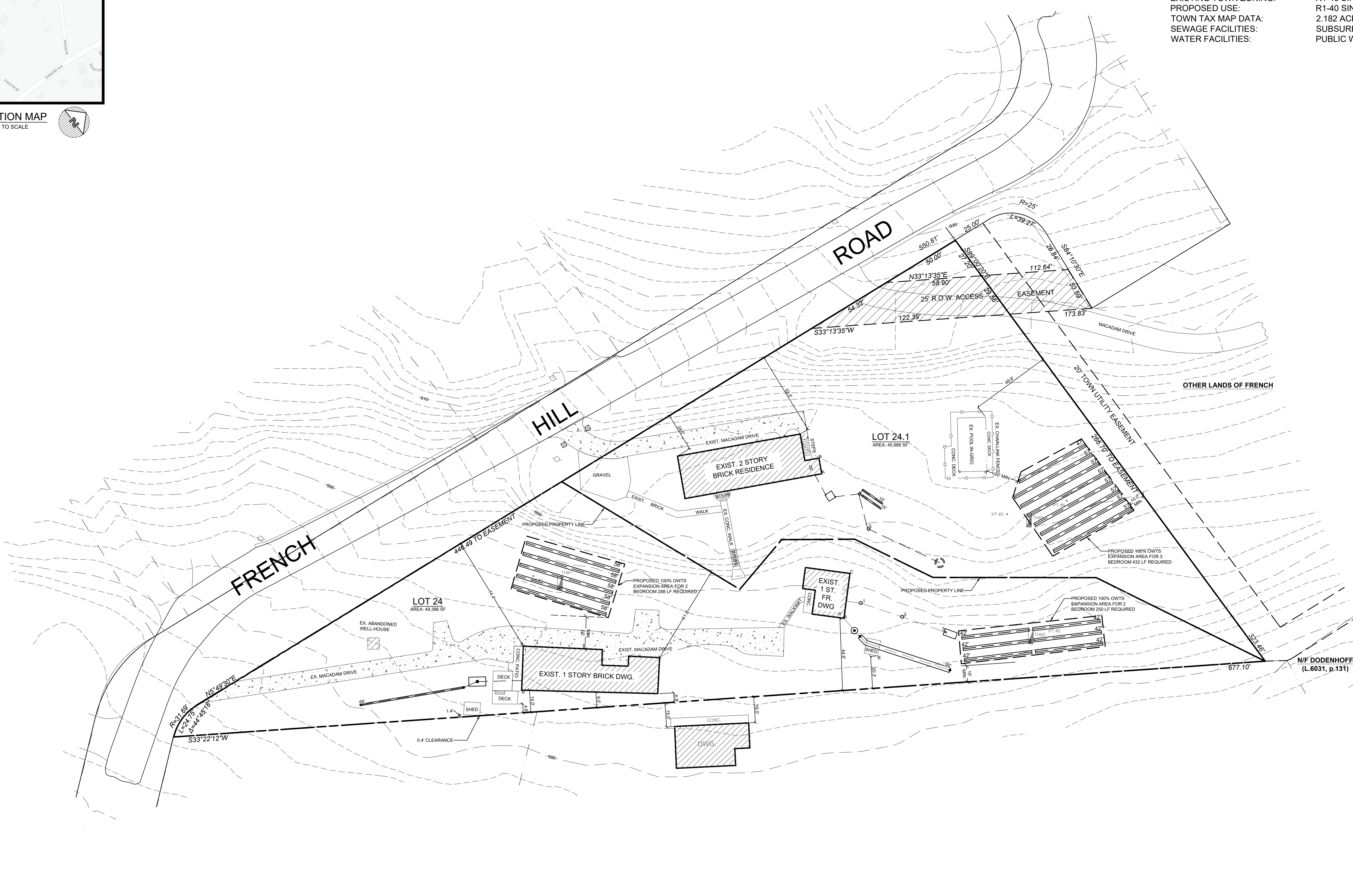
Revisions:	No.	Date	Comments

SCALE: 1" = 30'
DRAWN BY: KM
DATE: 12/28/20

SUBDIVISION PLAN

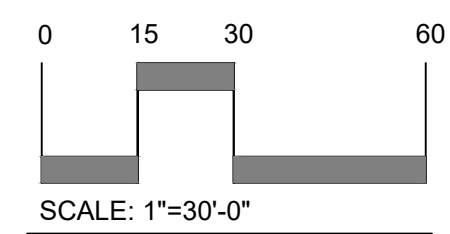
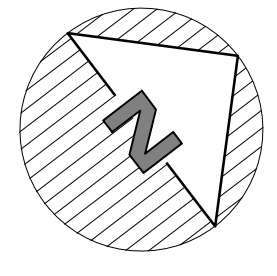
MINOR SUBDIVISION PREPARED FOR
AL FRENCH
1762 FRENCH HILL ROAD
Town of Yorktown
Westchester County, NY

Sheet 1 of 1



HEALTH DEPARTMENT SEPTIC SCHEDULE										DESIGN DATA												
LOT NO.	S.S.T.A. AREA (S.F.)	LOT AREA (S.F.)	TEST HOLE NO.	DEEP TEST PIT DESCRIPTION	TOTAL DEPTH	DEPTH TO WATER	DEPTH TO ROCK	PERCENT SLOPE AREA	PERC TEST NO.	PERC RATE (MIN/MIN)	MIN. DESIGN RATE	APPLICATION RATE (GPOD/SF)	NO. OF BEDROOMS	DESIGN FLOW RATE	TANK SIZE	REQD. TRENCH LENGTH	BANK RUN FILL DEPTH	VOLUME	CURTAIN DRAIN DEPTH	LENGTH	REMARKS	
24	2,170 S.F.	49,386 S.F.	TH#1	0-6" T.SOIL, 6"-36" MOD. COMP. MED./FINE SANDY LOAM, 36"-84" MOD. TO TIGHT COMP. MED./FINE SANDS	7'-0"	---	---	---	PT#1	19 MIN.	16-20 MIN.	0.70	2 BRM	400 GPD	1000 GAL.	288 LF	---	---	---	---	---	
24.1	1,755 S.F.	45,666 S.F.	TH#2	0-6" T.SOIL, 6"-42" MOD. COMP. MED./FINE SANDY LOAM, 42"-84" MOD. TO TIGHT COMP. MED./FINE SANDS	7'-0"	---	---	---	PT#2	15 MIN.	11-15 MIN.	0.80	1 BRM	200 GPD	1000 GAL.	125 LF	---	---	---	---	---	
	3,050 S.F.		TH#3	0-6" T.SOIL, 6"-42" MOD. COMP. FINE SANDY LOAM, 42"-84" MOD. TO TIGHT COMP. MED./FINE SANDS	7'-0"	---	---	---	PT#4	19 MIN.	16-20 MIN.	0.70	3 BRM	800 GPD	1000 GAL.	432 LF	---	---	---	---	---	

NOTE:
1. Required trench length taken from table in WCHD Rules and Regulations. (Based on Perc Test)
2. Percolation Test #3 abandoned.



SAFE DIG
Before You Dig, Drill or Blast!
Call 811
www.call811.com

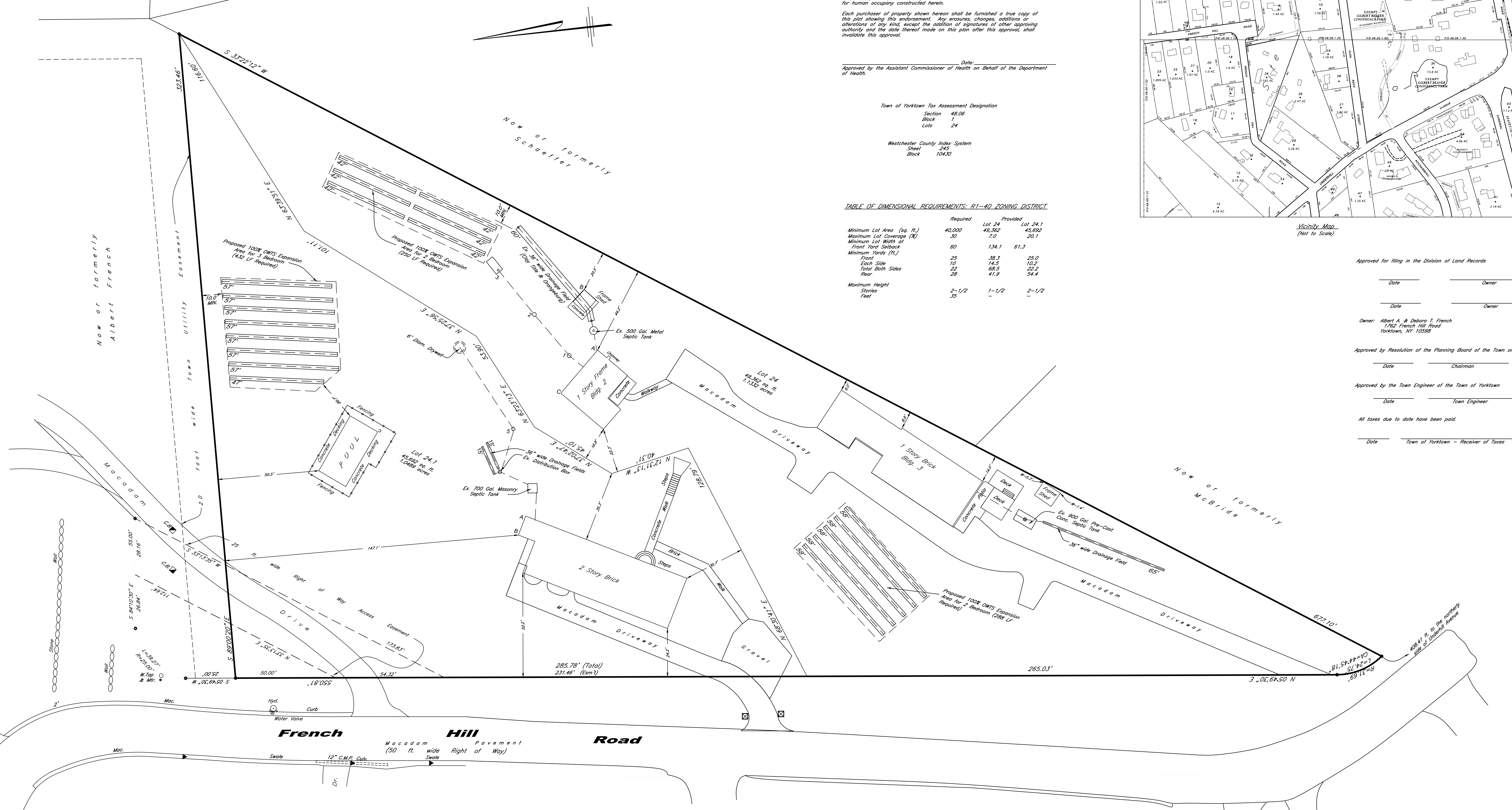
E:\2020\1815\06-AL-FRENCH\ENGINEERING\CADD\CD-18-06-AL-FRENCH\18-06-SITE-PLAN.DWG, 1/16/2017, 2:19:52 PM

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2012 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED.

Now or formerly
Dodenhoff

Now or formerly
Garafolo



Westchester County Department of Health,
Mount Kisco, New York

Approved pursuant to Chapter 873, Article X, Sections 873.951 and 873.1021 of the Westchester County Sanitary Code subject to the provision of public water supply and public sanitary sewer facilities to serve all structures intended for human occupancy constructed herein.

Each purchaser of property shown hereon shall be furnished a true copy of this plan showing this endorsement. Any erasures, changes, additions or alterations of any kind, except the addition of signatures of other approving authority and the date thereon made on this plan after this approval, shall invalidate this approval.

Date: _____

Approved by the Assistant Commissioner of Health on Behalf of the Department of Health.

Town of Yorktown Tax Assessment Designation

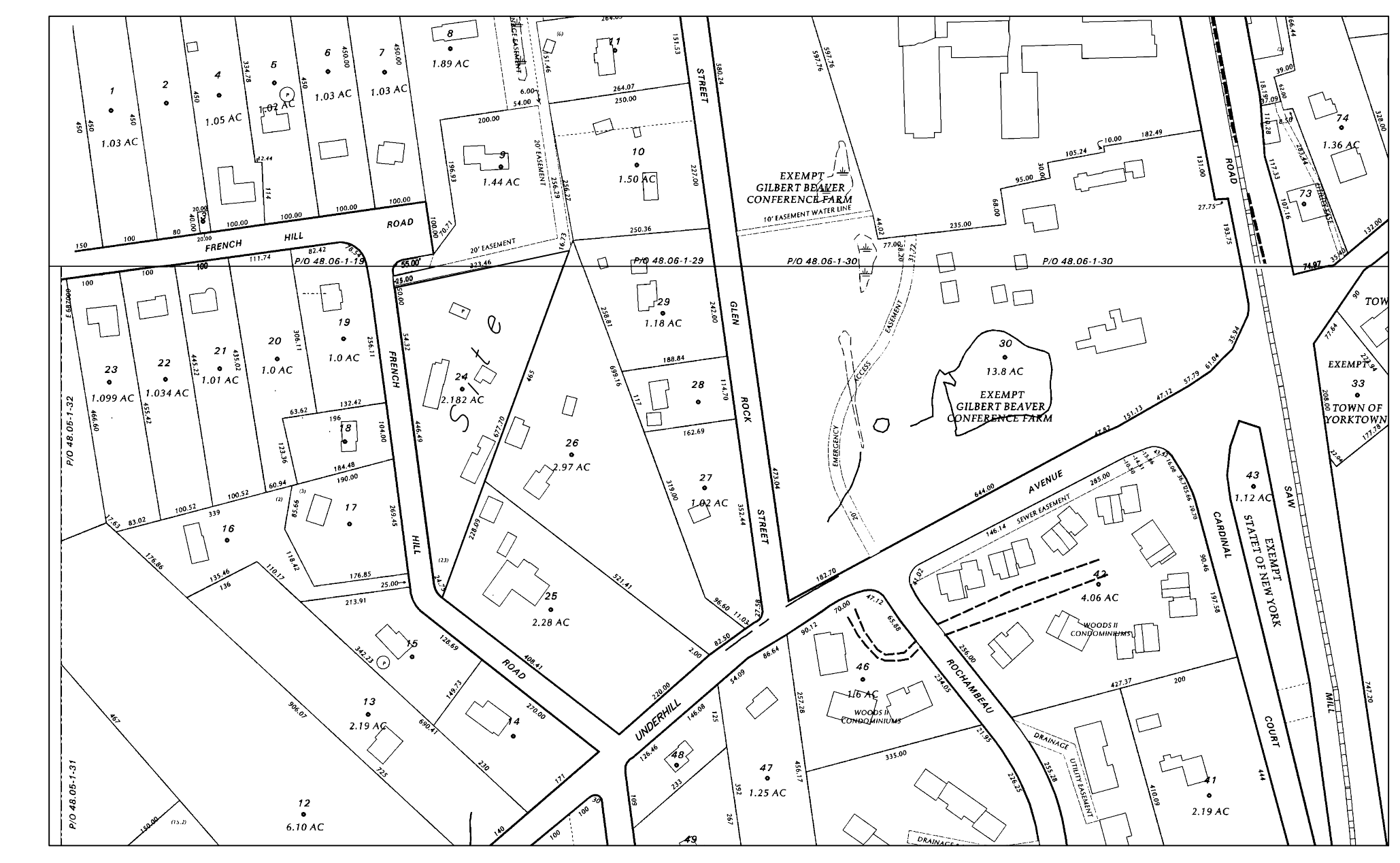
Section	48.06
Block	1
Lots	24

Westchester County Index System

Sheet	24
Block	10430

TABLE OF DIMENSIONAL REQUIREMENTS: R1-40 ZONING DISTRICT

	Required	Lot 24 Provided	Lot 24.1 Provided
Minimum Lot Area (sq. ft.)	40,000	49,362	45,692
Maximum Lot Coverage (%)	30	32	29.1
Minimum Lot Width of Front Yard Setback	60	134.1	61.3
Minimum Yards (ft.)			
Front	25	30.5	25.0
Each Side	10	14.5	10.2
Total Both Sides	20	29.0	20.2
Rear	25	41.9	54.4
Maximum Height			
Stories	2-1/2	1-1/2	2-1/2
Feet	35	-	-



Approved for filing in the Division of Land Records

Date _____ Owner _____

Date _____ Owner _____

Owner: Albert A. & Debora T. French
1762 French Hill Road
Yorktown, NY 10598

Approved by Resolution of the Planning Board of the Town of Yorktown

Date _____ Chairman _____

Approved by the Town Engineer of the Town of Yorktown

Date _____ Town Engineer _____

All taxes due to date have been paid.

Date _____ Town of Yorktown - Receiver of Taxes _____

Preliminary
Subdivision Map
prepared for
Albert A. & Debora T. French
in the Town of
Yorktown
Westchester County, N.Y.
Scale 1"=20'
Feb. 8, 2021

Site Utilities designed by:
Joseph C. Riina, P.E., President
New York State License No. 64431
Site Design Consultants
231-F Underhill Avenue
Yorktown Heights, NY 10598

HEALTH DEPARTMENT SEPTIC SCHEDULE																				
LOT NO.	S.T.A. AREA (S.F.)	LOT AREA (S.F.)	TEST HOLE NO.	DEEP TEST PIT DESCRIPTION	TOTAL DEPTH	DEPTH TO WATER	DEPTH TO ROCK	PERCENT SLOPE AREA	PERC TEST NO.	PERC RATE (MIN/IN)	PERC RATE (GPD/SF)	DESIGN DATA								
												MIN. DESIGN RATE (GPD/SF)	APPLICATION RATE (GPD/SF)	NO. OF BEDROOMS	DESIGN FLOW RATE (GPD)	TANK SIZE	RECD. TRENCH LENGTH	BANK RUN FILL DEPTH	CURTAIN DRAIN DEPTH	REMARKS
24	2,170 S.F.	49,386 S.F.	THW1	0-6" T.SOIL, 6'-36" MOD. COMP. MED./FINE SANDY LOAM, 36'-84" MOD. TO TIGHT COMP. MED./FINE SANDS	7'-0"	---	---	---	PT#1	19 MIN.	16-20 MIN.	0.70	2 BRM	400 GPD	1000 GAL.	288 LF	---	---	---	---
24.1	1,755 S.F.	45,666 S.F.	THW2	0-6" T.SOIL, 6'-42" MOD. COMP. MED./FINE SANDY LOAM, 42'-84" MOD. TO TIGHT COMP. MED./FINE SANDS	7'-0"	---	---	---	PT#2	15 MIN.	11-15 MIN.	0.80	1 BRM	200 GPD	1000 GAL.	125 LF	---	---	---	---
	3,050 S.F.		THW3	0-6" T.SOIL, 6'-42" MOD. COMP. FINE SANDY LOAM, 42'-84" MOD. TO TIGHT COMP. MED./FINE SANDS	7'-0"	---	---	---	PT#4	19 MIN.	16-20 MIN.	0.70	3 BRM	600 GPD	1000 GAL.	432 LF	---	---	---	---

NOTE:
1. Required trench length taken from table in WCHD Rules and Regulations.
(Based on Perc Test)
2. Percolation Test #3 abandoned.

The premises being Lot 23 as shown on a map entitled "Dehor Subdivision Map prepared for Albert A. & French dated Dec. 2, 1983, last revised July 11, 1984 and filed March 6, 1985 as County Clerk Map No. 21826. Also known as Lot 24, Block 1, Section 48.06 as shown on the official Tax Assessment Maps for the Town of Yorktown.

"Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law."
We, Ward Carpenter Engineers Inc., the Surveyors who made this map do hereby certify that the survey of property shown hereon was completed Dec. 23, 2020 and that this map was completed Feb. 8, 2021.

William H. Ward
Ward Carpenter Engineers Inc.
26 Momaroneck Avenue
White Plains, N.Y. 10601

Correia Site Plan Public Hearing

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Planning Department
From: ABACA
Date: April 26, 2021
Subject: Correia Enterprises LLC
SBL: 6.17-2-65 / 250 East Main Street

RECEIVED
PLANNING DEPARTMENT

APR 26 2021

TOWN OF YORKTOWN

Drawings Reviewed:

Title:	Drawing No.:	Date:	Produced By:
Landscape Plan Plan Set	Sheet 5 of 8	March 6, 2021	Frank Giuliano, Landscape Architect Site Design Consultants

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject via video-conference at the Board meeting held on Tuesday, April 20, 2021. Joseph Riina, P.E. of Site Design Consultants and Frank Giuliano, Landscape Architect were present. The ABACA has the following comments:

Site Plan

1. The Board was concerned with the amount of grading that is shown behind the new storage structures but the applicant mentioned that they were planning to the greatest extent possible to limit the grading in this area and to use the back walls of the buildings as retaining walls. The Board was pleased that they are planning to limit disturbance.
2. The Board was wondering why these structures are pushed so far back and it was discussed that the locations of these buildings to the rear of the property was to limit their view from the roadway and to maintain the front portion of the property for future development. The Board feels that the proposed locations for these buildings are acceptable.

Landscape Plan

3. The Board requests for the applicant to make every attempt possible to provide proper screening for the adjacent property and requested for the trees to be increased in size and quantity if possible so that the screening will be effective right away.
4. It was apparent during our discussion that screening within the existing vegetative area will be challenging and due to the existing stone wall and ridge line along the shared property line, it seems that what is being proposed can be effective. A section drawing showing the relationship of the buildings, terrain, and plantings to validate this would be appreciated.
5. The Board likes that the plan maintains the existing vegetative area as undisturbed between the new buildings and the roadway and likes that there are added planting areas between the garage bays to limit impervious surfaces.
6. The Board wonders if the applicant can consider swapping the red maple for a sugar maple and is wondering what are the types of trees currently found on the site. The plant selections should reflect what is growing there naturally, such as oak/hickory, beech, etc.

Architecture

7. The Board agrees that two smaller buildings proposed are better than proposing one large building.
8. From the photos shown, the existing buildings and site are quite nice, are maintained well and have a nice country feel. While view of these building may be limited, the Board feels that to the greatest extent possible, the buildings should be designed to emulate this country feel.
9. The Board requests for the applicant to submit the architectural drawings and renderings of the buildings for review once complete and looks forward to seeing these additional details.

Christopher Taormina

Christopher Taormina, RA
Chairman

cc: Applicant

Dreier Co-Chair
Phyllis Bock Co-Chair

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN CONSERVATION BOARD

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Planning Board
From: Conservation Board
Date: April 22, 2021
Re: Correira: 250 East Main Street

RECEIVED
PLANNING DEPARTMENT

APR 26 2021

TOWN OF YORKTOWN

The Conservation Board at its April 21st 2021 meeting discussed Correira located at 250 East Main Street with Joe Riina of Site Designs and Frank Giuliano. The Conservation Board has the following comments:

- The Conservation Board is satisfied with the proposed screening of the neighbors.
- The Board is appreciative of the innovative approach to stabilize and reforest the disturbed slope.
- The Board is satisfied with the proposed mitigation that was discussed and recommend the project move forward.

Respectfully submitted:

Diane Dreier

For the Conservation Board

April 9, 2021

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

APR 12 2021

TOWN OF YORKTOWN

Re: Correia Enterprises, LLC
250 East Main Street, Jefferson Valley

Dear Robyn:

As required by the Town of Yorktown, we have sent copies of the attached "Notice to Interested Parties" as provided by your Office, to the adjoining property owners for the above referenced project.


These Notices are regarding the Planning Board Public Hearing scheduled for April 26, 2021 and have been sent in accordance with the Town of Yorktown Code.

Enclosed please find the following items regarding this submission:

- Sample of the "Notice to Interested Parties" which reflect the project's information as detailed in the Town of Yorktown's Public Notice;
- List of adjoining property owners;
- Copy of the Yorktown Map indicating the adjoining;
- USPS "Confirmation of Mailing" indicating confirmation of the mailing and date;
- 1 photo of "Notice" sign; and
- Sign Notification Certification.

Please review our submission and contact us as soon as possible if you have any concerns. Thank you.

Yours Truly,


Joseph C. Rina, P.E.

/cm /Enc./ sdc 1-23



NOTICE TO INTERESTED PARTIES

TO:

PLEASE TAKE NOTICE that a **Public Hearing** will be held by the Planning Board of the Town of Yorktown on **Monday, April 26, 2021 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of Correia Enterprises, LLC for approval of a site plan with submitted plans titled, "Correia Enterprises, LLC," prepared by Site Design Consultants, dated January 23, 2020, and last revised March 6, 2021.

The applicant has proposed to construct two accessory storage buildings of 6,000 square feet each. The site is located at the address 250 East Main Street, Jefferson Valley, NY 10535, also known as Section 6.17, Block 2, Lot 65 on the Town of Yorktown Tax Map. The parcel consists of 8.223 acres in the CC and R1-80 zoning districts.

Due to public health and safety concerns related to COVID-19, the Town of Yorktown Planning Board will not be meeting in-person. In accordance with the Governor's Executive Order 202.1, the April 26, 2021 Planning Board meeting will be held via video conferencing. The public will have an opportunity to see and hear the meeting live and provide comments. The meeting will also be available to view on the Town's YouTube channel.

If any interested members of the public would like to provide comments on this application, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before and during the meeting to Robyn Steinberg at rsteinberg@yorktownny.org. Submitted written comments will be read into the record during the meeting. Please check the meeting agenda posted on the town's website www.yorktownny.org for information regarding joining the video conference and any additional updated information regarding this meeting.

The above listed site plan may be reviewed on the Town's website at:
<http://www.yorktownny.org/planning/public-hearings>.

This notice is being sent to you by registered or certified mail, return receipt requested, under Section '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined thereunder.

Correia Enterprises, LLC
Name of Applicant

Carlos Correia, President
By

April 9, 2021
Date

Correia Enterprises, LLC

Sukhdev Devgun
3799 Mahopac Street
Jefferson Valley, NY 10535
6.17-2-68

Remllots Realty
Attn: Glenn Griffin
1234 Lincoln Terrace
Peekskill, NY 10566
6.17-2-67

Rita & Kristina Nilaj
3775 Mahopac Street
Jefferson Valley, NY 10535
6.17-2-66

Jacob W. Hansmann
75 Concord Drive
Mahopac, NY 10541
6.17-2- 63 & 64

Jacob W. Hansmann
P. O. Box 237 (Rte 6 & 6N)
Jefferson Valley, NY 10535
6.17-2-72

James and Michelle Valentine
3807 Mahopac Street
Jefferson Valley, NY 10535
6.17-2-69

Correia Enterprises, LLC
1135 Williams Drive
Shrub Oak, NY 10588-1049
6.17-2-65

Jacob and Kristine Hansmann
75 Concord Drive
Mahopac, NY 10541
6.48-1-21

Gomer Prop. Assoc.
13 Gilbert Lane
Putnam Valley, NY 10579
6.17-1-24

Trilek, LLC
Sunrise Carpentry, Inc.
3 Old Tomahawk Street
Yorktown Heights, NY 10598
6.17-1-25

3J1 K Properties LLC
P. O. Box 180
Jefferson Valley, NY 10535
6.17-1-26

Roberto Martino
Marcela Toscanini
2645 Amawalk Road
Katonah, NY 10536
6.17-2-62

6.17-2-68
DEVGUN, SUKHDEV
3799 MAHOPAC ST.
JEFFERSON VALLEY, NY 10535

6.17-2-64
HANSMANN, JACOB W
75 CONCORD DR..
MAHOPAC, NY 10541

6.17-2-69
VALENTINE, JAMES &
MICHELLE
3807 MAHOPAC ST.
JEFFERSON VALLEY, NY 10535

6.17-1-24
GOMER PROP. ASSOC.
13 GILBERT LA.
PUTNAM VALLEY, NY 10579

6.17-2-62
MARTINO, ROBERTO
TOSCANINI, MARCELA
2645 AMAWALK ROAD
KATONAH, NY 10536

6.17-2-67
REMLLOTS REALTY
ATTN: GLENN GRIFFIN
1234 LINCOLN TERRACE
PEEKSKILL, NY 10566

6.17-2-72
HANSMANN, JACOB W
P.O. BOX 237 (RTE.6 & 6N)
JEFFERSON VALLEY, NY 10535

6.17-2-65
CORREIA ENTERPRISES, LLC
1135 WILLIAMS DR.
SHRUB OAK, NY 10588-1049

6.17-1-25
TRILEK, LLC
SUNRISE CARPENTRY, INC.
3 OLD TOMAHAWK ST.
YORKTOWN HGTS., NY 10598

6.17-2-66
NILAJ, RITO & KRISTINA
3775 MAHOPAC ST.
JEFFERSON VALLEY, NY 10535

6.17-2-63
HANSMANN, JACOB
75 CONCORD DR.
MAHOPAC, NY 10541

6.18-1-21
HANSMANN, JACOB &
KRISTINE
75 CONCORD DR.
MAHOPAC, NY 10541

6.17-1-26
3J1 K PROPERTIES LLC
P.O. BOX 180
JEFFERSON VALLEY, NY 10535

Name and Address of Sender

Site Design Consultants
251-F Underhill Avenue
Yorktown Heights, New York 10598

Correia

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery
- Collect on Delivery (COD)

Affix
(for at
Post)

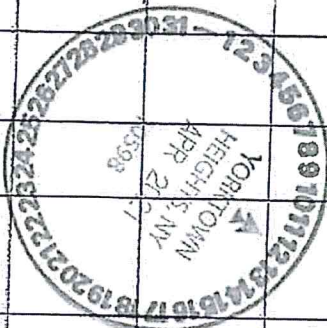


0000

U.S. POSTAGE PAID
 YORKTOWN HEIGHTS, NY
 10598
 APR 12 21
 AMOUNT
\$5.28
 R2305H130634-19

USPS Tracking/Article Number

1.	2.	3.	4.	5.	6.	7.	8.	Postage	(Extra Service) Fee	Handling Charge	Actual Value If Registered	Insured Value	Due Sender if COD	ASR Fee	ASKU Fee	KU Fee	Fee	Fee	Fee	SH Fee	
Sukhdev Devgun 3799 Mahopac Street Jefferson Valley, NY 10535	Remillots Realty Attn: Glenn Griffin 1234 Lincoln Terrace Peekskill, NY 10566	Rita & Kristina Nilaj 3775 Mahopac Street Jefferson Valley, NY 10535	Jacob W. Hansmann 75 Concord Drive Mahopac, NY 10541	Jacob W. Hansmann P. O. Box 237 (Rte 6 & 6N) Jefferson Valley, NY 10535	James and Michelle Valentine 3807 Mahopac Street Jefferson Valley, NY 10535	Correia Enterprises, LLC 1135 Williams Drive Shrub Oak, NY 10588-1049	Jacob and Kristine Hansmann 75 Concord Drive Mahopac, NY 10541														



Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit usps.com/privacypolicy.

Name and Address of Sender

Site Design Consultants
251-F Underhill Avenue
Yorktown Heights, New York 10598

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code ^(M))

1. Gomer Prop. Assoc.
13 Gilbert Lane
Putnam Valley, NY 10579
2. Trilek, LLC
Sunrise Carpentry, Inc.
3 Old Tomahawk Street
Yorktown Heights, NY 10598
3. 3J1 K Properties LLC
P. O. Box 180
Jefferson Valley, NY 10535
4. Roberto Martino
Marcela Toscanini
2645 Amawalk Road
Katonah, NY 10536
- 5.
- 6.
- 7.
- 8.

Firm Mailing Book For Accountable Mail

Affix Stamp Here
(for additional copies of this receipt).
Postmark with Date of Receipt.

Postage	(Extra Service) Fee	Handling Charge	Actual Value If Registered	Insured Value	Due Sender If COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee

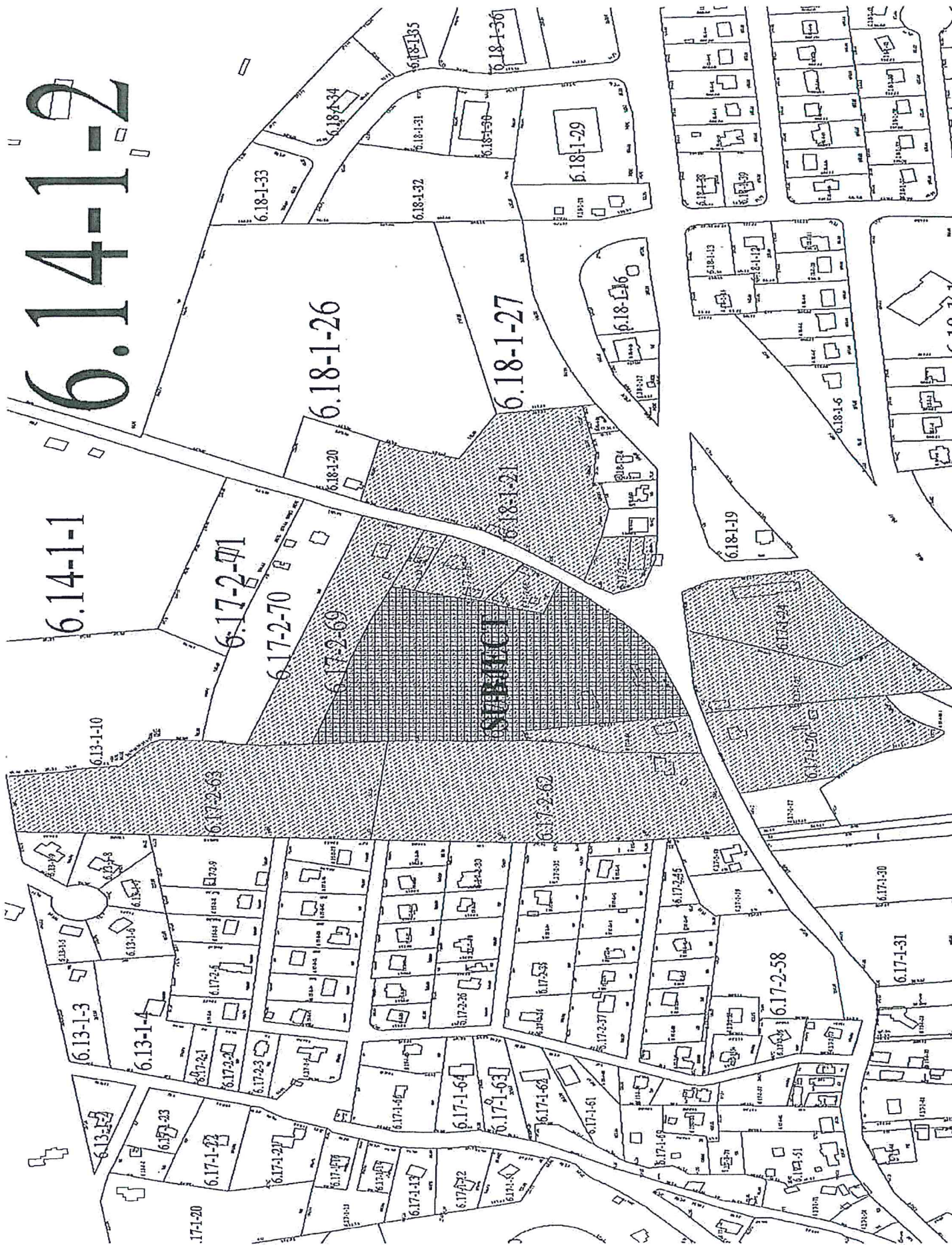
Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

Complete in Ink

6.14-1-2



Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 6.17 Parcel 2 Lot 65

Project Name: Correia Enterprises, LLC

Address: 250 East Main Street, Jefferson Valley

Applicant's Name: Carlos Correia - Correia Enterprises, LLC

Address: 250 East Main Street, Jefferson Valley

Phone: 914-490-1667

No. Signs Posted: 1

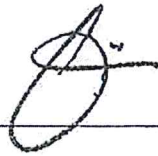
Sign #1 Location: 250 East Main Street, Jefferson Valley

Sign #2 Location: _____

Sign #3 Location: _____

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: _____



*Joseph C. Correia,
for Applicant*

Land Owner's Signature: _____



250
Correia Building
CORREIA CONTRACTORS LLC
McCoy CHIROPRACTIC
GPI EQUIPMENT

NOTICE
THIS PROPERTY IS THE
SUBJECT OF AN APPLICATION
BEFORE THE YORKTOWN
PLANNING BOARD
FOR MORE INFORMATION CONTACT THE PLANNING DEPT.
P.O. BOX 2558
WWW.YORKTOWNDEPT.GOV

250

Site Design Consultants

Civil Engineers • Land Planners

April 15, 2021

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

APR 15 2021

TOWN OF YORKTOWN

Re: Correia Enterprises, LLC
250 East Main Street, Jefferson Valley

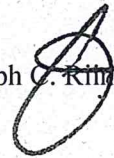
Dear Robyn:

As per your request, attached please find three copies of the Landscape Plan prepared for Correia Enterprises, LLC," dated 1/23/20, last revised 3/6/21, Sheet 5 of 8 by Frank Giuliano – Landscape Architect.

Thank you.

Yours Truly,

Joseph C. King, P.E.



/cm /Enc./ sdc 1-23

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

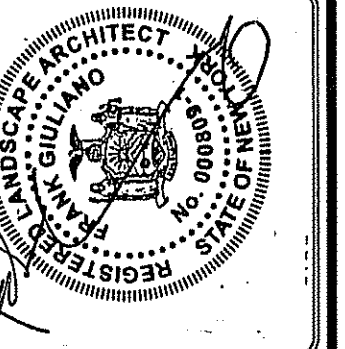
Fax (914) 962-7386





PROJECT # 01-23

LANDSCAPE PLAN
FRANK GIULIANO - LANDSCAPE ARCHITECT
8 PINE TREE DRIVE, KATONAH, N.Y. 10536
PH: 914.964.4110 E: FGIAR@AOL.COM



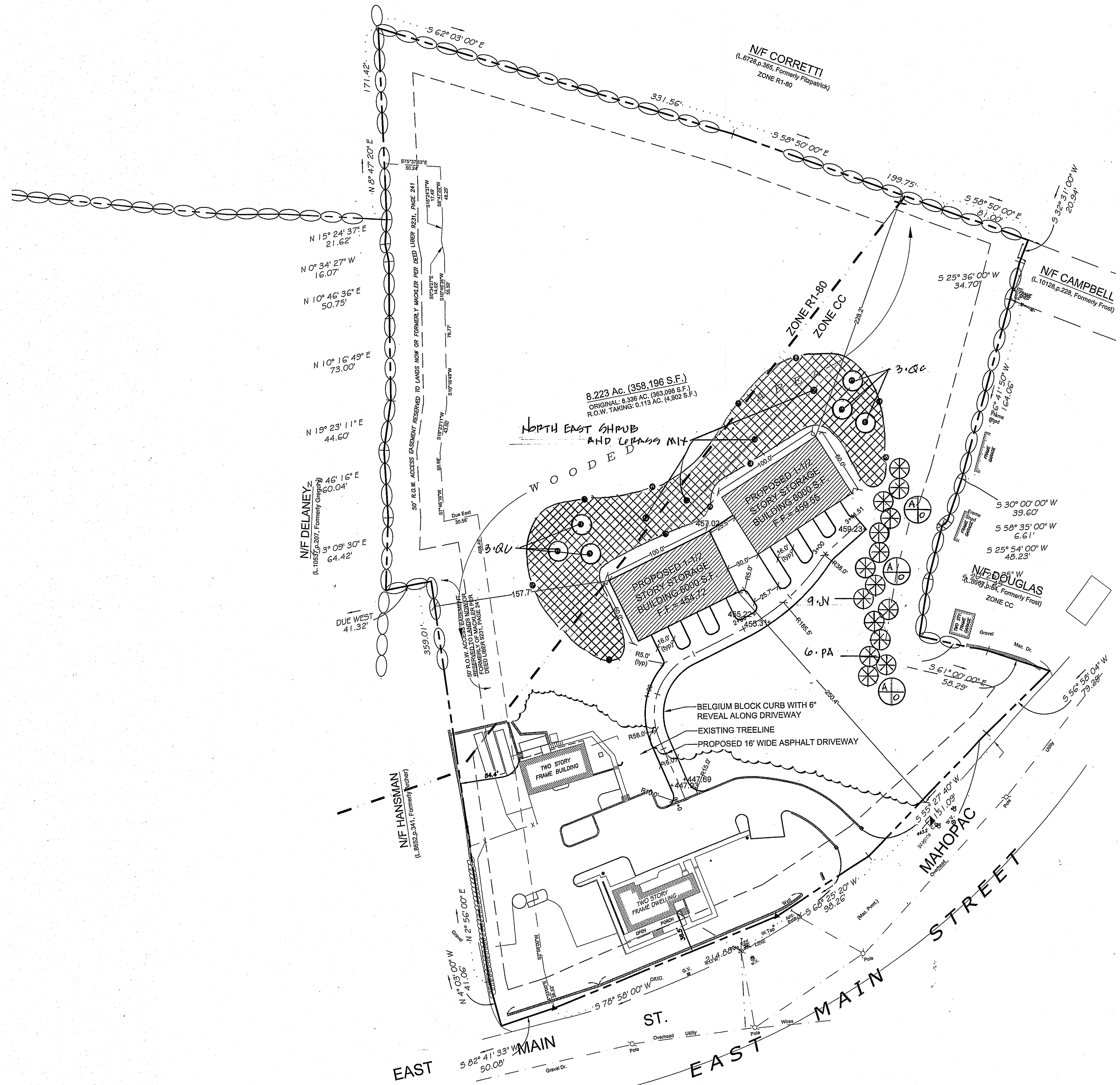
Revisions:	No.	Date	Comments:
	1	3-16-21	Plan Updates

SCALE:	1" = 50'
DRAWN BY:	FG
DATE:	1/23/20

LANDSCAPE PLAN

Correia Enterprises, LLC.
250 EAST MAIN STREET - JEFFERSON VALLEY
Town of Yorktown Westchester County, New York

Sheet 5 of 8



PLANT SCHEDULE

KEY QUAN. BOTANICAL / COMMON NAME SIZE

TREES

AO	3	Acer rubrum "October Glory" - Red Maple	3"-3 1/2" cal.
IV	9	Juniperus virginiana - Native Cedar	8'-9" HT.
PA	6	Picea glauca - Native White Spruce	8'-9" HT.
QC	6	Quercus Coccinea - Scarlet Oak	3 1/2" - 4" cal.

NORTH EAST SHRUB AND GRASS SEED MIX AREA:

55 Pounds "Northeast Shrub and Grass Seed Mix"
Apply as per Southern Tier Consulting Inc. specifications.
Entire area shall be sprayed with Round-up as per manufactures directions. Two weeks after Round up application the entire area shall be covered with 4" - 6" screened topsoil.
Seed by: Southern Tier Consulting Inc. (585) 968-3120
Email: froghome@southerntierconsulting.com
This is a mix, of Shrubs and grasses native to New York State, used for erosion control.

SPECIFICATIONS and NOTES:

GENERAL: All plants, trees and shrubs, shall meet the specifications for "plant material" as per the American Horticultural Society. **The landscape architect reserves the right to inspect all plants prior to shipping.** All plants shall be specimen quality. All plants shall be guaranteed for one full year from the time the landscaping is formally accepted by the owner.

PLANTING: All plants shall be planted in planting pits two times the diameter of the plant ball or container, and 12" deeper than the plant ball or container. **The plants shall be planted so the root flare is exposed.** Backfill for all planting pits shall be as follows: Two parts native soil, one - part screened topsoil and one - part humus. "Roots Plus" shall be added to all backfill, as per label directions.

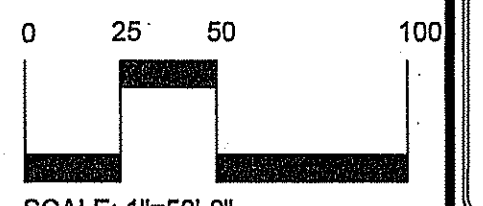
WATERING: Landscape contractor shall keep all plantings well-watered until final approval by the owner. **Thereafter, the owner shall install a drip irrigation system, or hand water all plantings until all plantings are established (approx. two years).**

MULCHING: All planting beds shall be mulched with three (3) inches of shredded cedar bark. All trees shall be mulched with three (3) inches of shredded cedar bark in a four (4) foot diameter circle around each existing tree.

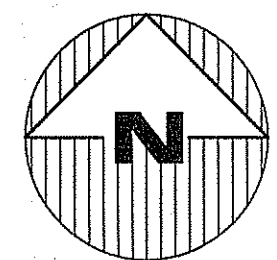
TOP SOIL: All topsoil shall be screened, native soil, free of any stones over 1" diameter. Top soil shall be spread and fine graded.

LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- PROPOSED BUILDING AND DRIVE



SCALE: 1"=50'-0"
SAFE DIG
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If you are unsure how to dig, call us for help. We have working days notice, but not more than 10 days notice.



NOTE:
THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY LINK LAND SURVEYORS, DATED JANUARY 20, 2021. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

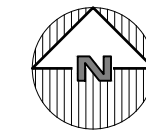
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Correia Enterprises, LLC.



LOCATION MAP
NOT TO SCALE



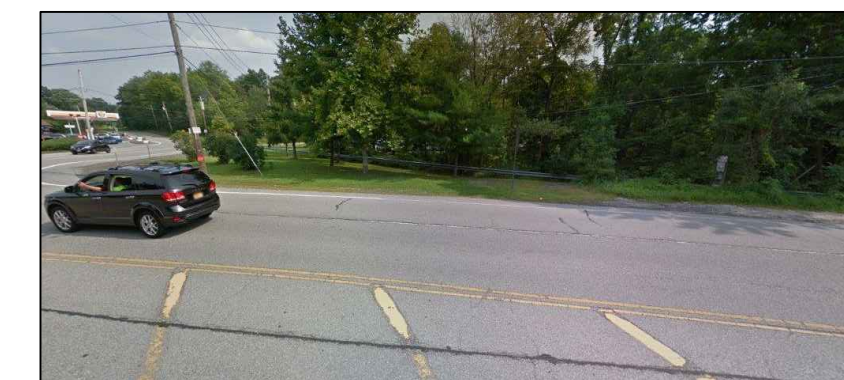
ENTRANCE VIEW ON MAHOPAC ROAD



NORTH VIEW



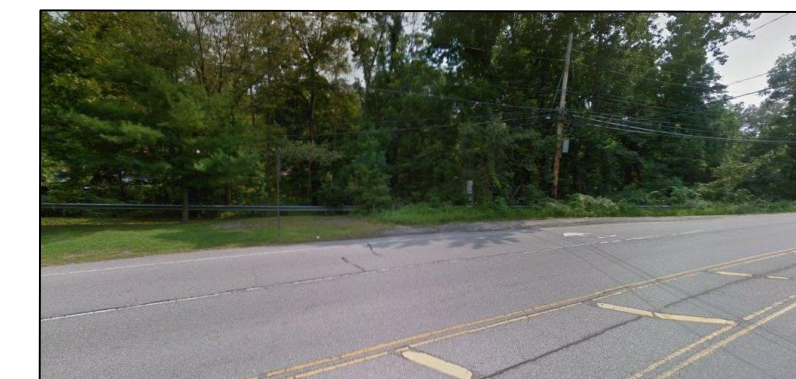
ENTRANCE VIEW ON MAHOPAC ROAD



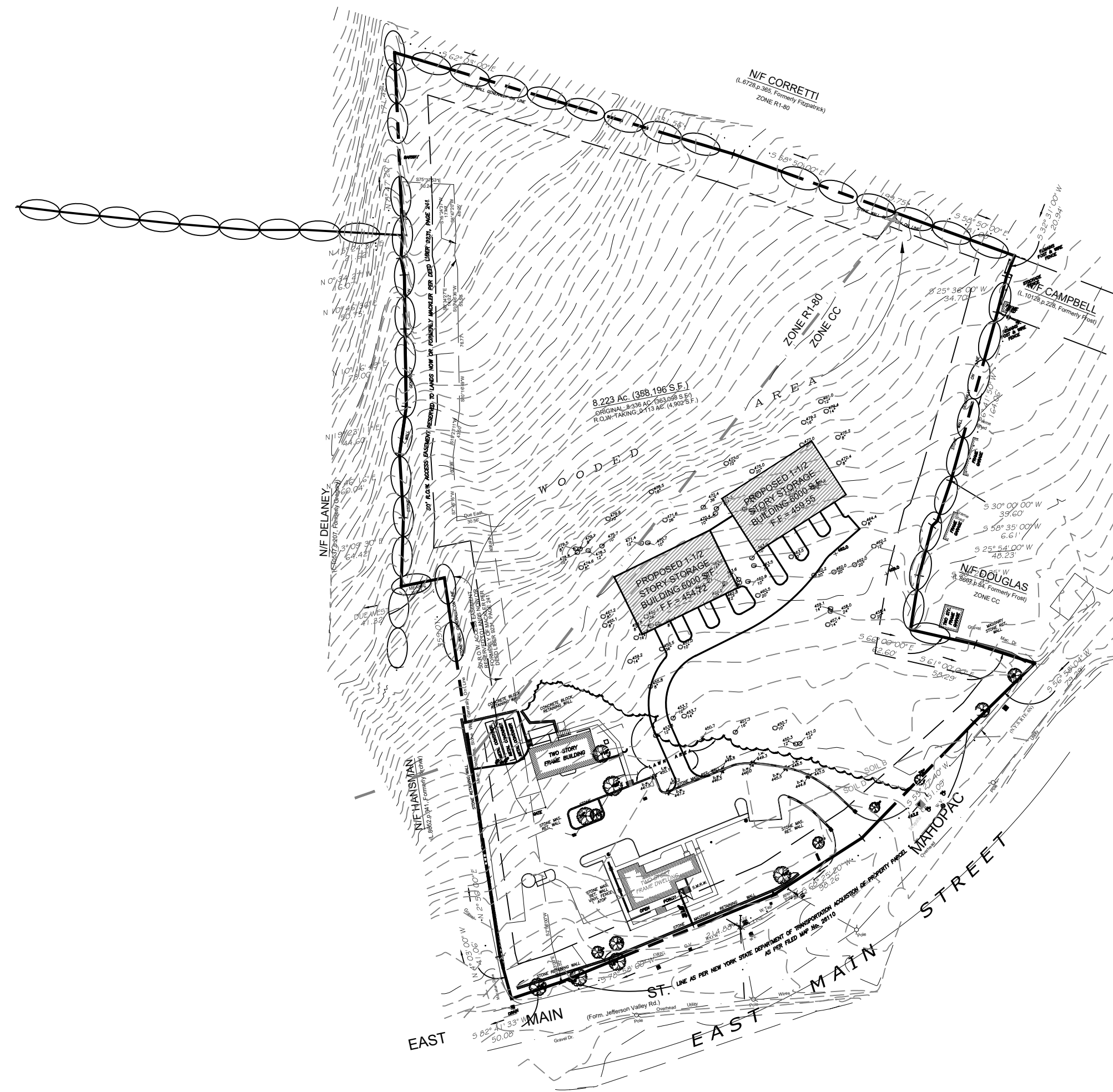
PROPERTY ADJACENT VIEW



ENTRANCE VIEW ON MAHOPAC ROAD



ENTRANCE VIEW ON MAHOPAC ROAD



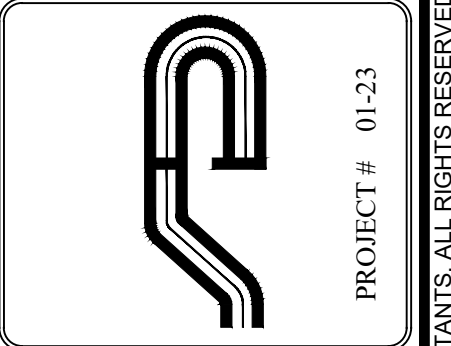
SITE DATA:

OWNER / DEVELOPER: CARLOS & LAURINDA CORREIA
 250 EAST MAIN STREET
 TOWN OF YORKTOWN, NY, 10535

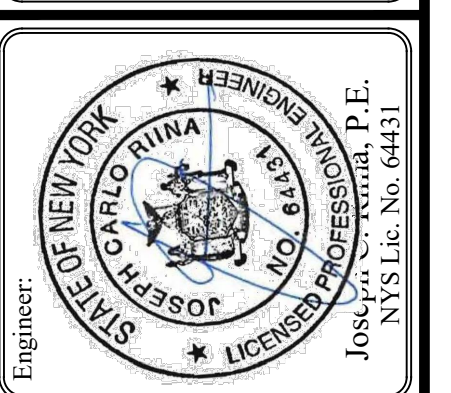
PROJECT LOCATION: 250 EAST MAIN STREET
 TOWN OF YORKTOWN, NY, 10535

EXISTING TOWN ZONING: R1-80, CC
 PROPOSED USE: CLASS. DESCRIPTION
 TOWN TAX MAP DATA: SECTION 6.17, BLOCK 2, LOT 65
 SITE AREA: 8.223 ACRES (358,196 SF)
 SEWAGE FACILITIES: SUBSURFACE SEWAGE DISPOSAL
 WATER FACILITIES: PUBLIC WATER FACILITIES

BULK & DIMENSIONAL REGULATIONS:		
COUNTRY COMMERCIAL	REQUIRED	PROPOSED
MINIMUM LOT AREA:	None	358,196 S.F.
MAXIMUM ALLOWABLE DENSITY:	For dwelling units: 1/15,000 sq. ft. of lot area = 57.2 units For commercial or mixed use structures: 0.20 F.A.R. F.A.R. = 20 x 358,196 F.A.R. = 71,639 S.F.	None Exist: 8,440 S.F. + Prop. 12,000 S.F. = 20,440 S.F. F.A.R. = 0.057
MAXIMUM BUILDING HEIGHT:	Two stories /or 35 feet	1.5 stories /or 30 feet
MAXIMUM BUILDING COVERAGE: (Principal and Accessory Building)	30% of lot area	4.53 % of lot area
LENGTH OF BUILDING:	No building shall be greater than 100 feet in length. For every 40 feet of building facade facing a public street the building facade shall be modulated such that the building is stepped back or extended forward.	100 Feet
BUILDING SETBACKS:		
FRONT YARD:	30'	250 FT.
REAR YARD:	30'	228 FT.
SIDE YARD:	15' except 20' when adjacent to a residential district.	85 FT.



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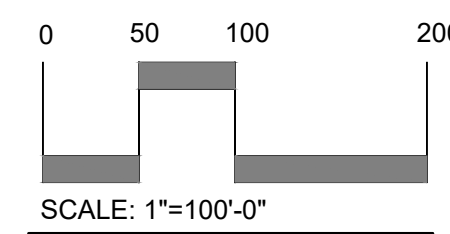
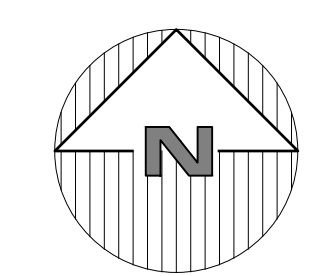


Revisions:	No.	Date	Comments:
	1	3-06-21	Plan Updates

SCALE: AS NOTED	DRAWN BY: RMS	DATE: 1/23/20
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TITLE SHEET

SITE PLAN
PREPARED FOR
Correia Enterprises, LLC.
 250 EAST MAIN STREET - JEFFERSON VALLEY
 Town of Yorktown Westchester County, New York



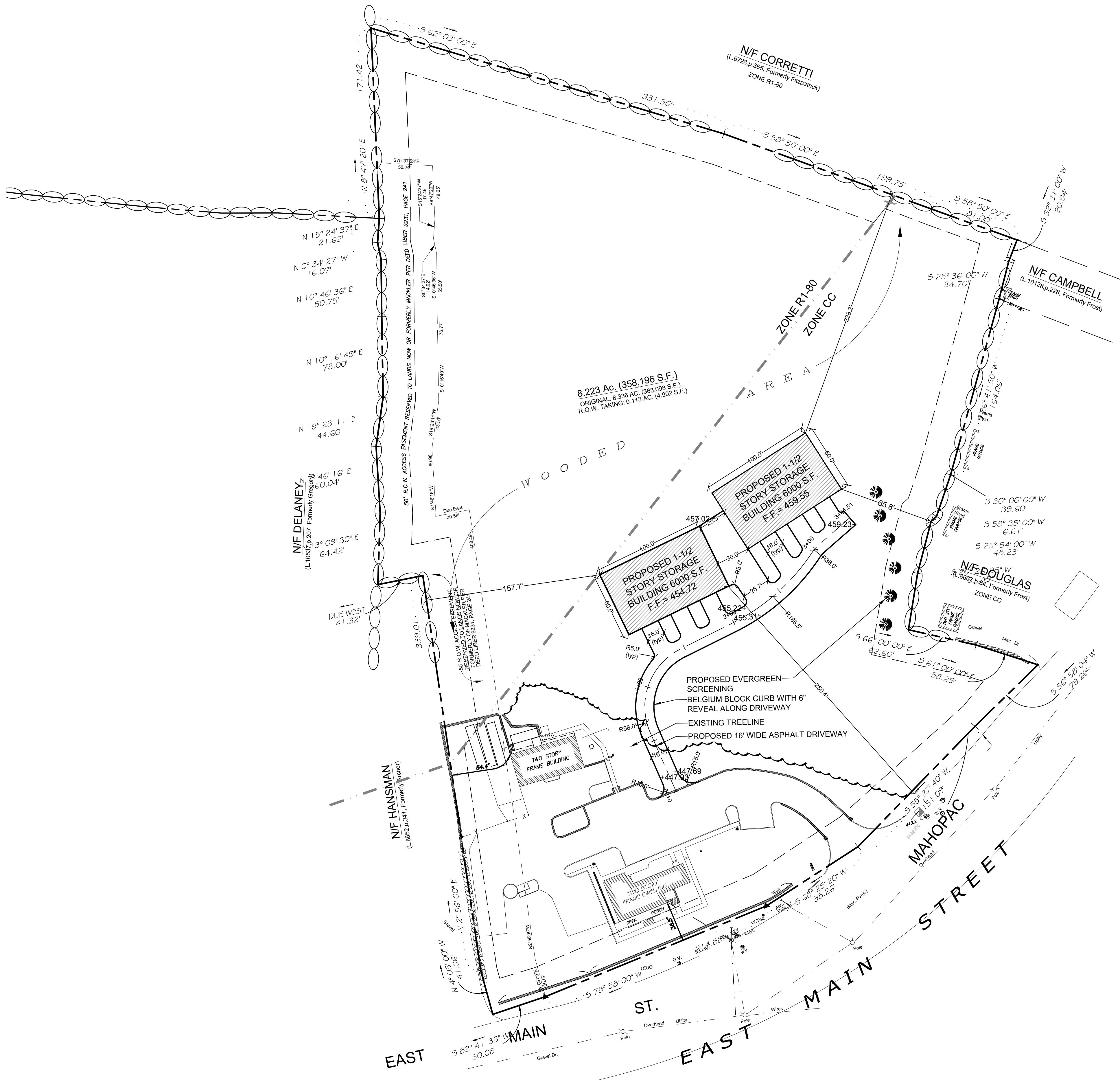
SCALE: 1"=100'-0"
SAFE DIG
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E:\2020\10-23-CORREIA\DWG\23-CORREIA-SITE-PLAN-250-EAST-MAIN-ST-10-23-20.dwg

NOTE:
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8.223 Ac. (358,196 S.F.)
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 R.O.W. TAKING: 0.113 AC. (4,902 S.F.)

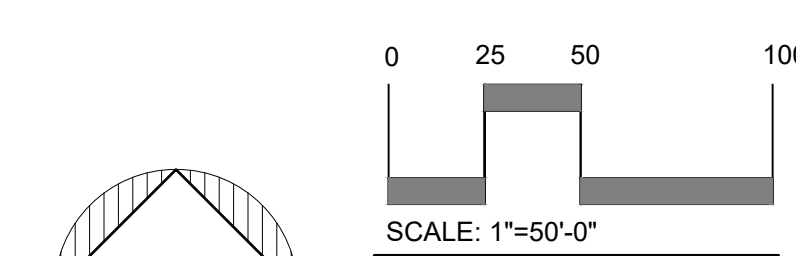
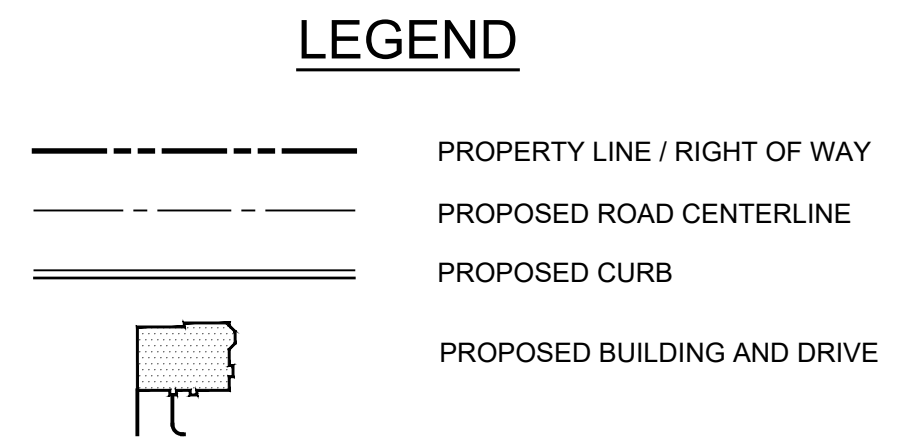
PROPOSED EVERGREEN SCREENING
 BELGIUM BLOCK CURB WITH 6" REVEAL ALONG DRIVEWAY
 EXISTING TREELINE
 PROPOSED 16' WIDE ASPHALT DRIVEWAY

PROPOSED 1-1/2 STORY STORAGE BUILDING 6000 S.F. F.F. = 454.72
 PROPOSED 1-1/2 STORY STORAGE BUILDING 6000 S.F. F.F. = 459.55

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E:\2020\10-23-CORREIA\DWG\4-23-CORREIA SITE PLAN 2-25-21.DWG, 3/8/2024 3:32:04 PM

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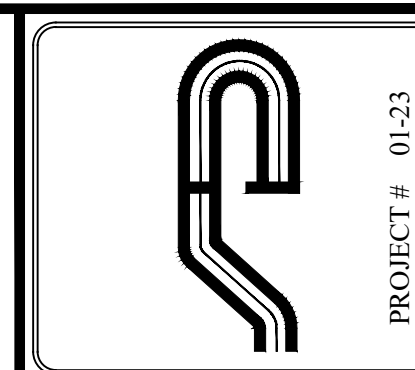
Revisions:	No.	Date	Comments:
	1	3-10-21	Plan Updates

SCALE: 1" = 50'
 DRAWN BY: RMS
 DATE: 1/23/20

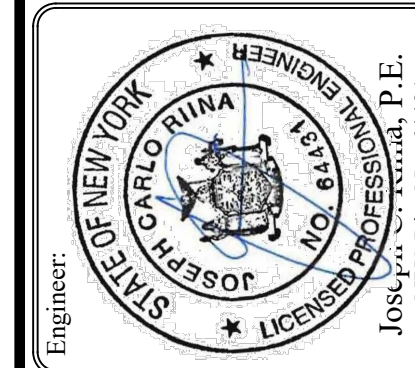
CONCEPTUAL SITE PLAN

SITE PLAN PREPARED FOR
Correia Enterprises, LLC.
 250 EAST MAIN STREET - JEFFERSON VALLEY
 Town of Yorktown Westchester County, New York

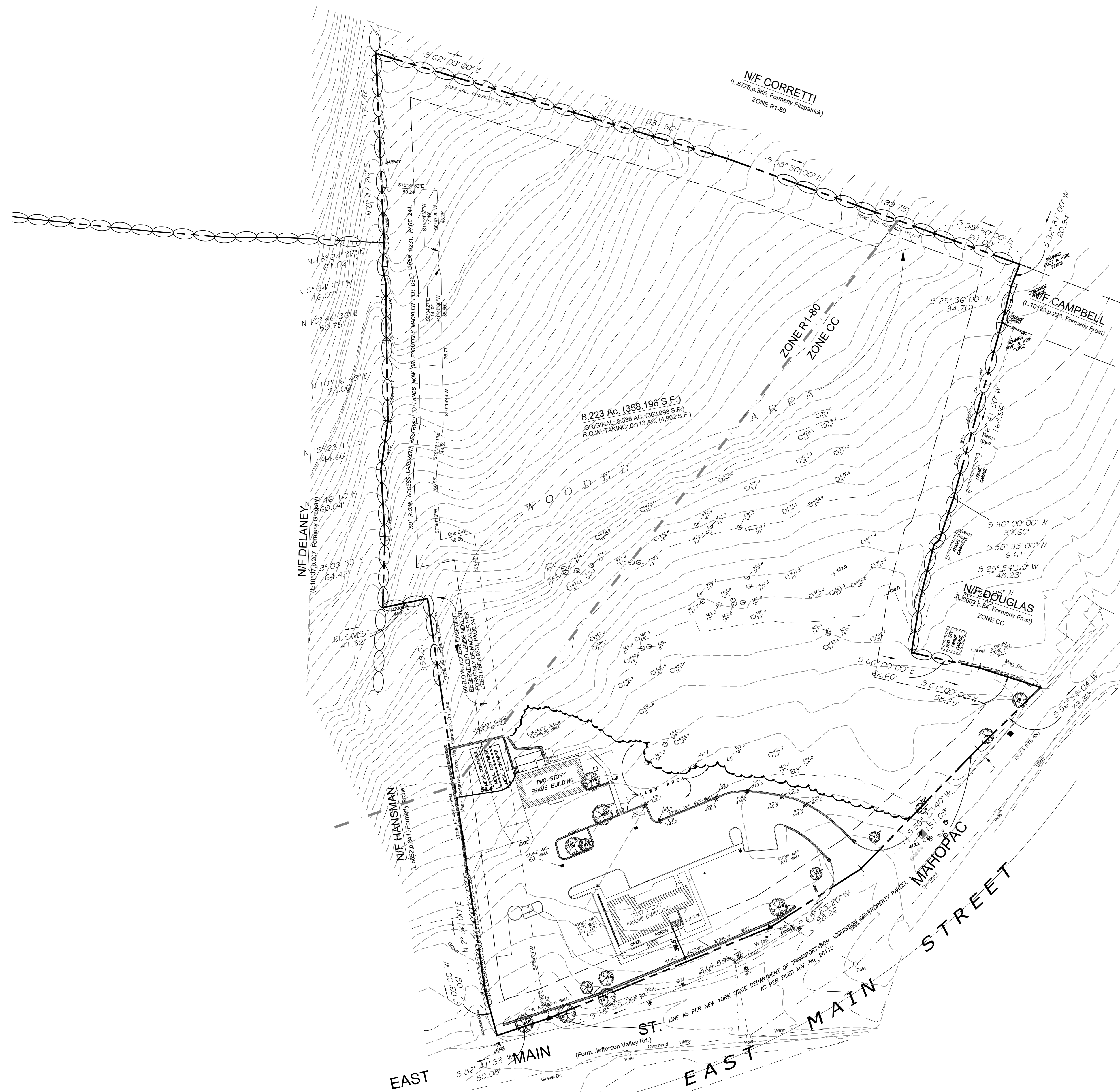
Sheet 1 of 7



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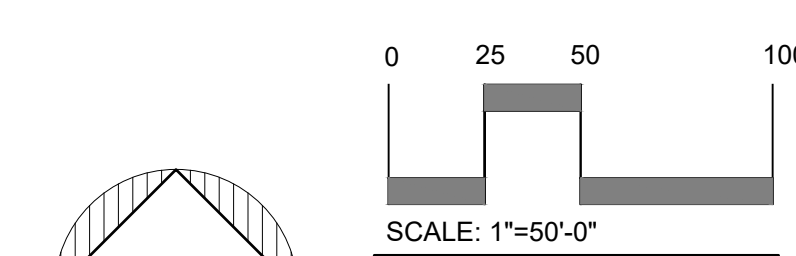


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LEGEND

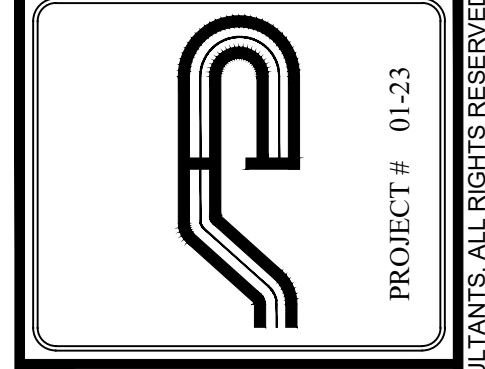
--- 222	EXISTING GRADING
x 222.8	EXISTING SPOT GRADE
---	PROPERTY LINE / RIGHT OF WAY
- - - -	EDGE OF WETLAND
- - - -	100' WETLAND BUFFER
W	EXISTING WATER LINE
— [] —	EXISTING DRAINAGE INLET
— (S) —	EXISTING SANITARY LINE



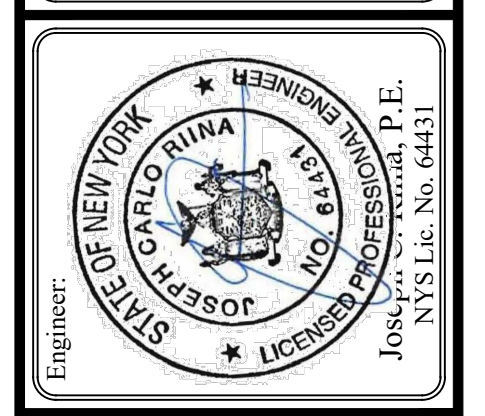
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Revisions:	No.	Date	Comments:
	1	3-06-21	Plan Updates

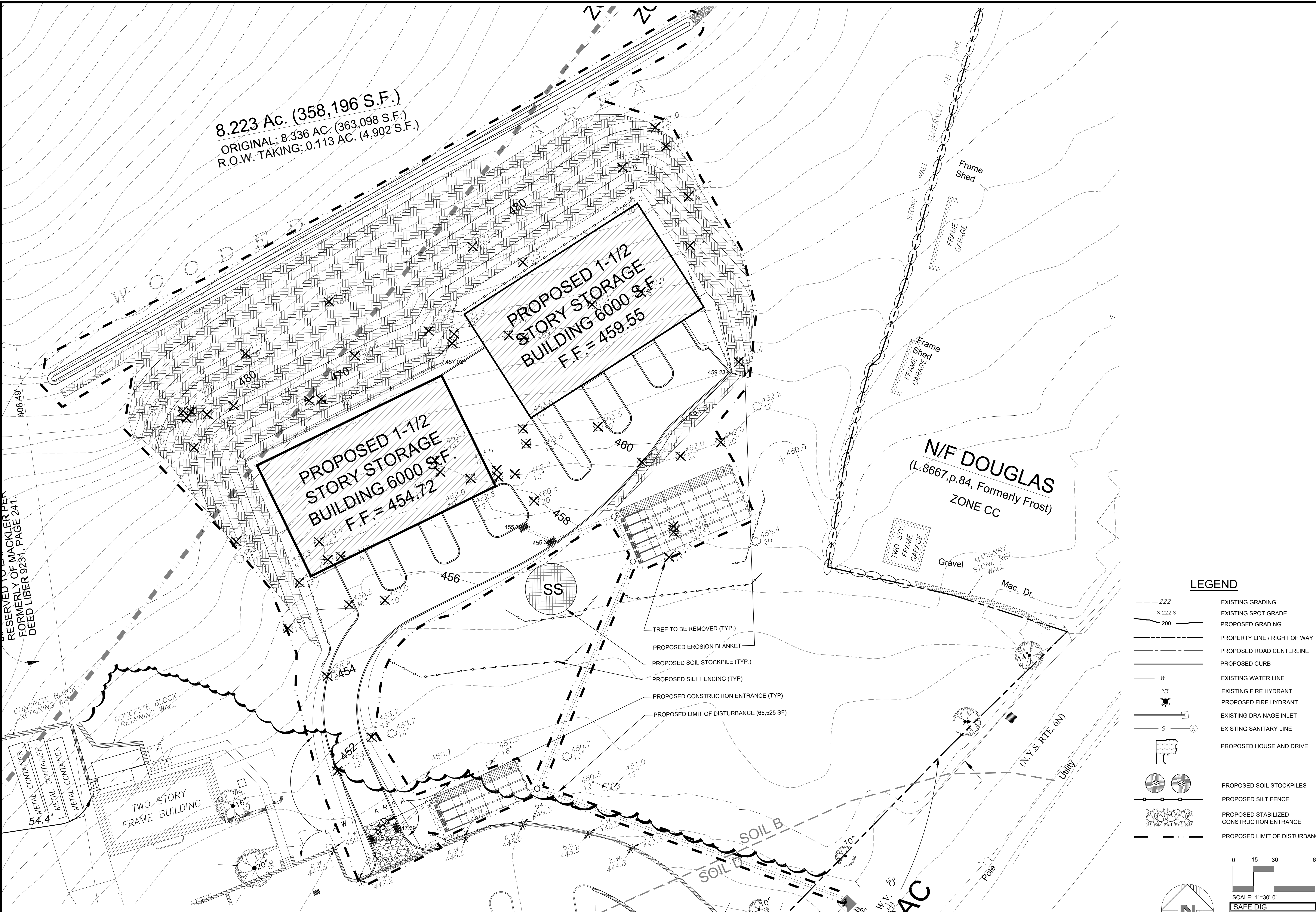
SCALE:	1" = 50'
DRAWN BY:	RMS
DATE:	1/23/20

EXISTING CONDITIONS PLAN

SITE PLAN PREPARED FOR
Correia Enterprises, LLC.
 250 EAST MAIN STREET - JEFFERSON VALLEY
 Town of Yorktown Westchester County, New York

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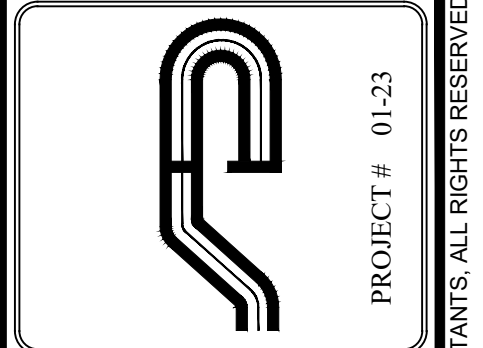


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 R.O.W. TAKING: 0.113 AC. (4,902 S.F.)

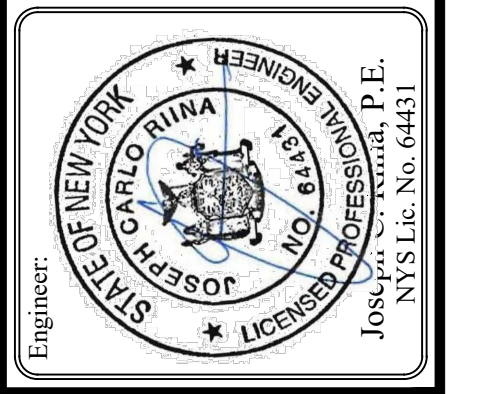
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Revisions:	No.	Date	Comments
	1	3-16-21	Plan Updates

SCALE: 1" = 30'	DRAWN BY: CS	DATE: 1/23/20
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EROSION & SEDIMENT CONTROL PLAN

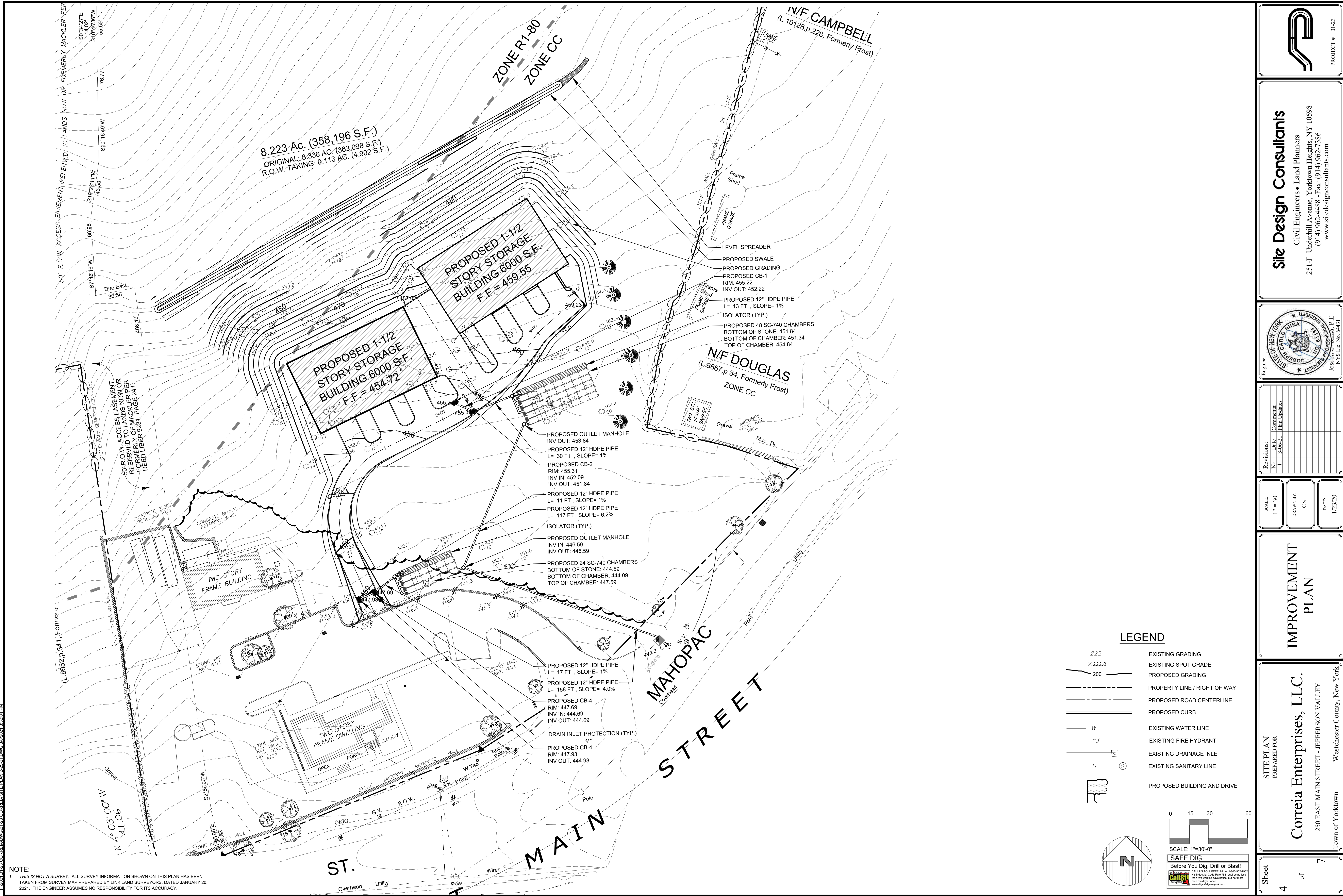
Correia Enterprises, LLC.
 250 EAST MAIN STREET - JEFFERSON VALLEY
 Town of Yorktown Westchester County, New York

LEGEND

- 222 --- EXISTING GRADING
- × 222.8 EXISTING SPOT GRADE
- 200 --- PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- W --- EXISTING WATER LINE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ PROPOSED FIRE HYDRANT
- S --- EXISTING DRAINAGE INLET
- S --- EXISTING SANITARY LINE
- PROPOSED HOUSE AND DRIVE
- SS PROPOSED SOIL STOCKPILES
- PROPOSED SILT FENCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED LIMIT OF DISTURBANCE

0 15 30 60
 SCALE: 1"=30'-0"
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 NY Industrial Code Rule 233 requires no less than ten working days notice, but not more than ten days notice.
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PROPOSED STORAGE BUILDING 6000 S.F.
 F.F. = 459.55

PROPOSED STORAGE BUILDING 6000 S.F.
 F.F. = 454.72

TWO STORY FRAME BUILDING

TWO STORY FRAME DWELLING

PROPOSED OUTLET MANHOLE
 INV OUT: 453.84
 PROPOSED 12" HDPE PIPE
 L= 30 FT , SLOPE= 1%
 PROPOSED CB-2
 RIM: 455.31
 INV IN: 452.09
 INV OUT: 451.84
 PROPOSED 12" HDPE PIPE
 L= 11 FT , SLOPE= 1%
 PROPOSED 12" HDPE PIPE
 L= 117 FT , SLOPE= 6.2%
 ISOLATOR (TYP.)

PROPOSED OUTLET MANHOLE
 INV IN: 446.59
 INV OUT: 446.59
 PROPOSED 24 SC-740 CHAMBERS
 BOTTOM OF STONE: 444.59
 BOTTOM OF CHAMBER: 444.09
 TOP OF CHAMBER: 447.59

PROPOSED 12" HDPE PIPE
 L= 17 FT , SLOPE= 1%
 PROPOSED 12" HDPE PIPE
 L= 158 FT , SLOPE= 4.0%
 PROPOSED CB-4
 RIM: 447.69
 INV IN: 444.69
 INV OUT: 444.69
 DRAIN INLET PROTECTION (TYP.)
 PROPOSED CB-4
 RIM: 447.93
 INV OUT: 444.93

PROPOSED 48 SC-740 CHAMBERS
 BOTTOM OF STONE: 451.84
 BOTTOM OF CHAMBER: 451.34
 TOP OF CHAMBER: 454.84

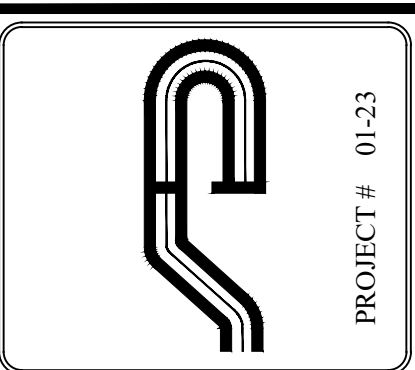
- LEGEND**
- 222 --- EXISTING GRADING
 - x 222.8 EXISTING SPOT GRADE
 - 200 --- PROPOSED GRADING
 - - - - - PROPERTY LINE / RIGHT OF WAY
 - - - - - PROPOSED ROAD CENTERLINE
 - ===== PROPOSED CURB
 - W --- EXISTING WATER LINE
 - F --- EXISTING FIRE HYDRANT
 - S --- EXISTING DRAINAGE INLET
 - S --- EXISTING SANITARY LINE
 - ▭ PROPOSED BUILDING AND DRIVE



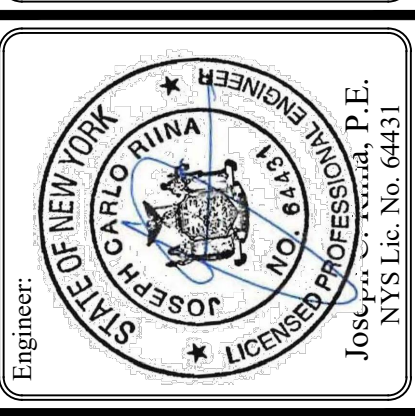
SAFE DIG
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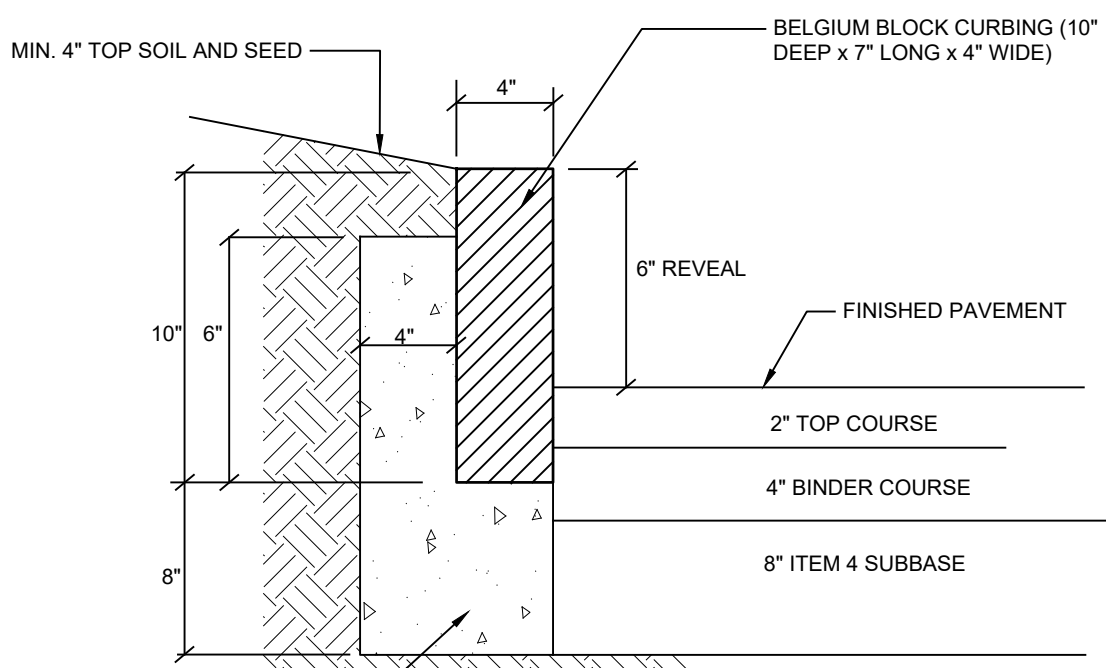
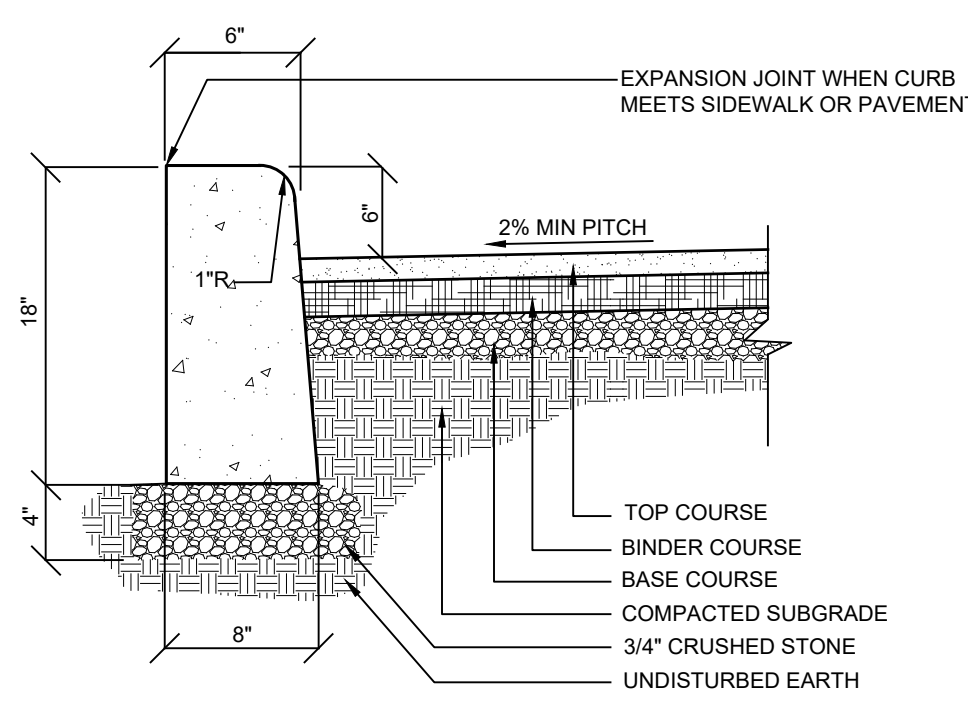
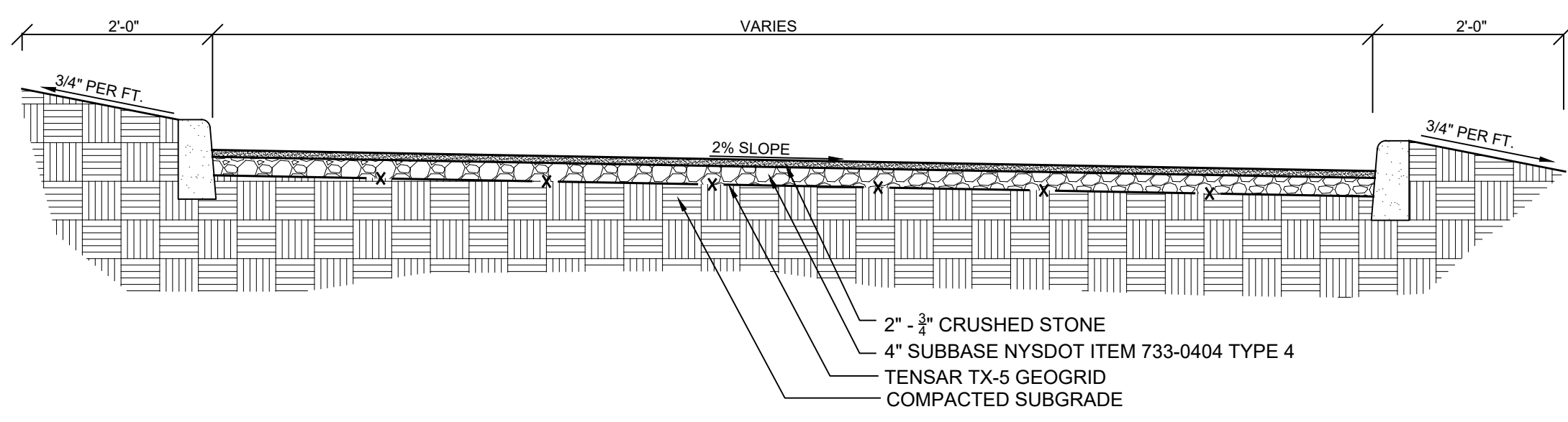
Revisions:	No.	Date	Comments
	1	3-06-21	Plan Updates

SCALE: 1" = 30'
 DRAWN BY: CS
 DATE: 1/23/20

IMPROVEMENT PLAN

Correia Enterprises, LLC.
 250 EAST MAIN STREET - JEFFERSON VALLEY
 Town of Yorktown Westchester County, New York

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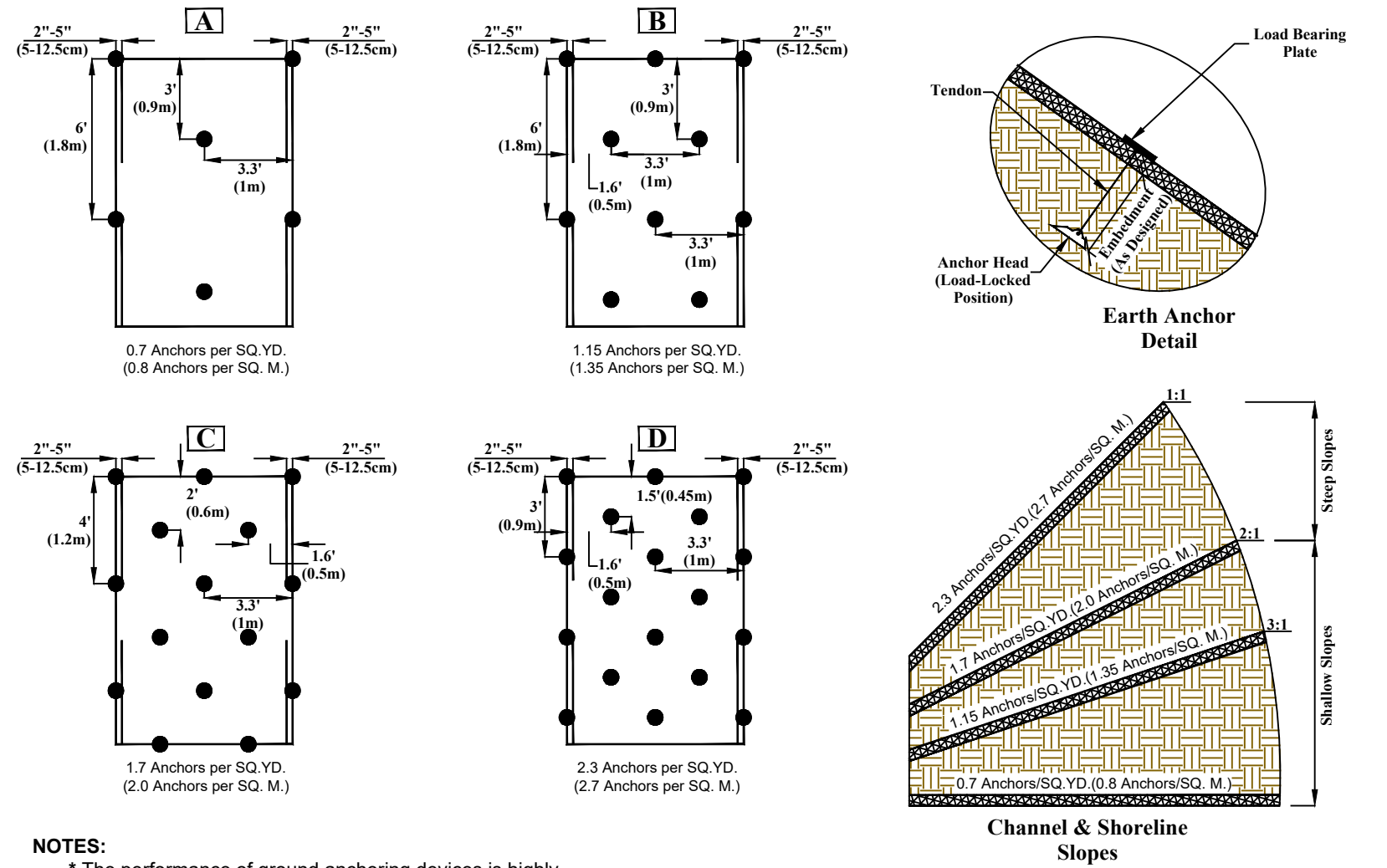
- GENERAL CONSTRUCTION NOTES:**
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH CONSTRUCTION SPECIFICATIONS SET FORTH IN THESE DOCUMENTS AND LAND SUBDIVISION REGULATIONS OF THE TOWN OF YORKTOWN.
 - PERMANENT SURVEY MONUMENTS TO BE LOCATED WHERE SPECIFIED BY THE TOWN ENGINEER.
 - BENCH MARKS USING U.S.G.S. DATUM SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS.
 - CONSTRUCTION ACTIVITY SHALL BE LIMITED FROM 8:00 A.M. TO 6 P.M., AND NO CONSTRUCTION ACTIVITY SHALL OCCUR ON SUNDAYS OR LEGAL NEW YORK STATE HOLIDAYS. WHERE BLASTING IS NECESSARY, IT SHALL OCCUR FROM MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 A.M. AND 6:00 P.M. NO BLASTING SHALL OCCUR ON HOLIDAYS, SATURDAY OR SUNDAY. ALL BLASTING SHALL ALSO BE COMPLETED IN ACCORDANCE WITH THE TOWN OF SOMERS AND NEW YORK STATE BLASTING ORDINANCES.
 - ANY SOIL THAT IS UNSUITABLE FOR DEVELOPMENT OF BUILDINGS OR ROADWAYS SHALL BE REMOVED FROM AREAS TO BE DEVELOPED AND SHALL BE DISPOSED OF WITHIN THE SITE IN NEW EMBANKMENTS WHERE STRUCTURAL LOADING, I.E. A BUILDING OR ROADWAY, WILL NOT TAKE PLACE. WHEN CONSTRUCTION IS PROPOSED TO OCCUR IN SPECIFIC AREAS WHERE SOILS ARE OF QUESTIONABLE SUITABILITY, THE APPLICANT SHALL PROVIDE SOILS ENGINEERING REPORTS AS REQUIRED BY THE PLANNING BOARD ENGINEER, PRIOR TO THE CONSTRUCTION OF ROADWAYS AND, AS REQUIRED BY THE BUILDING INSPECTOR, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 - NO TOPSOIL SHALL BE REMOVED FROM THE SITE.

- GENERAL STORM DRAINAGE & UTILITY NOTES**
- ALL UTILITIES, INCLUDING ELECTRIC LINES, TELEPHONE, WATER, SANITARY SEWER LINES, AND STORM SEWER LINES SHALL BE LOCATED UNDERGROUND AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF YORKTOWN AND THE UTILITY COMPANIES HAVING JURISDICTION.
 - LOCATION OF WATER VALVES, ELECTRIC AND TELEPHONE POLES ARE TO BE DETERMINED BY PROPER AUTHORITIES AND APPROVED, AS TO LOCATION, BY THE TOWN ENGINEER.
 - ROOF LEADER DRAINS SHALL EMPTY INTO THE STORM DRAINAGE SYSTEM OR DISCHARGE DIRECTLY TO STORMWATER MANAGEMENT BASINS UNDER NO CIRCUMSTANCES SHALL THE DISCHARGE OF GROUND WATER OR STORM WATER, EITHER BY GRAVITY OR BY PUMPING, BE DISCHARGED TO ANY SANITARY SEWER SYSTEM.
 - ANY REVISIONS AND/OR ADDITIONS TO THE ROAD STORM DRAINAGE SYSTEMS CURRENTLY SHOWN ON THE PLANS WHICH ARE DEEMED NECESSARY DURING CONSTRUCTION MUST BE MADE BY THE CONTRACTOR AS REQUIRED BY THE TOWN AND SHALL BE SHOWN ON THE AS-BUILT DRAWINGS.
 - STORM DRAIN PIPING TO BE HIGH DENSITY POLYETHYLENE AS SHOWN ON THE CONSTRUCTION DRAWINGS. MINIMUM COVER TO BE 2' UNLESS OTHERWISE NOTED.
 - PRIOR TO FINAL APPROVAL AND OPERATION OF DRAINAGE SYSTEM, CONTRACTOR SHALL CLEAR ALL ACCUMULATED SEDIMENT AND/OR DEBRIS FROM DRAINAGE STRUCTURES, MANHOLES, CULVERTS, OUTLETS AND DRAIN INLETS. ENGINEER SHALL BE NOTIFIED FOR FINAL INSPECTION.
 - ALL STRUCTURES SHALL BE SET ONE INCH BELOW PAVEMENT.
 - STREET OPENING PERMIT FROM THE TOWN OF YORKTOWN D.P.W. MAY BE REQUIRED FOR INSTALLATION IN PUBLIC ROADS.

R-1 TYPICAL PARKING LOT SECTION
NOT TO SCALE

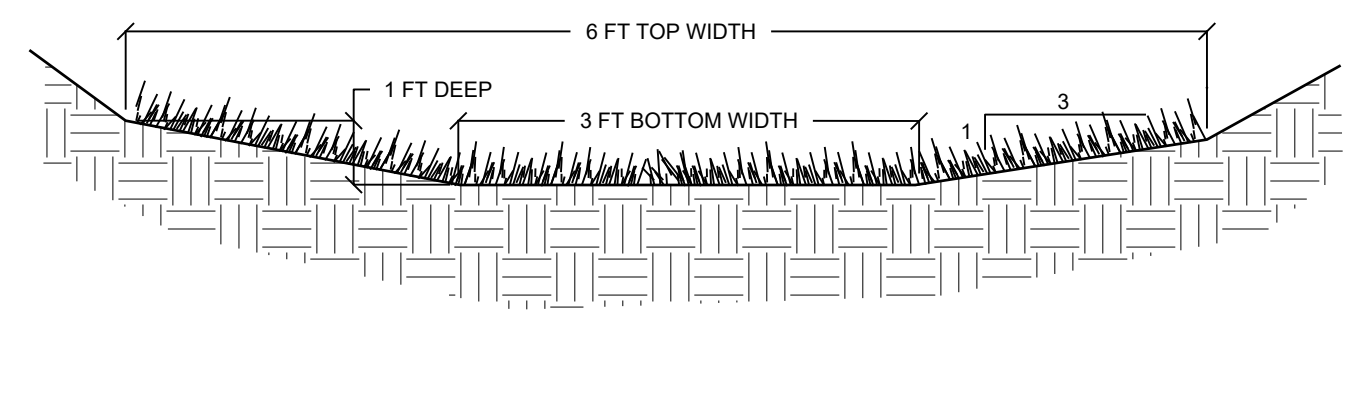
R-2 CONCRETE CURB DETAIL
NOT TO SCALE

R-3 BELGIUM CURB DETAIL
NOT TO SCALE



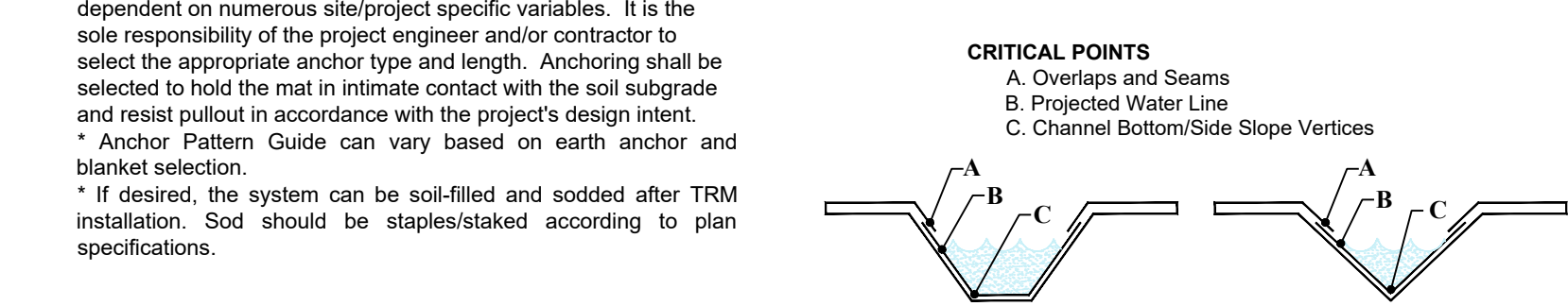
SLOPE INSTALLATION EARTH ANCHOR (EA) DETAIL

- Prepare soil before installing high-performance turf reinforcement mats (HP-TRMs), including any necessary application of lime, fertilizer, and seed.
- Begin at the top of the slope by anchoring the HP-TRMs in a 6" (15 cm) deep x 6" (15cm) wide trench with approximately 12" (30 cm) of HP-TRMs extended beyond the up-slope portion of the trench. Anchor the HP-TRMs with a row of staples and anchors approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of HP-TRMs back over seed and compacted soil. Secure HP-TRMs over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the HP-TRMs.
- Roll the HP-TRMs (A) down or (B) horizontally across the slope. HP-TRMs will unroll with appropriate side against the soil surface. All HP-TRMs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
- The edges of parallel HP-TRMs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the HP-TRM type. Consecutive HP-TRMs applied down the slope must be end over end (Shingle style) with an approximate 3" (7.5cm) overlap. Staple through overlapped area, approximately 12" (30cm) apart across entire HP-TRM width.



- NOTE:**
- Grass swale to be seeded with grass mixture per 1000 s.f. as follows:
Kentucky Bluegrass: 60lbs
Creeping Red Fescue: 50 lbs
Perennial Ryegrass: 20lbs
 - The foundation area shall be cleared of trees, stumps, soil, loose rock, or other objectionable materials.
 - The cross section shall be excavated to the neat lines and grades shown on the plans. Over excavated areas shall be backfilled with moist soil compacted to the density of the surrounding material.
 - No abrupt deviations from design grade or horizontal alignment shall be permitted.
 - Construction operations shall be done in such a manner that erosion, air and water pollution will be minimized and held within legal limits. All disturbed areas shall be vegetated or otherwise protected against soil erosion.

SW-1 GRASS SWALE DETAIL
NOT TO SCALE



NOTES:

- The performance of ground anchoring devices is highly dependent on numerous site/project specific variables. It is the sole responsibility of the project engineer and/or contractor to select the appropriate anchor type and length. Anchoring shall be selected to hold the mat in intimate contact with the soil subgrade and resist pullout in accordance with the project's design intent.
- Anchor Pattern Guide can vary based on earth anchor and blanket selection.
- If desired, the system can be soil-filled and sodded after TRM installation. Sod should be staples/staked according to plan specifications.

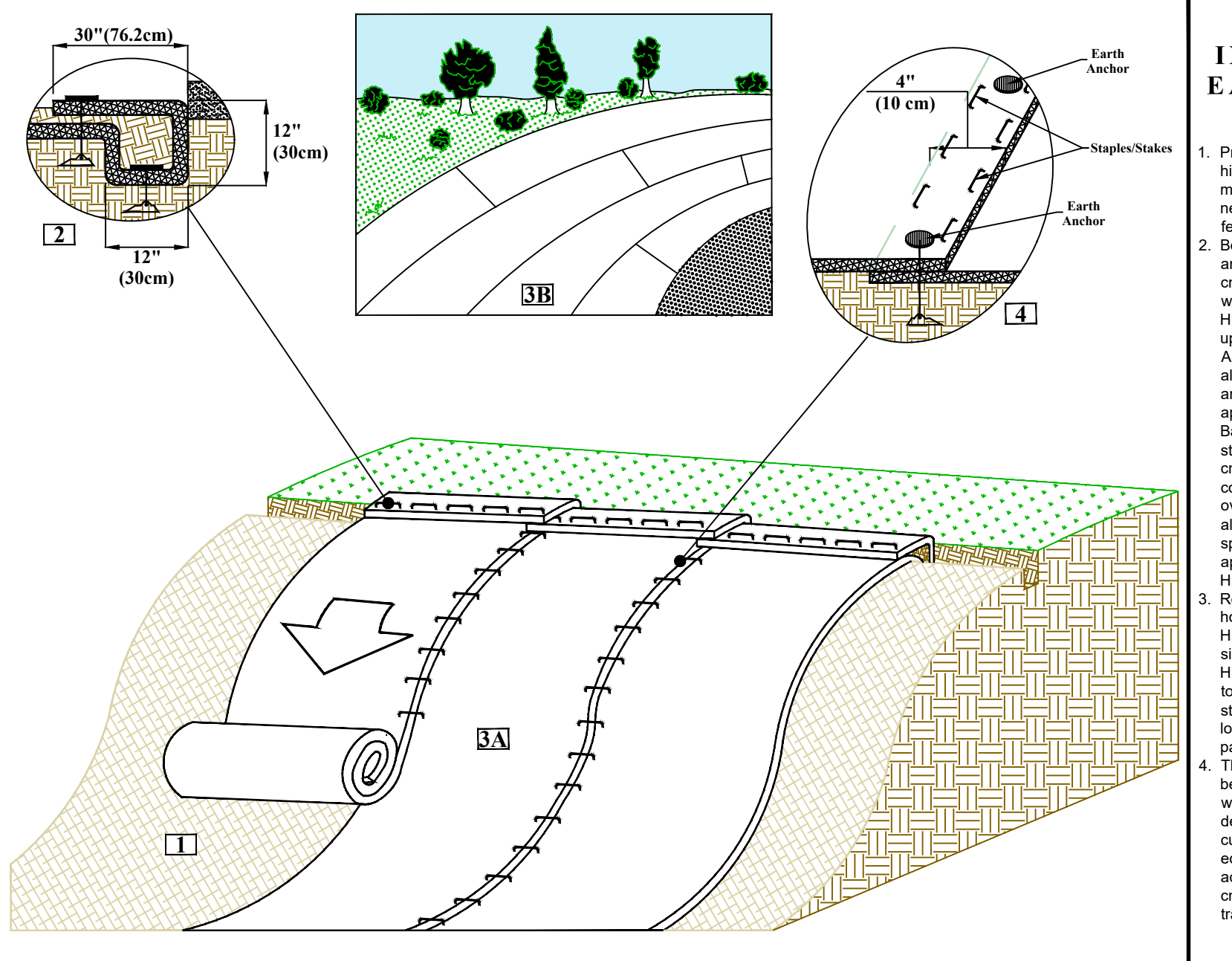
CRITICAL POINTS

- A. Overlaps and Seams
- B. Projected Water Line
- C. Channel Bottom/Side Slope Vertices

Tensar NORTH AMERICAN GREEN
5401 St. Wendel - Cynthia Rd. PO Box 772-2040
Poseyville, IN 47633 PH: 800-772-2040
www.tensargreen.com

Disclaimer:
The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

Drawn on: 01-28-13



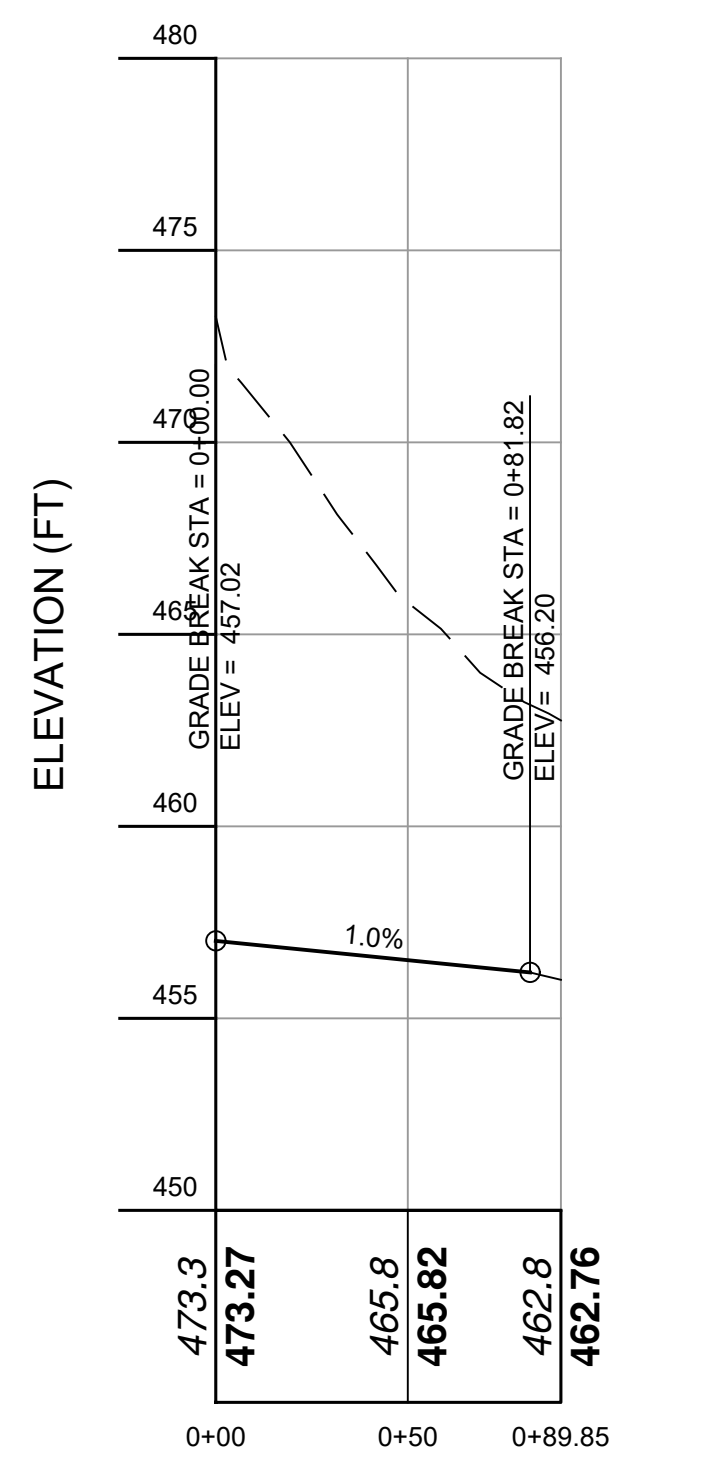
SLOPE INSTALLATION EARTH ANCHOR (EA) DETAIL

- Prepare soil before installing high-performance turf reinforcement mats (HP-TRMs), including any necessary application of lime, fertilizer, and seed.
- Begin at the top of the slope by anchoring the HP-TRMs in a 12" (30 cm) deep x 12" (30cm) wide trench with approximately 30" (76.2 cm) of HP-TRMs extended beyond the up-slope portion of the trench. Anchor the HP-TRMs with an alternating row of staples and anchors approximately 30" (76.2 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Fold remaining 30" (76.2 cm) portion of HP-TRMs back over seed and compacted soil. Secure HP-TRMs over compacted soil with an alternating row of staples/anchors spaced approximately 18" (45 cm) apart across the width of the HP-TRMs.
- Roll the HP-TRMs (A) down or (B) horizontally across the slope. HP-TRMs will unroll with appropriate side against the soil surface. All HP-TRMs must be securely fastened to soil surface by placing staples/anchors in appropriate locations as shown in the staple pattern guide.
- The edges of parallel HP-TRMs must be stapled between earth anchors with approximately 4" (10 cm) overlap depending on the HP-TRM type. For curved sections, adjust the overlap edges of parallel HP-TRMs accordingly with a minimum of 4" (10 cm) overlap to accommodate transitional segments.

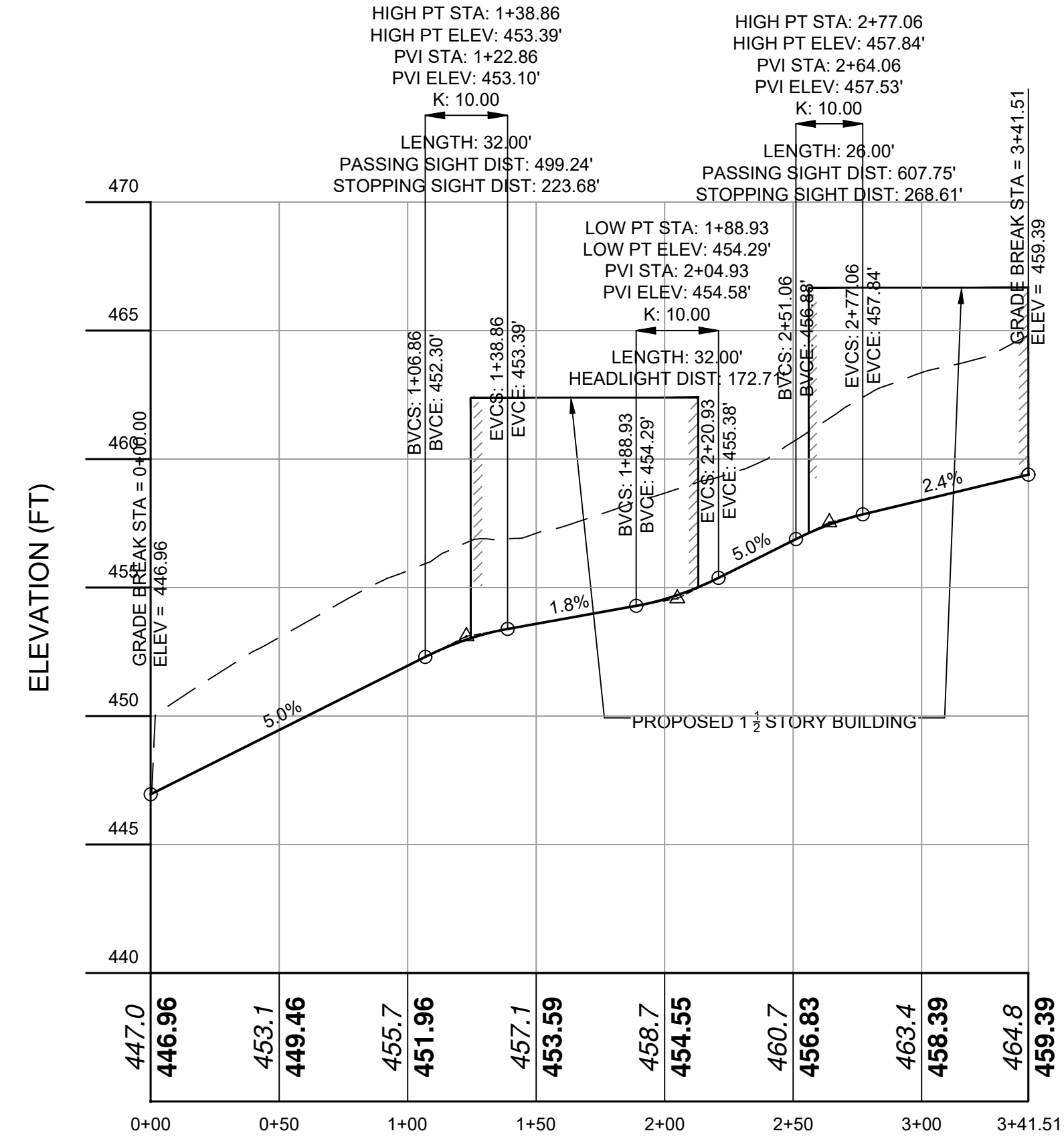
Tensar NORTH AMERICAN GREEN
5401 St. Wendel - Cynthia Rd. PO Box 772-2040
Poseyville, IN 47633 PH: 800-772-2040
www.tensargreen.com

NOTE:
In loose soil conditions, the use of staple or stake lengths greater than 6" (15cm) may be necessary to properly secure the HP-TRMs.

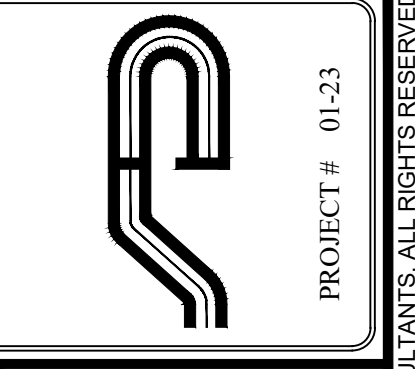
Drawn on: 01-28-13



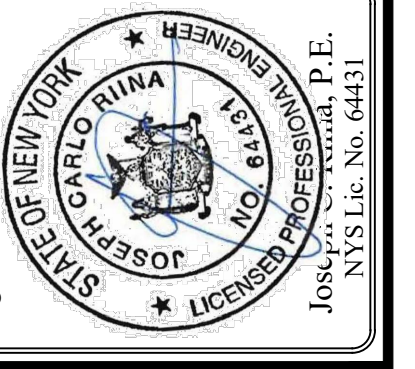
Truck Alignment
VERT. SCALE: 1" = 3
HORIZ. SCALE: 1" = 30



Proposed Driveway
VERT. SCALE: 1" = 3
HORIZ. SCALE: 1" = 30



Site Design Consultants
Civil Engineers • Land Planners
251-J Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com



Revisions:	No.	Date	Comments	Plan Updates
	1	3-06-21		

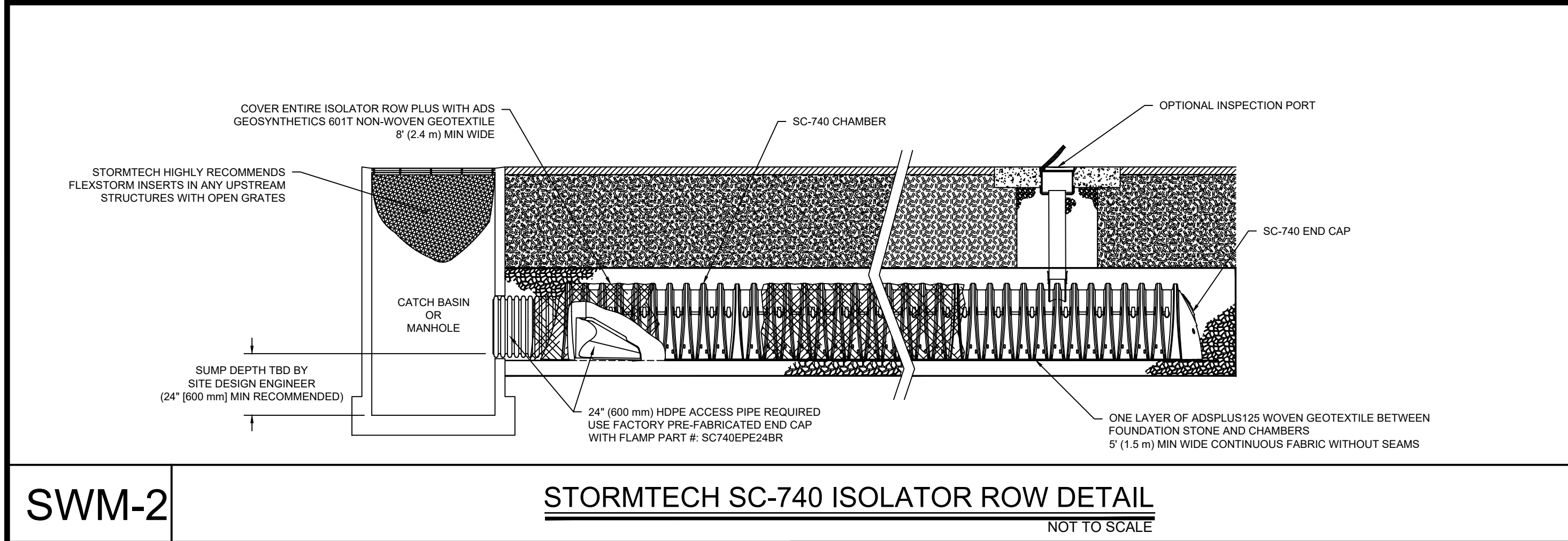
SCALE: AS NOTED
DRAWN BY: RMS
DATE: 1/23/20

SITE DETAILS & PROFILES

Correia Enterprises, LLC.
250 EAST MAIN STREET - JEFFERSON VALLEY
Town of Yorktown, Westchester County, New York

E:\2020\10-23-CORREIA\DWG\23-CORREIA SITE PLAN 23-01.DWG: 38/201 3.32.04 PM

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT

A. INSPECTION PORTS (IF PRESENT)

- REMOVE/OPEN LID ON NYLOPLAST IN LINE DRAIN
- REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR PLUS ROWS

- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
- USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
- MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS

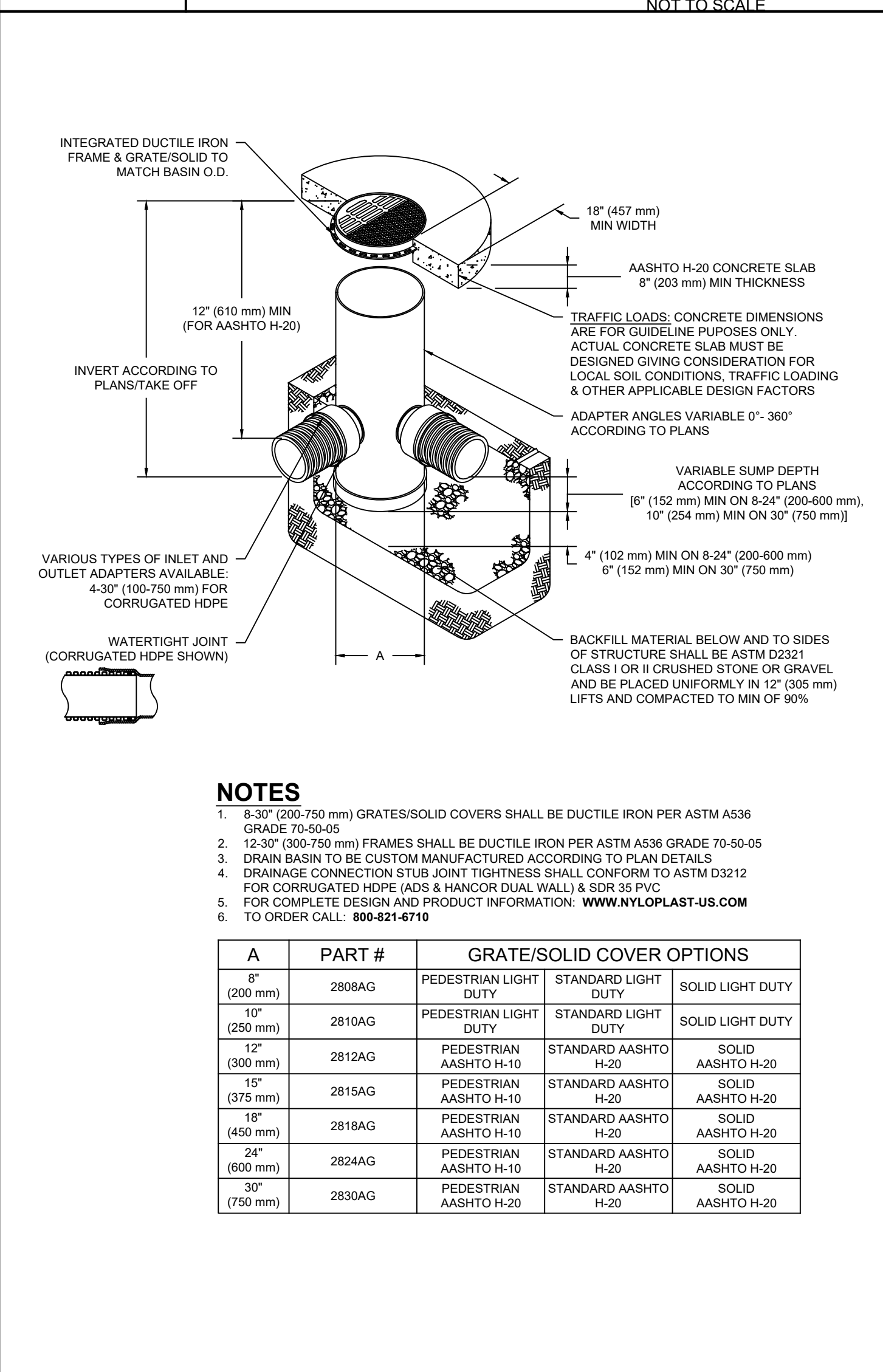
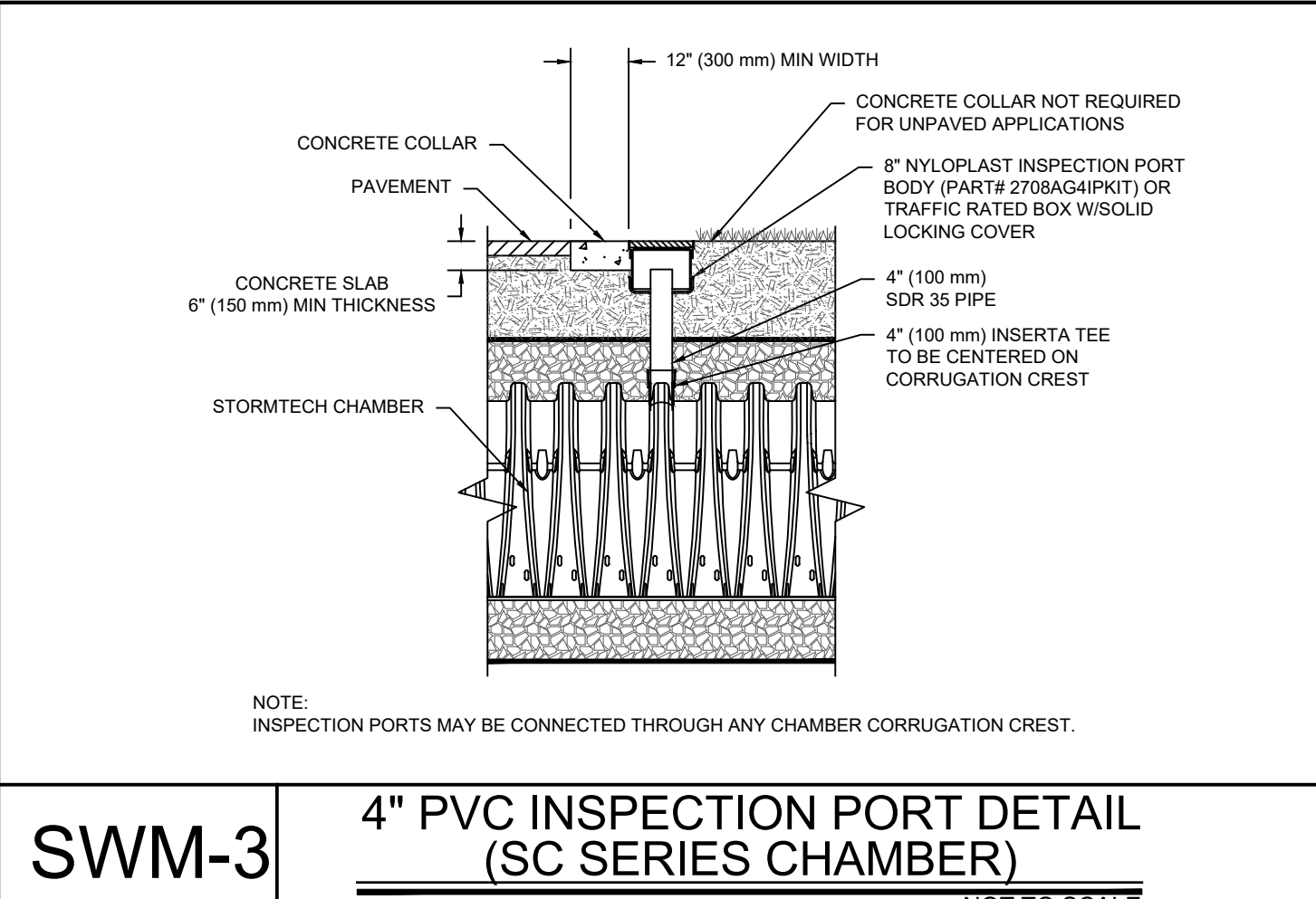
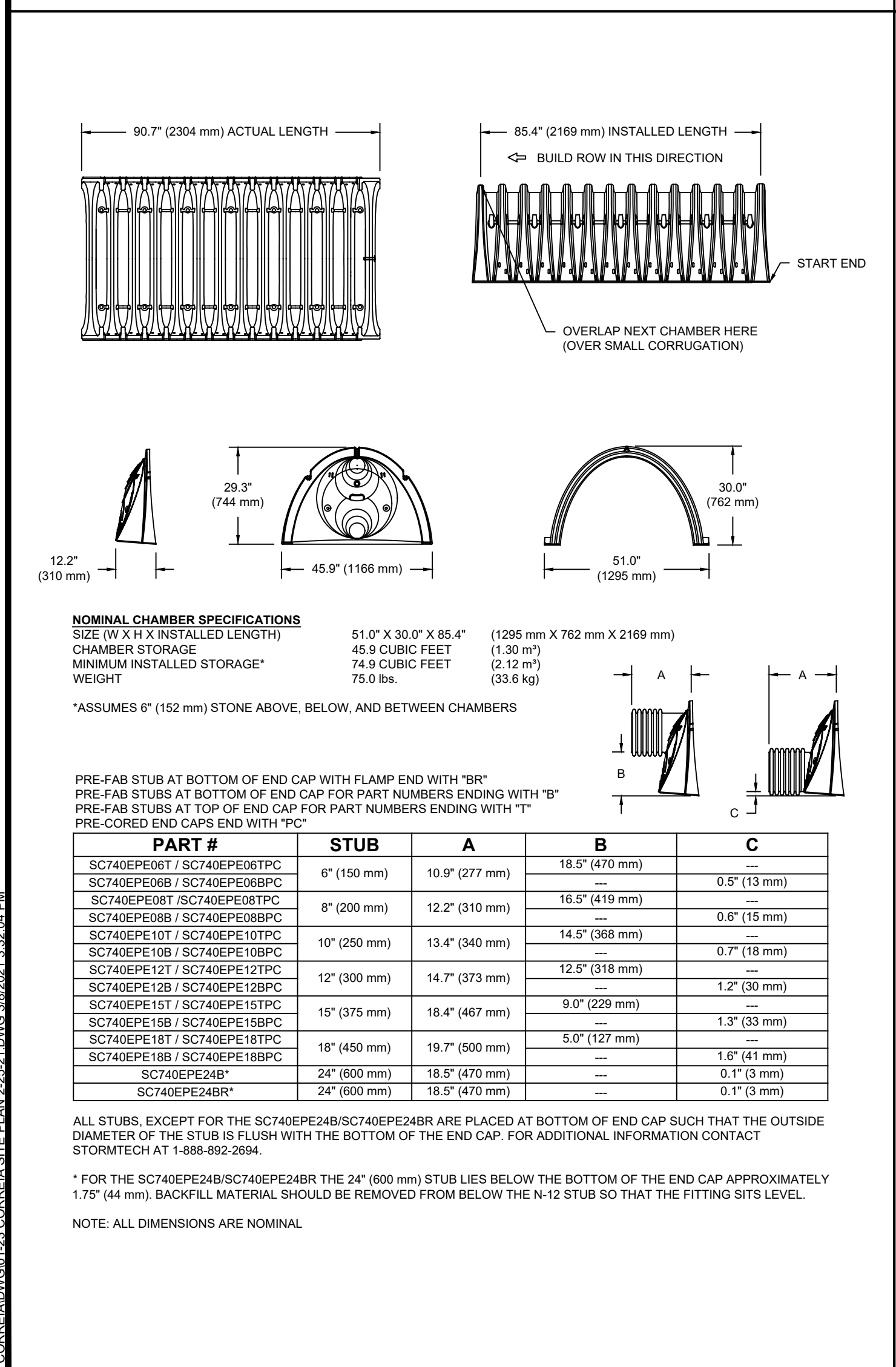
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

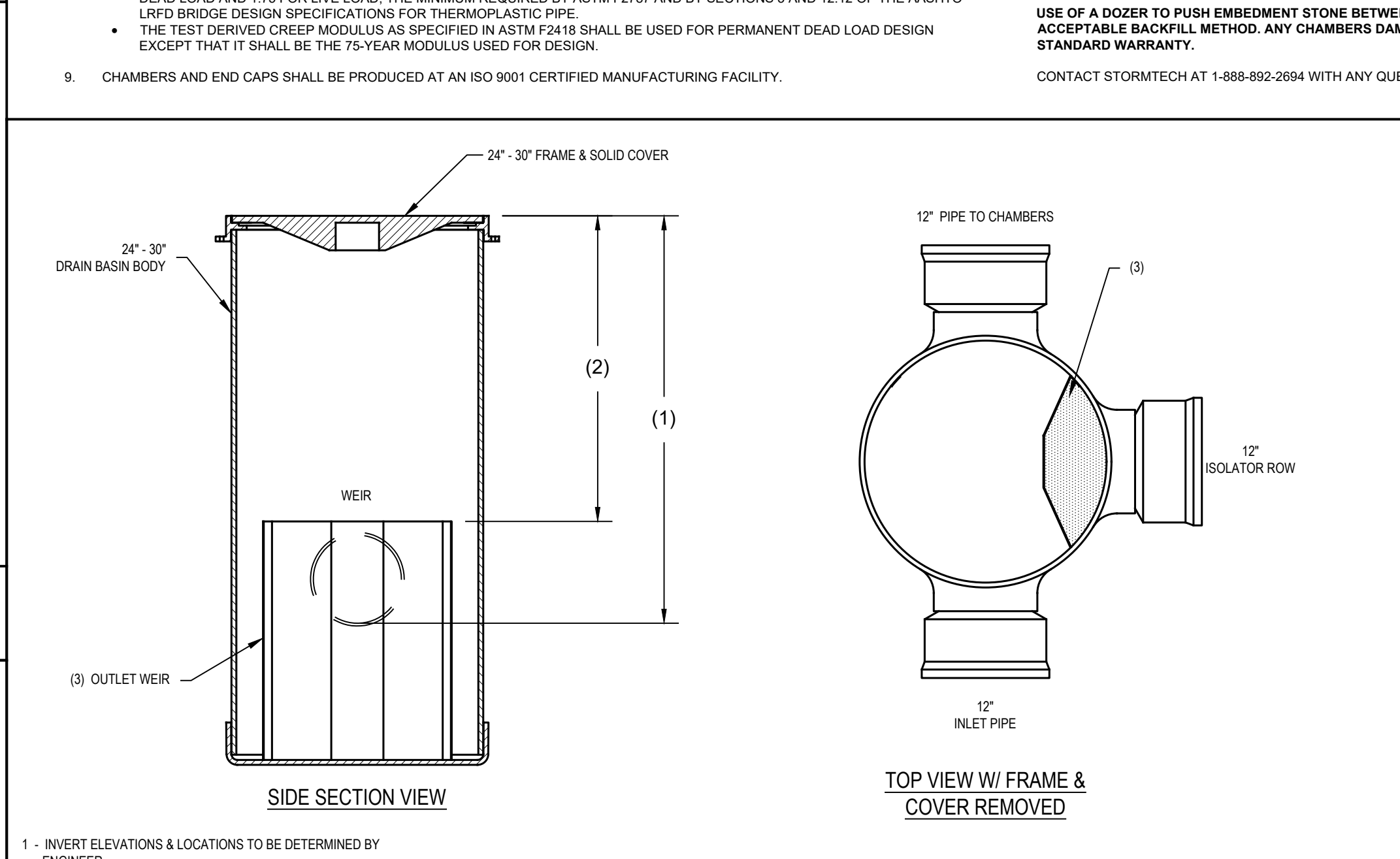
NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



SC-740 STORMTECH CHAMBER SPECIFICATIONS

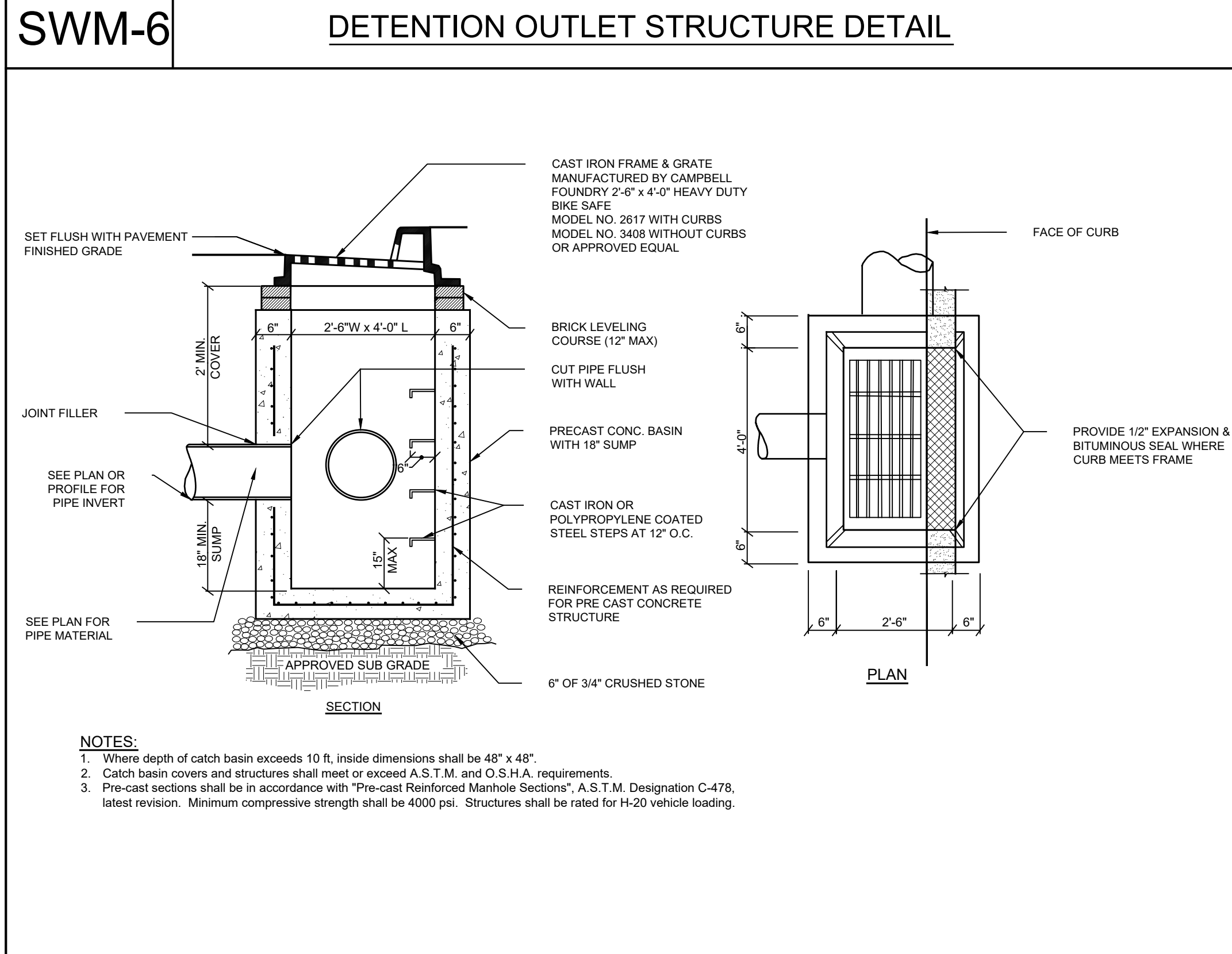
- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS. LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/IN² AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.85 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.



D-1 STORM PIPE BEDDING DETAIL

NOTES:

- Pipe shall be laid and connected in the bedding which shall consist of:
 - Compacted existing subsoil when laid above ground water or;
 - 3/4" crushed stone when laid below ground water.
- If subsoil is determined to be unsuitable by the Engineer, all unsuitable material shall be removed for at least 2'-6" below the pipe invert or twice the pipe diameter, whichever is greater, and replaced with compacted bedding material.



IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM

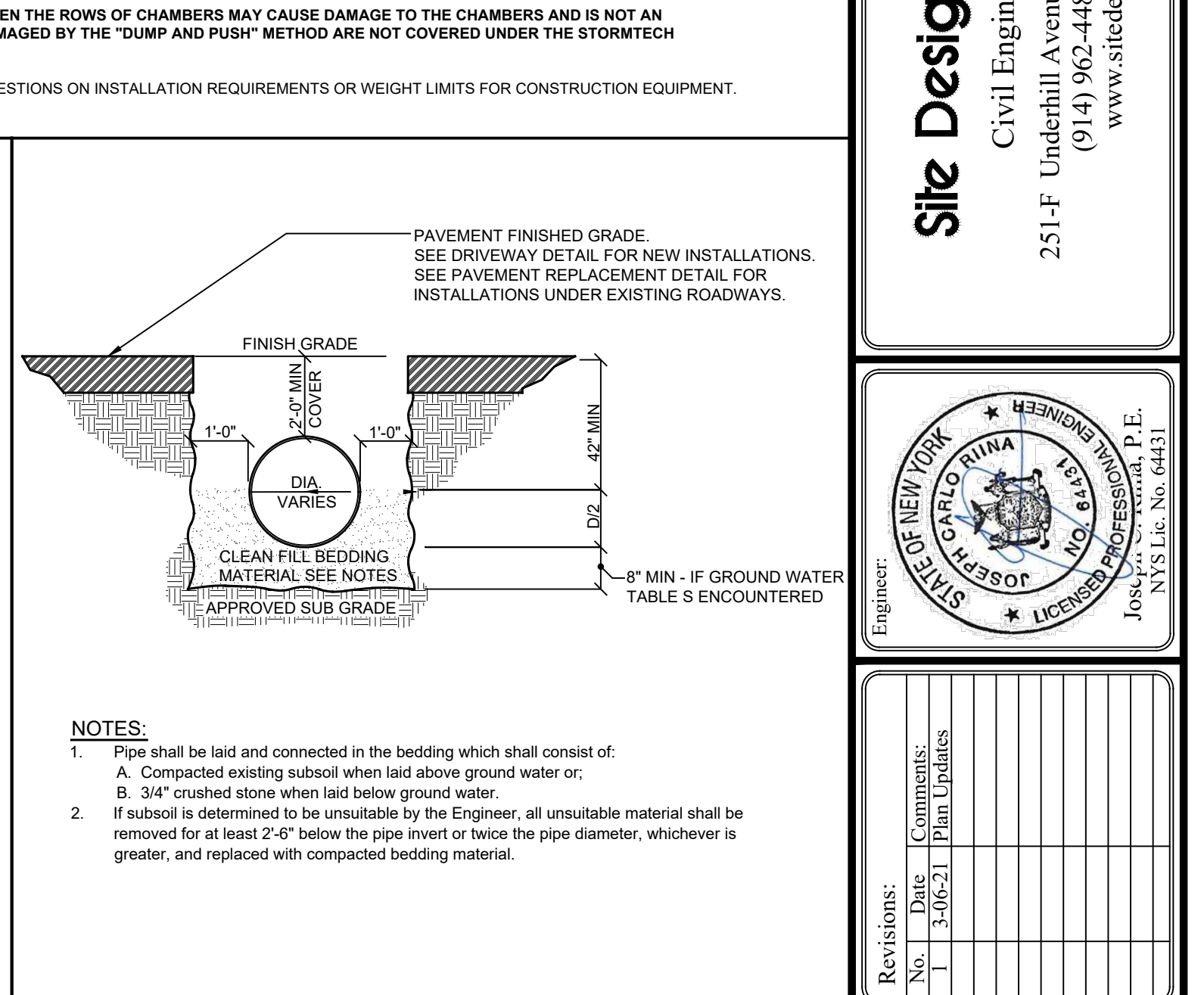
- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



D-2 TYPICAL CATCH BASIN DETAIL NOT TO SCALE

NOTES:

- Where depth of catch basin exceeds 10 ft, inside dimensions shall be 48" x 48".
- Catch basin covers and structures shall meet or exceed A.S.T.M. and O.S.H.A. requirements.
- Pre-cast sections shall be in accordance with "Pre-cast Reinforced Manhole Sections", A.S.T.M. Designation C-478, latest revision. Minimum compressive strength shall be 4000 psi. Structures shall be rated for H-20 vehicle loading.

SWM-4 SC-740 TECHNICAL SPECIFICATION NOT TO SCALE

SWM-5 NYLOPLAST DRAIN BASIN NOT TO SCALE

D-2 TYPICAL CATCH BASIN DETAIL NOT TO SCALE

D-1 STORM PIPE BEDDING DETAIL

TOWN OF YORKTOWN
PLANNING BOARD

RECEIVED
PLANNING DEPARTMENT

OCT 23 2019

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6566, FAX (914) 962-3744

APPLICATION FOR SITE PLAN APPROVAL

Date October 3, 2019

1. Name of Project: Correia Enterprises LLC

2. Tax Map Designation (Section, Block, Lot) 6.17-2-65

3. Zone: R1-80, CC Total Acreage: 7.98

4. Is a statement of easements relating to property attached? Yes None exist

5. Project narrative (brief description of proposed development):

It is proposed to construct two 6,000 SF storage buildings, 1.5 story steel and masonry construction. Town water and individual septic system.

6. Contact Person - CHOOSE ONLY ONE:

- Applicant Owner Architect Wetland Scientist
 Attorney Engineer Surveyor Landscape Architect

7. Applicant

Name Carlos Correia
Firm Correia Enterprises LLC
Address 250 East Main Street, Jefferson Valley
Phone 914-490-1667
Fax _____
Email correia10@aol.com

8. Owner of Record

Name Same as Applicant
Firm _____
Address _____
Phone _____
Fax _____
Email _____

9. Attorney

Name TBD
Firm _____
Address _____
Phone _____
Fax _____
Email _____

10. Engineer

Name Joseph C. Riina, P.E.
Firm Site Design Consultants
Address 251-F Underhill Avenue, Yorktown Heights, NY 10598
Phone 914-962-4488
Fax 914-962-7386
Email jriina@sitedesignconsultants.com
Lic. No. 64431

11. Surveyor

Name TBD
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

12. Architect

Name TBD
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

13. Wetland Scientist/Specialist

Name TBD
Firm _____
Address _____
Phone _____
Fax _____
Email _____

14. Landscape Architect

Name TBD
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

15. Is this project within 500 feet of the Town line? Yes No
16. Is this project within 500 feet of the Putnam County line? Yes No
17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:
- The right-of-way of any existing or proposed state or county road? Yes No
 - The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No
 - The boundary of state or county-owned land on which a public building/ institution is located? Yes No
 - An existing or proposed county drainage line? Yes No
 - The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

- Wetland Permit Site Plan Approval and Building Permit
- Stormwater Permit
- Tree Permit
- Planning Board special permit: _____
- Town Board variance or approval: _____
- Zoning Board of Appeals variance or special permit: _____

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: _____

22. This parcel is in the following districts:

School District	<u>Lakeland</u>	Water District	<u>Yorktown Consolidated</u>
Fire District	<u>Lake Mohegan</u>	Sewer District	<u>N/A</u>

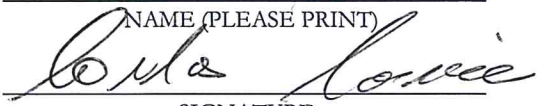
A Long Form/Full EAF with the original signature of the applicant must be attached to this application when submitted. The signature of the applicant's design professional or attorney is not acceptable.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

This application shall be considered complete when all plans and data required by Town of Yorktown Town Code Chapter 195: Land Development Regulations, including final reports from the Director of Planning and Town Engineer, are received by the Board.

Applicant	Owner of Record
_____ NAME (PLEASE PRINT)	Carlos Correia _____ NAME (PLEASE PRINT)
_____ SIGNATURE	 _____ SIGNATURE
_____ DATE	_____ DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

_____, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20 ____

Notary Public

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

Carlos Correia, being duly sworn, deposes and says that he resides at 1135 Williams Dr. Shuback in the County of Westchester and State of NY. That he is the President of Correia Enterprises LLC the corporation which is owner in fee of the property described in the foregoing application for Site Plan Approval and that the statements contained therein are true to the best of his knowledge and belief.

Carlos Correia

Sworn before me this 3rd date of October, 20 19

Catherine M. Mills
Notary Public

CATHERINE M. MILLS
Notary Public, State of New York
No. 5002516
Qualified in Westchester County
Commission Expires 10-5-2022

AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

_____, being duly sworn, deposes and says that he is the agent named in the foregoing application for _____ and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20 ____

Notary Public

F:\Office\WordPerfect\APPLICATION FORMS\APPSITEPLAN.wpd
Last updated: December 2011

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

RECEIVED
PLANNING DEPARTMENT

MAR 6 2020

TOWN OF YORKTOWN

Section 6.17
Block 2
Lot # 65

Approval Authority: TE [] PB [] TB []
Application #: _____
Date Received: _____
Date Issued: _____
Date Expires: _____
Fee Paid: \$ _____

Job Site Address: 250 E. Main Street
City/State/Zip: Jefferson Valley, NY
10535

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:

YOUR NAME: Carlos Correia
COMPANY: Correia Enterprises, LLC.
ADDRESS: 250 E. Main Street
Jefferson Valley, NY ZIP 10535
PHONE: (914) 490-1667
EMAIL: correia10@aol.com

OWNER:

YOUR NAME: Applicant
COMPANY: _____
ADDRESS: _____

ZIP _____
PHONE: (_____) _____
EMAIL: _____

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input checked="" type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input checked="" type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order as per Town Code.

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

- | | | | |
|-----------------------|--------------------------|------------------------------------|--------------------------|
| a. Lake/pond | <input type="checkbox"/> | Control area of lake/pond | <input type="checkbox"/> |
| b. Stream/River/Brook | <input type="checkbox"/> | Control area of stream/river/brook | <input type="checkbox"/> |
| c. Wetlands | <input type="checkbox"/> | Control area of wetlands | <input type="checkbox"/> |

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

2b. Stormwater/Excavation - Description of proposed activity:

Construction of two 6000 sf storage buildings, driveways and stormwater management. Excavation will exceed 200 C.Y.

3. Tree Removal: To Be Determined

Amount of trees and/or stumps to be removed: _____

Sizes; approximate DBH: _____

Species of trees to be removed (i.e. Birch, Spruce - if known): _____

Reason for removal: _____

Trees marked In field (trees must be marked prior to inspection): Yes: No:

Tree removal contractor: _____

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, _____ hereby authorize _____ to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: _____ Date: _____

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

PRINT NAME

SIGNATURE OF APPLICANT

DATE

Michael Quinn, P.E.
Town Engineer

Michael Grace
Town Supervisor

TOWN OF YORKTOWN ENGINEERING DEPARTMENT

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598

CERTIFICATION OF PROJECT COMPLETION

Date: _____

Project Name: _____

Project Location: _____

Permit Number(s): _____

Check/Bond # & Amount _____
(If Applicable)

Street Name(s) To Be Dedicated _____
(If Applicable)

The undersigned hereby certifies that the work for the above referenced project has been completed in accordance with the terms and conditions of the Town approval resolution and/or the Town permit terms and conditions.

Owner, Engineer or Authorized Representative:

(signed) _____

Printed Name:

Title:

Company:

Yorktown Engineering Department

Date Received: _____

Date Accepted: _____

Disposition: _____

Aspen & Mill Street Subdivision

Robyn Steinberg

From: John Tegeder
Sent: Wednesday, April 14, 2021 9:47 AM
To: Robyn Steinberg
Subject: FW: Lots on Mill Street
Attachments: Maintenance Agreement for Road.docx; Signed Plat Aspen Mill Street Filed Map No. 28746.pdf

John A. Tegeder, R.A.
Director of Planning
Town of Yorktown, N.Y.
1974 Commerce Street
Yorktown Heights, N.Y. 10598
Tel. (914)962-6565 x 326
Fax (914)962-3986
www.yorktownny.org
jtegeder@yorktownny.org

From: allanjrothman@gmail.com [mailto:allanjrothman@gmail.com]
Sent: Wednesday, April 14, 2021 9:12 AM
To: Adam Rodriguez <arodriguez@yorktownny.org>
Cc: John Tegeder <jtegeder@yorktownny.org>; Town Attorney <townattorney@yorktownny.org>
Subject: RE: Lots on Mill Street

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Adam and John,

A few days ago I put the two lots that I have on Mill Street and Aspen Road in Shrub Oak on the market and I have received a very good response. Therefore, I will need to finalize the maintenance agreement for the private road that I own in Shrub Oak.

I sent you my first draft of the maintenance agreement last May with no urgency. But now there is an urgency because I expect to complete a deal shortly. Please email me or call me with any questions.

Thanks,
Allan Rothman, Sole Member
Aspen and Mill Street Properties, LLC
(914) 216-5400

From: Adam Rodriguez <arodriguez@yorktownny.org>
Sent: Monday, May 18, 2020 8:43 AM
To: allanjrothman@gmail.com
Cc: John Tegeder <jtegeder@yorktownny.org>; Town Attorney <townattorney@yorktownny.org>
Subject: Re: Lots on Mill Street

I'll review. Thanks.

Sent from my iPhone

On May 18, 2020, at 8:25 AM, "allanjrothman@gmail.com" <allanjrothman@gmail.com> wrote:

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John,

It was good speaking with you the other day.

As we discussed, I put together a road maintenance agreement (as required by the Planning Board) for my lots on Mill Street. Please let me know if the attached maintenance agreement is acceptable.

I cc'd the town attorney as you suggested. Adam, if you would like any changes, please mark them on the attached unprotected Word file.

Thanks,
Allan Rothman
(914) 216-5400
<Maintenance Agreement for Road.docx>
<Signed Plat Aspen Mill Street Filed Map No. 28746.pdf>

This Declaration is made this _____ day of _____, ~~2019~~2021, by Allan Rothman of Aspen and Mill Street Properties, LLC (“Aspen”).

WHEREAS, Aspen has filed a subdivision map know as Subdivision Plan and lot line change of lands of Aspen in the Town of Yorktown, Westchester County, New York, which said map was filed in the Westchester County Clerk’s office on February 25, 2014, as Map No RO# 28746 and which map consists of 4 lots (see attached). The three Lots known as lots ~~16.05-1-13.2~~, ~~16.05-1-13.21~~ and ~~16.05-1-13.3~~ are hereinafter designated the “Lots” together with a private road (“Road”); and

WHEREAS, Allan Rothman of Aspen has determined that the Lots should be developed and occupied pursuant to certain covenants and restrictions which covenants and restrictions shall bind all present and future owners of the Lots and which said covenants and restrictions shall run with the land, and

WHEREAS, Allan Rothman of Aspen has determined that the Road to be built is and shall remain a private road and that it is in the best interest of all concerned that there be an agreement concerning the repair and maintenance of the Road binding upon all present and future owners of the Lots serviced by the Road.

NOW, THEREFORE, in order to effectuate the common scheme of development and for the mutual protection and advantage of all present and future lot owners and users of the Road, the undersigned, do hereby make and declare the following covenants, restrictions and regulations pertaining to the Lots and the Road, which said covenants, restrictions and regulations shall run with the lands and bind all owners present and future, whether or not specifically referred to or set forth in any subsequent deed to any Lot or Lots.

1. Each Lot owner agrees to bear a share of the actual repair and maintenance cost of the Road as follows: The owner of ~~Lot 16.05-1-13.2~~ will pay 60%, the owner of Lot ~~16.05-1-13.1~~ will pay 20% and the owner of Lot ~~16.05-1-13.3~~ will pay 20%. Each Lot owner shall pay the amount computed of the annual repair and maintenance costs of the road as hereinafter defined.
2. The repairs and maintenance of the road shall include the following: pot hole repair, leveling, graveling and resurfacing with asphalt, shale or stone, complete replacement of the driveway with a new base and new asphalt. Any taxes on the Road shall be shared according to the formula described in 1 above.
3. Each lot owner shall be entitled as follows: Lot owner of Lot ~~16.05-1-13.2~~ will get 6 votes, Lot owner of ~~Lot 16.05-1-13.1~~ will get two votes and the Lot owner of ~~Lot 16.05-1-13.3~~ will get 2 votes. A vote by the majority of votes shall determine what repairs and maintenance is required. Upon such determination, the Lot owners, using the same voting method described in this paragraph, shall designate one of their number as an agent of the other Lot owners with the responsibility for carrying out repairs and maintenance as designated in this agreement. Such agent shall prepare a proposed budget and forward same, in writing, to each of the lot owns within sixty (60) days prior to the end of each calendar year. At the same time such agent will submit to each lot owner a written report of the repairs and maintenance undertaken and the cost and expenses incurred during the proceeding year.

4. Each lot owner shall pay his or her share of the repair and maintenance expenses for the coming twelve (12) months on or before October 31st in any calendar year in accordance with the statement sent by the agent.
5. Allan Rothman, Member, Aspen and Mill Street Properties, by executing this instrument, ~~he~~does hereby agree to bind ~~themselves~~itself and the Lots ~~they own~~it owns to the terms of this instrument and Allan Rothman, by executing this instrument, acknowledges and accepts his appointment as initial agent.

IN WITNESS WHEREOF, the parties to this instrument have executed this Agreement as of the day and year first written above.

Aspen and Mill Street Properties, LLC
Allan Rothman, Member



I, ELIOT SENOR, THE SURVEYOR WHO MADE THIS MAP DO HEREBY CERTIFY THAT THE SURVEY OF THE PROPERTY SHOWN HEREON WAS COMPLETED FEB. 13, 2012 AND THAT THIS MAP WAS COMPLETED APRIL 27, 2012

Eliot Senor DATE 6-27-13
ELIOT SENOR, L.S. LICENSE # 049822

APPROVED FOR FILING IN THE WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF LAND RECORDS.
All Pett, Managing Member DATE 7/24/13
ASPEN AND MILL STREET PROPERTIES LLC
798 UNDERHILL AVENUE
YORKTOWN HEIGHTS, NEW YORK 10598

UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS MAP IS A VIOLATION OF SECTION 7209 SUB-SECTION 2, OF THE NEW YORK STATE EDUCATION LAW.
WESTCHESTER COUNTY DEPARTMENT OF HEALTH

EXISTING PUBLIC WATER/ PUBLIC SEWER

APPROVED PURSUANT TO CHAPTER 873, ARTICLE X, SECTIONS 873.951 AND 873.1021 OF THE WESTCHESTER COUNTY SANITARY CODE SUBJECT TO THE PROVISION OF PUBLIC WATER SUPPLY AND PUBLIC SANITARY SEWER FACILITIES TO SERVE ALL STRUCTURES INTENDED FOR HUMAN OCCUPANCY CONSTRUCTED HEREIN.

EACH PURCHASER OF PROPERTY SHOWN HEREON SHALL BE FURNISHED A TRUE COPY OF THIS PLAT SHOWING THIS ENDORSEMENT. ANY ERASURES, CHANGES, ADDITIONS OR ALTERATIONS OF ANY KIND, EXCEPT THE ADDITION OF SIGNATURES OF OTHER APPROVING AUTHORITY AND THE DATE THEREOF MADE ON THIS PLAN AFTER THIS APPROVAL, SHALL INVALIDATE THIS APPROVAL.

[Signature] DATE 7-30-13
APPROVED BY THE ASSISTANT COMMISSIONER OF HEALTH ON BEHALF OF THE DEPARTMENT OF HEALTH

EXISTING TAX LOT DESTINATION SECTION 16.5 BLOCK 1 LOT 13

APPROVED BY THE PLANNING BOARD OF THE TOWN OF YORKTOWN

[Signature] DATE 10-1-13
CHAIRMAN 2-10-2014

[Signature] DATE 10-1-13
SECRETARY 2/10/14

PROPERTY IS WITHIN THE R1-40 ZONE

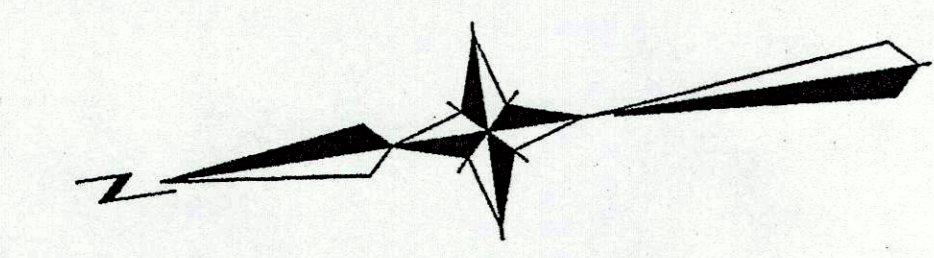
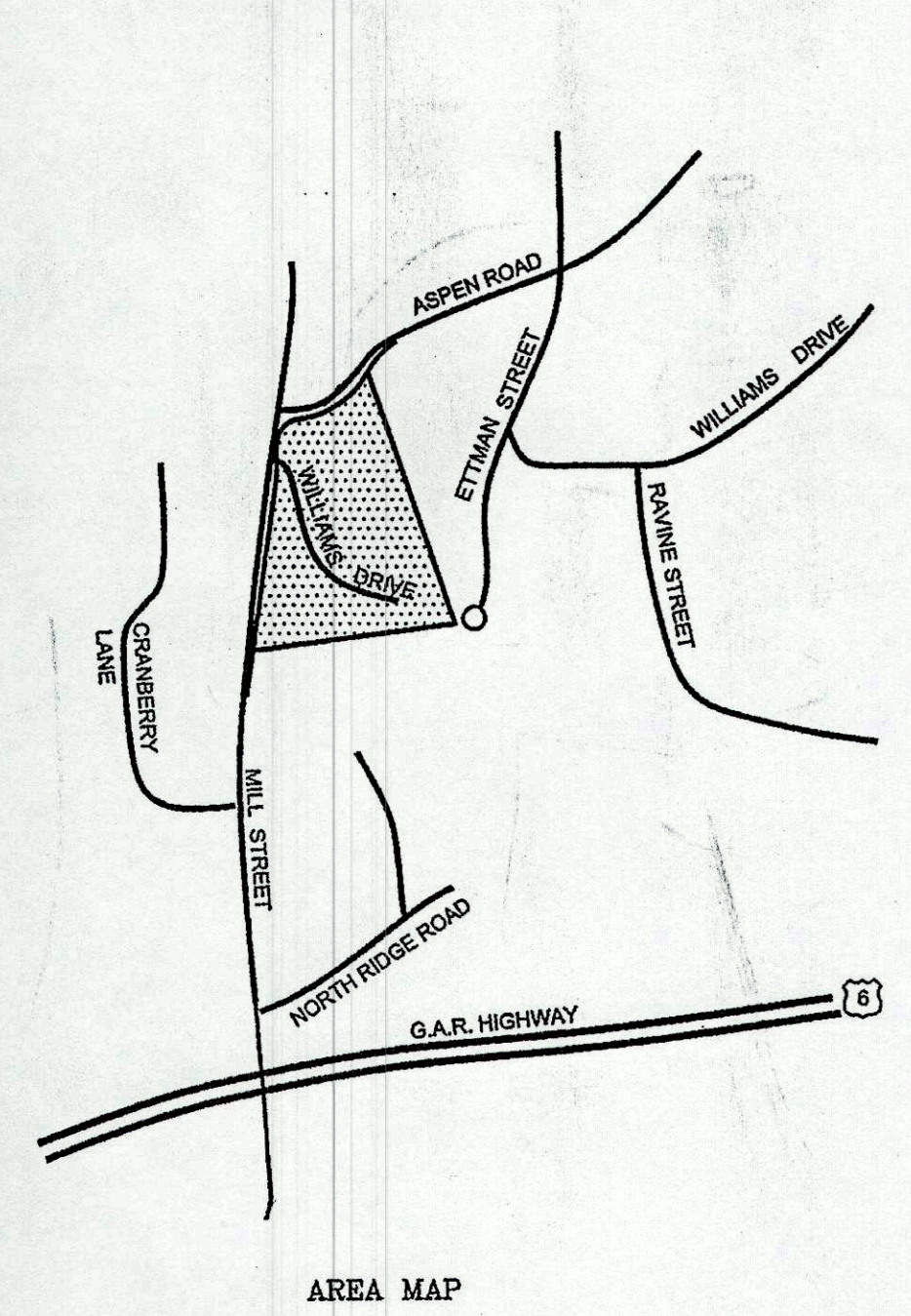
LOT NO.	LOT AREA
LOT 13	40064 S.F.
LOT 13.1	52914 S.F.
LOT 13.2	87389 S.F.
LOT 13.3	64246 S.F.

SUBDIVISION MAP PREPARED FOR
ASPEN AND MILL STREET PROPERTIES LLC.
LOCATED IN THE
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

COUNTY SHEET 295 BLOCK 11437

Roll # 28746
2-25-2014

SCALE: 1" = 30' DATE: APRIL 27, 2012
MARCH 21, 2013 REV
MAY 24, 2013 REV



Note. 1. Location of Sanitary Sewer and Water Mains are schematic only.
2. All water and sewer mains and water and sewer service connections must maintain a minimum of ten feet separation.
3. A minimum of 18" vertical separation must be maintained from the proposed water service line from sewer lines and sewer service connections. If the minimum separation can not be maintained the water service connection must be encased.

GABRIEL E. SENOR, P.C.
CONSULTING ENGINEER • LAND SURVEYORS
90 NORTH CENTRAL AVE, HARTSDALE, NEW YORK 10530
(914) 422-0070



LOCATION MAP
SCALE: 1"=800'

ZONING SCHEDULE:

ZONING DISTRICT: R1-20, SINGLE FAMILY RESIDENTIAL						
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	PROVIDED	PROVIDED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:		LOT 1	LOT 2	LOT 3	LOT 4	
MINIMUM LOT AREA:	20,000 SF.	40,064 SF.	52,914 SF.	87,389 SF.	64,246 SF.	NONE
MINIMUM LOT WIDTH:	100 FT.	100 FT.	100 FT.	100 FT.	100 FT.	NONE
MINIMUM YARD DIMENSIONS:						
PRINCIPAL BUILDING:						
FRONT YARD SETBACK:	40 FT.	64.47 FT.	232 FT.	241.4 FT.	376.1 FT.	NONE
REAR YARD SETBACK:	40 FT.	50.7 FT.	66.82 FT.	131.9 FT.	68.56 FT.	NONE
ONE SIDE YARD SETBACK:	15 FT.	21.4 FT.	23.27 FT.	30.00 FT.	21.26 FT.	NONE
COMBINED SIDE YARD SETBACK:	40 FT.	209.45 FT.	71.74 FT.	154.6 FT.	100.1 FT.	NONE
ACCESSORY BUILDINGS:						
FRONT YARD SETBACK:	40 FT.	—	—	—	—	NONE
REAR YARD SETBACK:	10 FT.	—	—	—	—	NONE
ONE SIDE YARD SETBACK:	15 FT.	—	—	—	—	NONE
COMBINED SIDE YARD SETBACK:	40 FT.	—	—	—	—	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:						
PRINCIPAL BUILDING COVERAGE:	20% OF LOT AREA	5.7% OF LOT AREA	4.37% OF LOT AREA	2.9% OF LOT AREA	2.44% OF LOT AREA	NONE
ACCESSORY BUILDING COVERAGE:	20% OF LOT AREA	—	—	—	—	NONE
MAXIMUM HEIGHT:						
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT MAX	25 FT MAX	35 FT MAX	25 FT MAX	NONE
PRINCIPAL BUILDING - STORIES:	2 1/2	2 1/2 MAX	2 1/2 MAX	3 MAX	1 1/2 MAX	NONE
ACCESSORY BUILDING - FEET:	15 FEET	—	—	—	—	NONE
ACCESSORY BUILDING - STORIES:	1	—	—	—	—	NONE

SITE DATA:

EXISTING TOWN ZONING: R1-20 ONE FAMILY RESIDENTIAL DISTRICT
 TOWN TAX MAP DATA: SECTION: 16.5 ; BLOCK: 1; LOT: 13
 SEWAGE FACILITIES: PUBLIC SEWERS
 WATER FACILITIES: PUBLIC WATER
 OWNER / DEVELOPER: ASPEN & MILL STREET PROPERTIES, LLC.
 798 UNDERHILL AVE.
 YORKTOWN, NY 10598
 SITE AREA TAX LOT: 5.616 ACRES
 DRAINAGE FACILITIES: ON-SITE STORMWATER MANAGEMENT
 SCHOOL DISTRICT: YORKTOWN SCHOOL DISTRICT

PLAN NOTES:

- THE FEMA FLOODLINES SHOWN ARE BASED ON THE UPDATED FIRM MAPS FOR YORKTOWN DATED SEPT. 2007. THE LINES SHOWN ARE APPROXIMATE AND ONLY AS ACCURATE AS THE PRINTED MAP.
- THE HABITABLE SPACE FLOOR ELEVATION OF THE RESIDENCE ON LOT 2 SHALL BE 404, WHICH IS A MINIMUM OF 2' ABOVE THE FEMA FLOOD ELEVATION OF 402.
- WETLAND FLAGGED BY BRUCE DONOHUE OF ENVIRONMENTAL DESIGN CONSULTANTS AND FIELD INSPECTED BY BRUCE BARBER OF CORNERSTONE ENVIRONMENTAL ON 05/11/2010. SURVEY LOCATION PROVIDED BY GABRIEL E. SENOR, P.C.

LEGEND

- 340 - - - - - EXISTING TOPOGRAPHY
- 340 - - - - - PROPOSED TOPOGRAPHY
- [Symbol] EXISTING BUILDINGS
- [Symbol] PROPOSED HOUSE AND DRIVE
- PROPOSED LOT LINES
- PROPOSED RETAINING WALLS
- PROPOSED EASEMENTS
- APPROX. FEMA FLOOD LINE
- 400 FEMA FLOOD ELEVATION
- B1 B2 FLAGGED WETLAND
- 100' WETLAND BUFFER

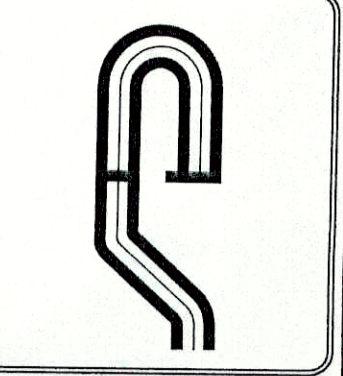
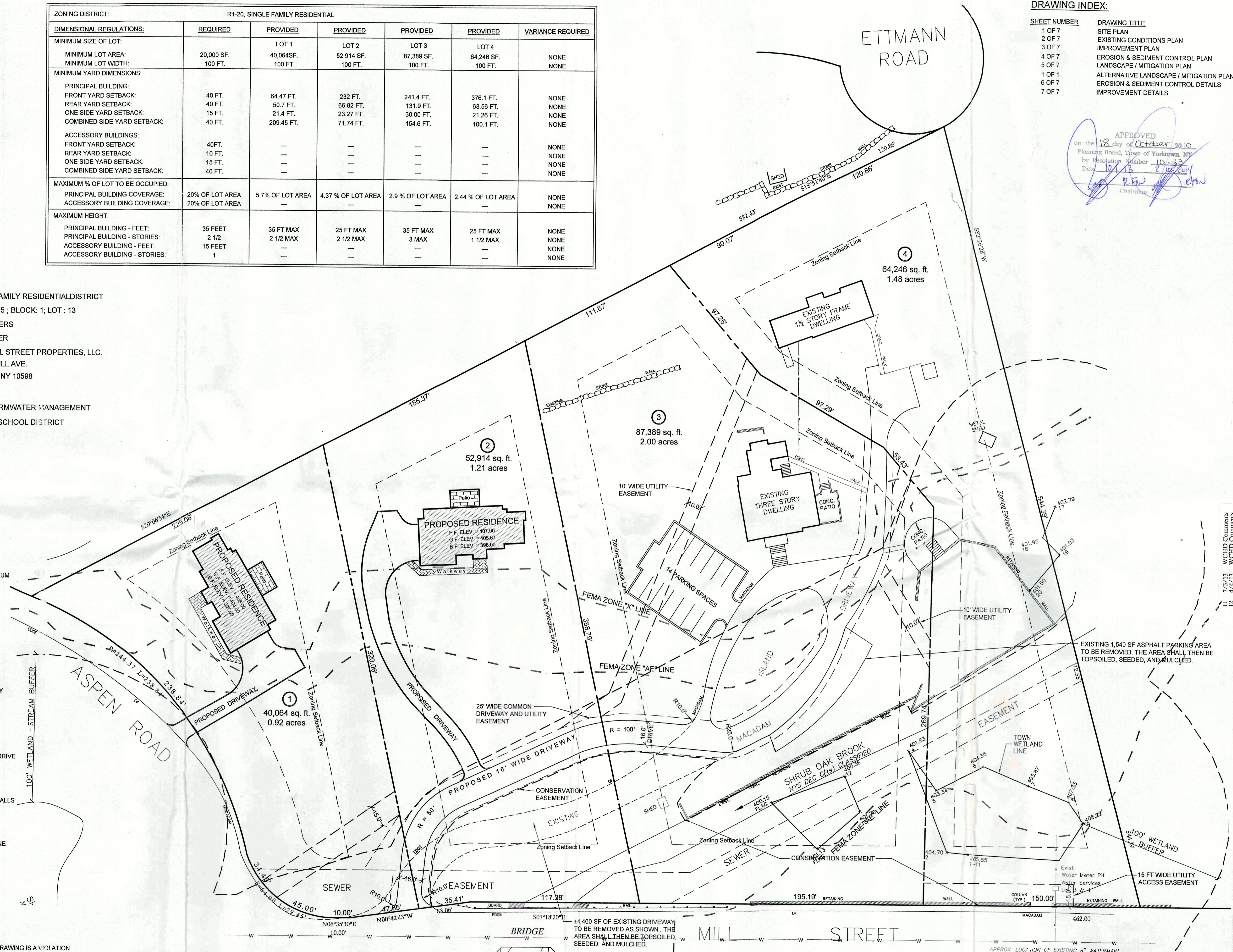
NOTES:

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- THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY GABRIEL E. SENOR, P.C. DATED 4/18/2008. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

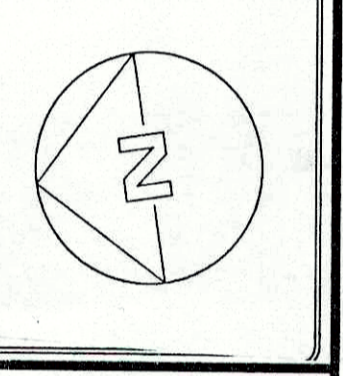
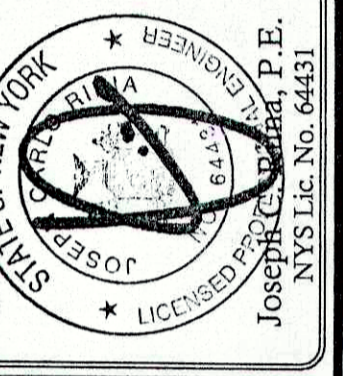
DRAWING INDEX:

SHEET NUMBER	DRAWING TITLE
1 OF 7	SITE PLAN
2 OF 7	EXISTING CONDITIONS PLAN
3 OF 7	IMPROVEMENT PLAN
4 OF 7	EROSION & SEDIMENT CONTROL PLAN
5 OF 7	LANDSCAPE / MITIGATION PLAN
1 OF 1	ALTERNATIVE LANDSCAPE / MITIGATION PLAN
6 OF 7	EROSION & SEDIMENT CONTROL DETAILS
7 OF 7	IMPROVEMENT DETAILS

APPROVED
 on the 18 day of October 2010
 Planning Board, Town of Yorktown, NY
 by Resolution Number 10-23
 Date 10/18/10
 Chairman



Site Design Consultants
 Civil Engineers • Land Planners
 251 F Underhill Avenue Yorktown Heights, NY 10598
 (914) 962-4488 • Fax (914) 962-7386
 email sdc@doud9.net



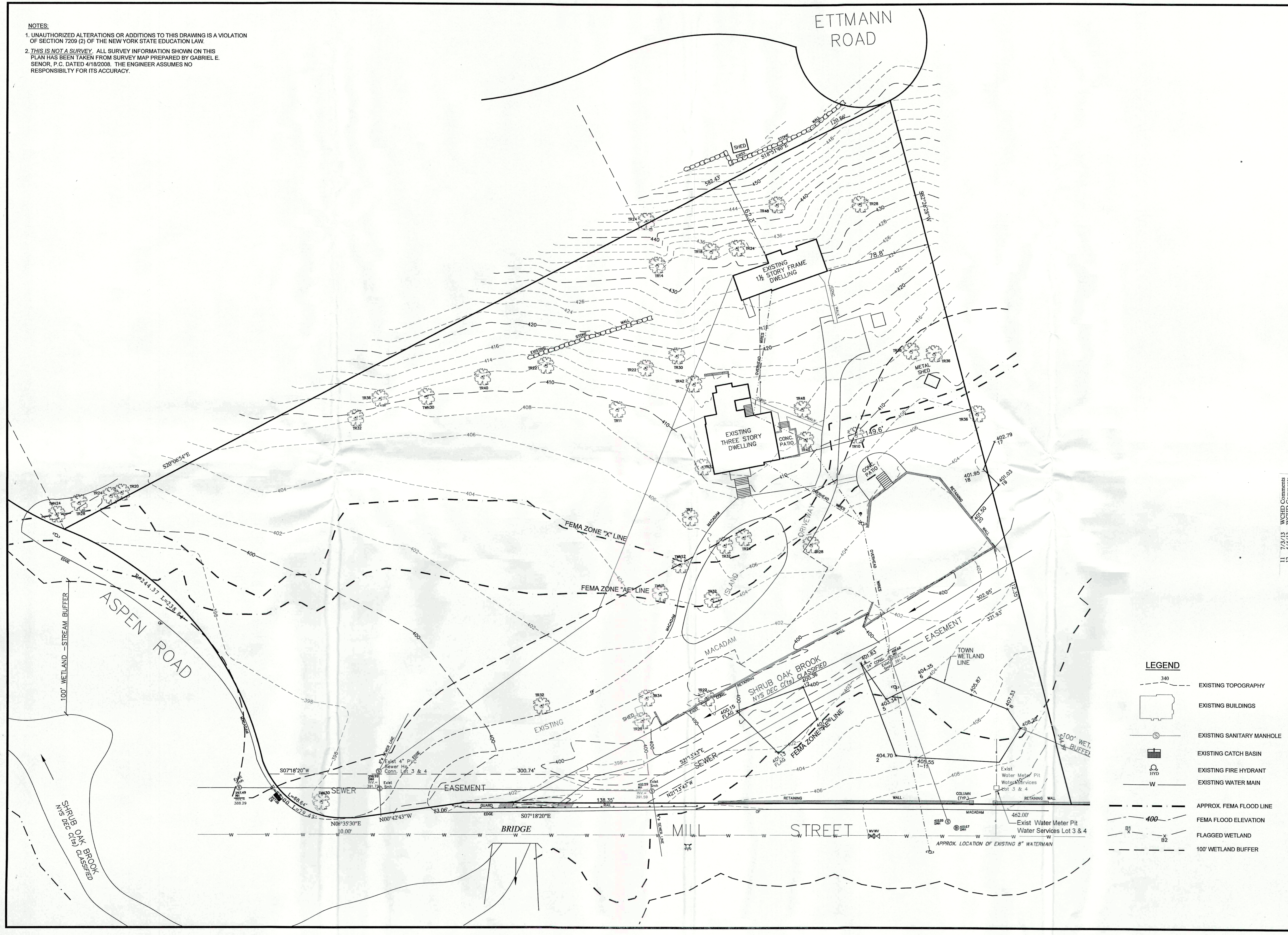
Revisions:	Comments:
1	09/06/09 Drive & Ret. Rev
2	10/10/09 Landscaping Rev
3	11/13/09 Relocate Drive
4	2/12/09 Zoning Schedule
5	5/10/10 Erosion Details
6	7/01/10 Erosion Details
7	10/15/10 Erosion Details
8	10/15/10 Erosion Details
9	8/22/11 Final Plan Set
10	12/16/12 WC Comments

SCALE: 1"=30'
 DRAWN BY: JR
 DATE: 7/01/09

TOWN TAX MAP DATA:
 SECTION: 16.5
 BLOCK: 1
 LOT: 13
 LOT AREA: 5.616 Acres

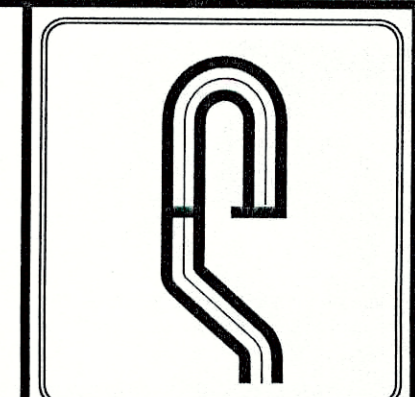
SUBDIVISION PLAN
 PREPARED FOR
Aspen and Mill Street Properties LLC.
 Town Of Yorktown Westchester Co., New York

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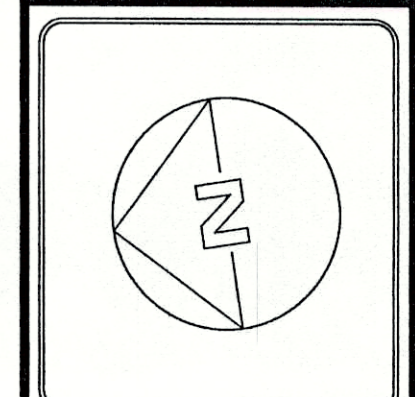
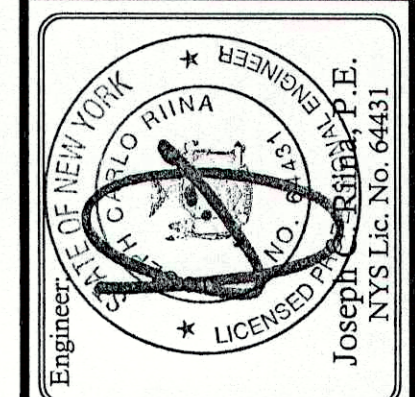


LEGEND

- EXISTING TOPOGRAPHY
- EXISTING BUILDINGS
- EXISTING SANITARY MANHOLE
- EXISTING CATCH BASIN
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN
- APPROX. FEMA FLOOD LINE
- FEMA FLOOD ELEVATION
- FLAGGED WETLAND
- 100' WETLAND BUFFER



Site Design Consultants
 Civil Engineers • Land Planners
 251 F Underhill Avenue Yorktown Heights, NY 10598
 (914) 962-4488 • Fax (914) 962-7386
 email: sdc@cloud9.net



Revisions:

No.	Comments	Date
1	10/16/09 Drive & Ret	
2	10/10/09 Landscaping Rev	
3	11/13/09 Relocate Drive	
4	7/12/09 Zoning Schedule	
5	7/10/10 Zoning Addition	
6	7/10/10 Easement Details	
7	7/10/10 Easement Details	
8	10/15/10 Eng. Details	
9	8/22/11 Final Plan Set	
10	5/16/12 TWC Comments	

SCALE: 1" = 30'
 DRAWN BY: JR
 DATE: 7/01/09

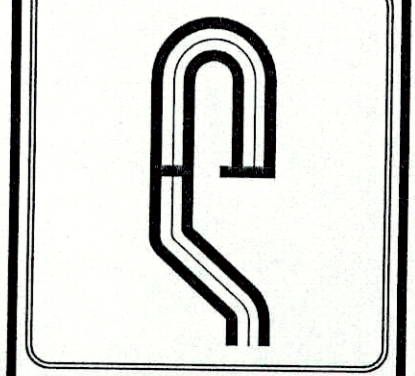
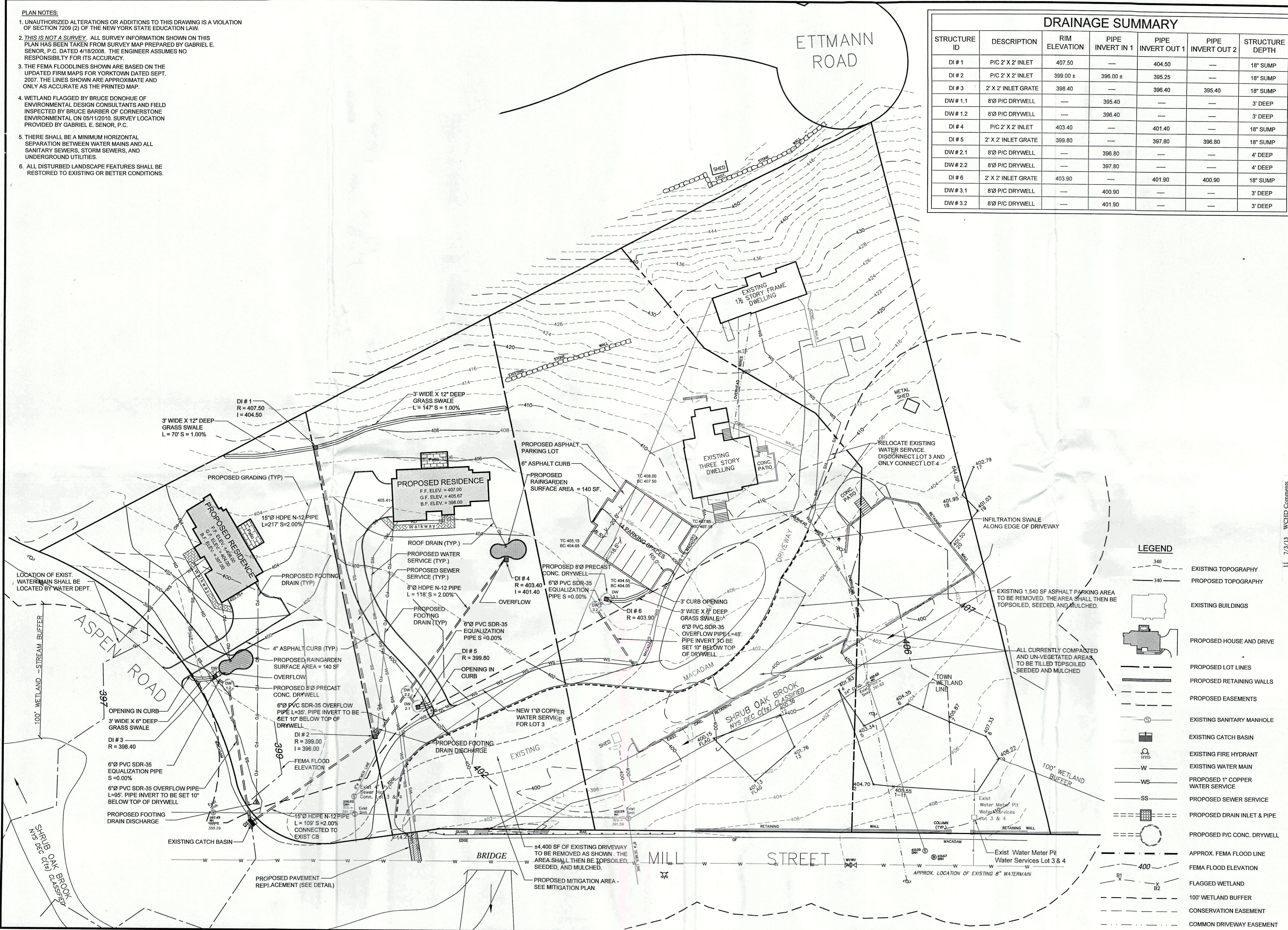
TOWN TAX MAP DATA:
 SECTION: 16.5
 BLOCK: 1
 LOT: 13
 LOT AREA: 5.616 Acres

EXISTING CONDITIONS PLAN
 PREPARED FOR
Aspen and Mill Street Properties LLC.
 Town Of Yorktown Westchester Co., New York

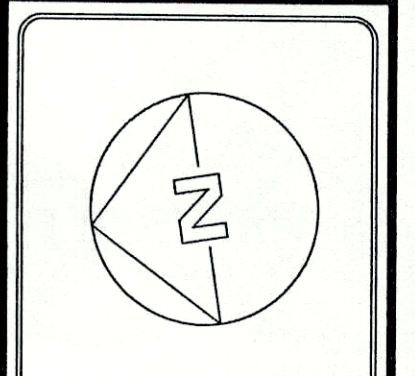
PLAN NOTES:

- UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
- THIS IS NOT A SURVEY.** ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY GABRIEL E. SENOR, P.C. DATED 4/18/2008. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
- THE FEMA FLOODLINES SHOWN ARE BASED ON THE UPDATED FIRM MAPS FOR YORKTOWN DATED SEPT. 2007. THE LINES SHOWN ARE APPROXIMATE AND ONLY AS ACCURATE AS THE PRINTED MAP.
- WETLAND FLAGGED BY BRUCE DONOHUE OF ENVIRONMENTAL DESIGN CONSULTANTS AND FIELD INSPECTED BY BRUCE BARBER OF CORNERSTONE ENVIRONMENTAL ON 05/11/2010. SURVEY LOCATION PROVIDED BY GABRIEL E. SENOR, P.C.
- THERE SHALL BE A MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND ALL SANITARY SEWERS, STORM SEWERS, AND UNDERGROUND UTILITIES.
- ALL DISTURBED LANDSCAPE FEATURES SHALL BE RESTORED TO EXISTING OR BETTER CONDITIONS.

DRAINAGE SUMMARY						
STRUCTURE ID	DESCRIPTION	RIM ELEVATION	PIPE INVERT IN 1	PIPE INVERT OUT 1	PIPE INVERT OUT 2	STRUCTURE DEPTH
DI # 1	P/C 2' X 2' INLET	407.50	---	404.50	---	18" SUMP
DI # 2	P/C 2' X 2' INLET	399.00 ±	396.00 ±	395.25	---	18" SUMP
DI # 3	2' X 2' INLET GRATE	398.40	---	396.40	395.40	18" SUMP
DW # 1.1	8" P/C DRYWELL	---	395.40	---	---	3' DEEP
DW # 1.2	8" P/C DRYWELL	---	396.40	---	---	3' DEEP
DI # 4	P/C 2' X 2' INLET	403.40	---	401.40	---	18" SUMP
DI # 5	2' X 2' INLET GRATE	399.80	---	397.80	396.80	18" SUMP
DW # 2.1	8" P/C DRYWELL	---	396.80	---	---	4' DEEP
DW # 2.2	8" P/C DRYWELL	---	397.80	---	---	4' DEEP
DI # 6	2' X 2' INLET GRATE	403.90	---	401.90	400.90	18" SUMP
DW # 3.1	8" P/C DRYWELL	---	400.90	---	---	3' DEEP
DW # 3.2	8" P/C DRYWELL	---	401.90	---	---	3' DEEP



Site Design Consultants
 Civil Engineers • Land Planners
 251 F Underhill Avenue Yorktown Heights, NY 10598
 (914) 962-4488 - Fax (914) 962-7386
 email: sdc@cloud9.net



7/3/13 WCHD Comments
 11 4/4/13 WCHD Comments

Revisions	No.	Date	Comments
1	09/06/09	Drive & Res. Rev.	
2	11/13/09	Release	
3	11/13/09	Release	
4	2/12/09	Zoning Schedule	
5	3/15/09	Parking Addition	
6	5/10/10	Eng. Details	
7	10/12/10	Eng. Details	
8	10/12/10	Plan Set	
9	8/22/11	Plan Set	
10	5/16/12	W.C. Comments	

SCALE: 1" = 30'
DRAWN BY: JR
DATE: 11/13/09

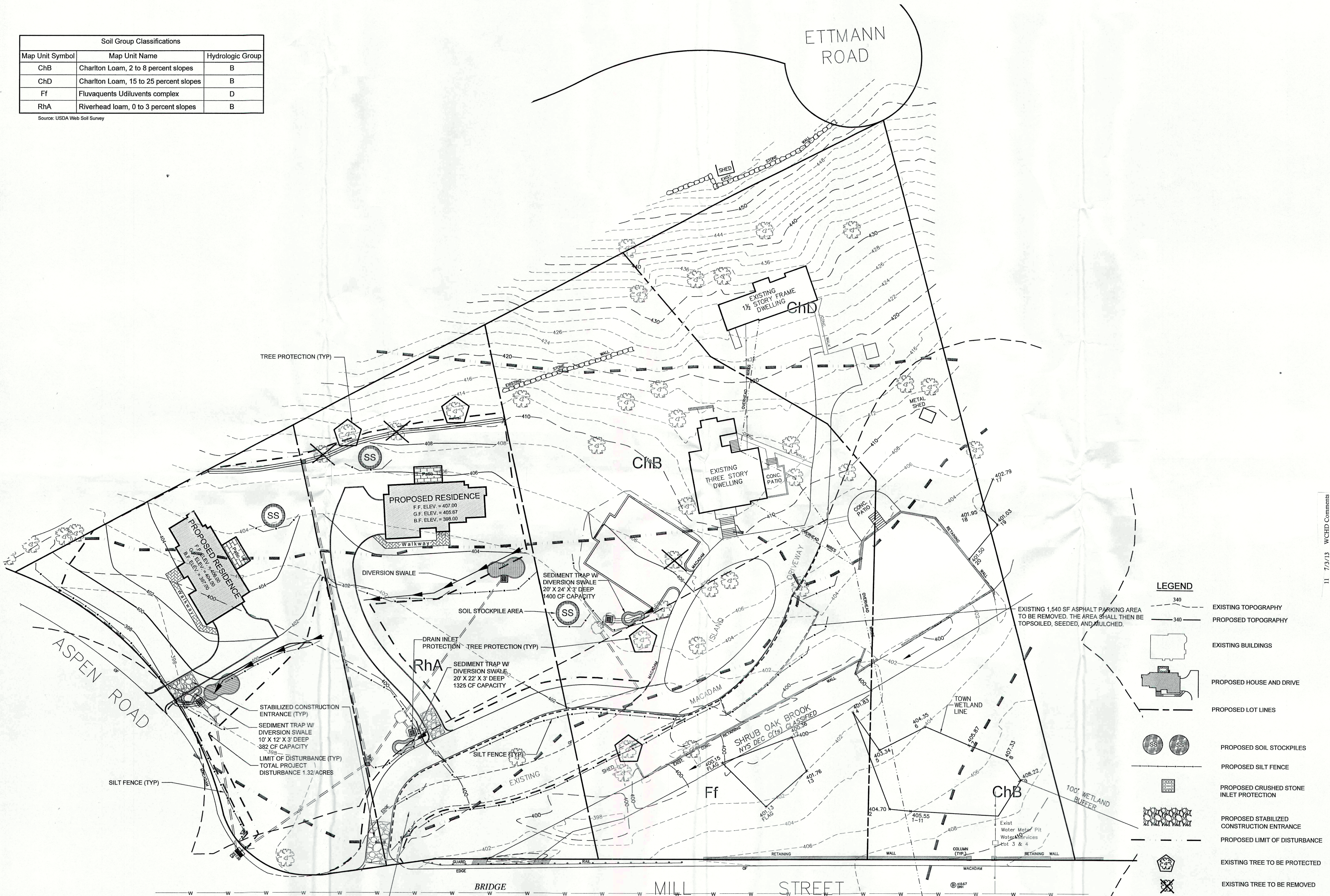
TOWN TAX MAP DATA:
 SECTION: 16.5
 BLOCK: 1
 LOT: 13
 LOT AREA: 5.616 ACRES

IMPROVEMENT PLAN
 PREPARED FOR
Aspen and Mill Street Properties LLC.
 Town of Yorktown Westchester Co., New York

- LEGEND**
- 340 --- EXISTING TOPOGRAPHY
 - 340 --- PROPOSED TOPOGRAPHY
 - [Building Outline] EXISTING BUILDINGS
 - [House and Drive Outline] PROPOSED HOUSE AND DRIVE
 - [Dashed Line] PROPOSED LOT LINES
 - [Dashed Line] PROPOSED RETAINING WALLS
 - [Dashed Line] PROPOSED EASEMENTS
 - [Circle with S] EXISTING SANITARY MANHOLE
 - [Square with CB] EXISTING CATCH BASIN
 - [Circle with H] EXISTING FIRE HYDRANT
 - [Line with W] EXISTING WATER MAIN
 - [Line with WS] PROPOSED 1" COPPER WATER SERVICE
 - [Line with SS] PROPOSED SEWER SERVICE
 - [Line with DI] PROPOSED DRAIN INLET & PIPE
 - [Line with DW] PROPOSED P/C CONC. DRYWELL
 - [Dashed Line] APPROX. FEMA FLOOD LINE
 - [Dashed Line] FEMA FLOOD ELEVATION
 - [Dashed Line] FLAGGED WETLAND
 - [Dashed Line] 100' WETLAND BUFFER
 - [Dashed Line] CONSERVATION EASEMENT
 - [Dashed Line] COMMON DRIVEWAY EASEMENT

Soil Group Classifications		
Map Unit Symbol	Map Unit Name	Hydrologic Group
ChB	Charlton Loam, 2 to 8 percent slopes	B
ChD	Charlton Loam, 15 to 25 percent slopes	B
Ff	Fluvaquents Udiluvents complex	D
RhA	Riverhead loam, 0 to 3 percent slopes	B

Source: USDA Web Soil Survey



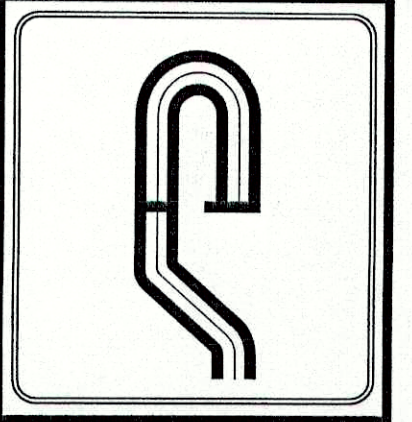
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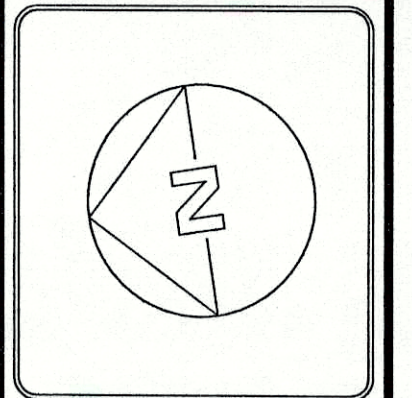
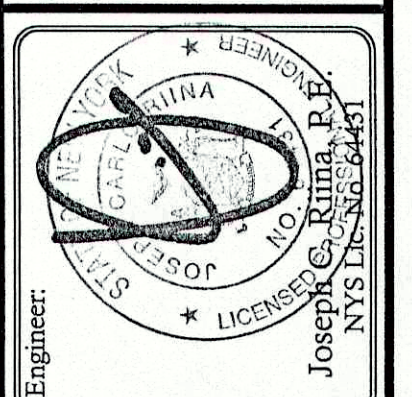
44,400 SF OF EXISTING DRIVE TO BE REMOVED AND RESTORED WITH MIN. 4" TOP SOIL, SEED, AND MULCH.

LEGEND

- 340 --- EXISTING TOPOGRAPHY
- 340 --- PROPOSED TOPOGRAPHY
- [Building Outline] EXISTING BUILDINGS
- [House and Drive Outline] PROPOSED HOUSE AND DRIVE
- [Dashed Line] PROPOSED LOT LINES
- [Circle with 'SS'] PROPOSED SOIL STOCKPILES
- [Dashed Line with 'S'] PROPOSED SILT FENCE
- [Crushed Stone Pattern] PROPOSED CRUSHED STONE INLET PROTECTION
- [Stabilized Entrance Pattern] PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- [Dashed Line with 'L'] PROPOSED LIMIT OF DISTURBANCE
- [Tree with 'X'] EXISTING TREE TO BE PROTECTED
- [Tree with 'X'] EXISTING TREE TO BE REMOVED
- [Dashed Line] USDA SOIL BOUNDARY
- [Symbol] USDA SOIL MAP SYMBOL
- [Arrow] DIVERSION SWALE



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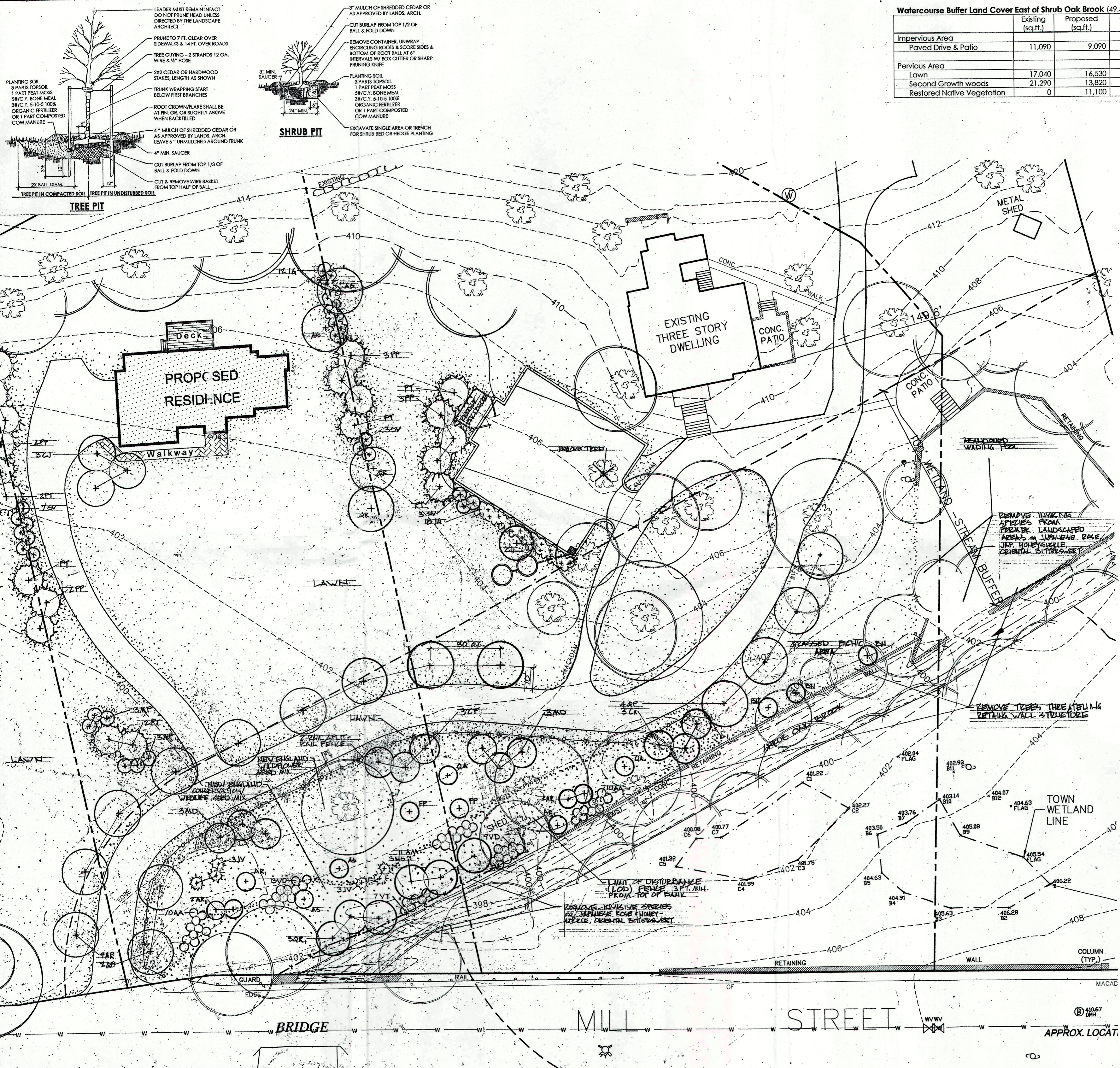
11 7/3/13 WCHD Comments
 12 4/4/13 WCHD Comments

Revisions:	No.	Date	Comments
	1	09/06/09	Drive & Res. Rev.
	2	11/13/09	Final Schedule
	3	11/13/09	Final Schedule
	4	2/12/10	Zoning Addition
	5	3/15/10	Parking Addition
	6	5/10/10	Edge Details
	7	01/17/11	Edge Details
	8	10/17/11	Final Plan Set
	9	8/22/11	Final Plan Set
	10	5/16/12	WC Comments

SCALE: 1" = 30'
DRAWN BY: JR
DATE: 11/13/09

TOWN TAX MAP DATA:
 SECTION: 16.5
 BLOCK: 1
 LOT: 13
 LOT AREA: 5.66 Acres

EROSION & SEDIMENT CONTROL PLAN
 PREPARED FOR
Aspen and Mill Street Properties LLC.
 Town of Yorktown Westchester Co., New York



Watercourse Buffer Land Cover East of Shrub Oak Brook (49,590 sq.ft.±)

	Existing (sq.ft.)	Proposed (sq.ft.)	Change (sq.ft.)
Impervious Area			
Paved Drive & Patio	11,090	9,090	-2,000
Pervious Area			
Lawn	17,040	16,530	-510
Second Growth woods	21,290	13,820	-7,470
Restored Native Vegetation	0	11,100	+11,100

Landscape Notes

- The Landscape Contractor shall be required to perform all clearing, finished grading, soil preparation, permanent seeding or sodding, occupancy, the proposed landscape as shown on the approved landscape plan, must be installed, inspected and approved by the Town. Plantings required for a certificate of occupancy shall be provided during the next appropriate season at the municipality's discretion.
- Existing vegetation shall be retained unless specified otherwise on this plan.
- Invasive vegetation shall be identified in the field by the Project Landscape Architect.
 - Removal shall be by flush-cutting stems and immediately applying a systemic root killer following manufacturer's directions.
 - Only hand-held tools shall be used for invasive species removal.
 - Naturalized areas which have had invasive vegetation removed shall be inspected annually by the Project Landscape Architect during the warranty period for the recurrence of invasive species. These shall be marked for removal by the Contractor.
- Trees endangering the stability of the stream-side retaining walls shall be identified for removal by the Project Engineer. Removal shall be by flush-cutting the trunks and either grinding stumps to a 12" min. below grade, or applying a systemic root killer. Contractor shall be responsible for the protection of all existing trees to remain. A tree protection zone shall be established of the drip line or 15 feet from the trunk or at the limit of construction disturbance, whichever is greater.
- All plants shall in all cases conform to the requirements of the most recent edition of "American Standard for Nursery Stock". Contractor shall provide a 3" thick minimum layer of topsoil over all graded areas. In all planting areas, topsoil should be spread over a prepared surface in a uniform layer to achieve the desired compacted thickness.
- Prior to the issuance of any certificate of occupancy, the proposed landscape as shown on the approved landscape plan, must be installed, inspected and approved by the Town. Plantings required for a certificate of occupancy shall be provided during the next appropriate season at the municipality's discretion.
- All plant substitutions must be approved in advance by the Project Landscape Architect and verified by the Town.
- New plantings or lawn areas of the landscaped building grounds shall be adequately irrigated beginning immediately after planting. Water shall be applied to each tree and shrub in such manner as not to disturb backfill and to the extent that all materials in the planting hole are thoroughly saturated. Watering shall continue routinely at least until plants are established. Each plant shall receive approx. 1" of water in its plant saucer each week between April 15th and October 1st for the first three full growing seasons.
- The Landscape Contractor shall guarantee all plants for the warranty period. Contractor shall supply the Owner with a maintenance bond for 10% of the value of the landscape installation which will be released at the conclusion of the warranty period and when a final inspection has been completed and approved by the Owner and the Town.
- Planting beds shall be weeded and have a minimum of 3" double shredded cedar or hardwood bark mulch maintained in good condition.
- Contractor shall have all underground utilities staked-out prior to installation of any landscape materials. Utility companies shall be contacted three days prior to the beginning of work.

Tree Protection

- All existing trees to remain shall have orange construction fence located at the drip line or at a distance of 2 1/4" dbh, whichever is greater.
- At no time shall machinery, vehicles, equipment, construction materials, dirt debris or other materials be placed, stock piled or left standing within the tree protection area.
- Where grading must occur within the tree protection zone:
 - Trunk armor of 6 ft. 2x4 lumber shall be strapped around the trunk with 2" max. spacing between boards.
 - Tree protection zone shall be defined with construction fence c. at the limit of grading.
 - Exposed roots 1/2" diameter and larger shall be pruned with sharp shears 6" ± below finished grade.
 - Before any vehicular traffic occurs within the drip line of trees to be saved and where grading is to be less than 6" cut, the area within the tree protection zone shall receive 12"± of wood chips. In areas to be paved 1-1/4" gravel may be substituted.

Warranty

- The warranty period shall be five years. At the end of this period the wetlands and buffer areas shall be fully stabilized and a minimum survival/coverage rate of planted areas shall be 80%. All deficits below 80% shall be replanted.
- Upon completion of all mitigation planting, an as-built sketch plan shall be prepared by the Project Landscape Architect and submitted to the Engineering Department, and the Environmental Code Enforcement Officer.
- Upon a satisfactory inspection by the Town and the Owner's representative, the mitigation shall be provisionally accepted by the Town and the warranty period shall begin.
- During the warranty period the mitigation area shall be inspected annually by the Project Landscape Architect and a status report prepared. The report shall include the general condition of the mitigation, identify specific losses and damage observed, if any. Where appropriate, recommendations for changes shall be made. These may include species changes, erosion repairs/controls and invasive species control.
- Plant losses by type, i.e. tree, shrub and ground cover, exceeding 20% shall be replaced the following spring under the direction of the Project Landscape Architect.

Plant Schedule

Quant	Symb	Latin Name/Common Name	Size	Comments
Trees				
9	AR	Acer rubrum/Red Maple	4-4 1/2" cal.	30 ft. o.c.
6	AR	Acer rubrum/Red Maple	1 1/2-2" cal.	10-12' ht
4	AS	A. saccharum/Sugar Maple	1 1/2-2" cal.	10-12' ht
3	CF	Cornus florida/Flowering Dogwood	10-12" cal.	
3	Cx	C. x Celestial/Celestial Flowering Dogwood	1 1/2-2" cal.	8-10' ht
4	CJ	Cercidiphyllum japonicum/Katsuratree	3-3 1/2" cal.	
2	FP	Fraxinus pennsylvanica/Green Ash	1 1/2-2" cal.	8-10' ht
6	JV	Juniperus virginiana/Red Cedar	5-6" ht.	
6	MD	Malus x Donald Wyman/Donald Wyman Crabapple	2-2 1/2" cal.	
3	NS	Nyssa sylvatica/Blackgum	2 1/2-3" cal.	
12	PP	Picea pungens/Colorado Spruce	8-10" ht	
8	PT	Pinus thunbergii/Japanese Black Pine	7-8" ht	
2	QA	Quercus alba/White Oak	1 1/2-2" cal.	10-12' ht
3	Q8	Q. bicolor/Swamp White Oak	2 1/2-3" cal.	
6	QP	Q. palustris/Pin Oak	4-4 1/2" cal.	25 ft. o.c.
2	QR	Q. rubra/Red Oak	3-3 1/2" cal.	
3	QR	Q. rubra/Red Oak	1 1/2-2" cal.	8-10' ht
Shrubs				
20	AA	Aronia arbutifolia/Red Chokeberry	4-5' ht	4 ft. o.c.
11	AM	A. melanocarpa/Black Chokeberry	4-5' ht	4 ft. o.c.
30	IG	Ilex glabra/Inkberry	2 1/2-3" ht	3 ft. o.c.
6	MP	Myrica pensylvanica/Bayberry	3-4' ht	Heavy
13	SV	Syringa vulgaris/Common Lilac	6-8' ht	
22	VD	Viburnum dentatum/Aronwood Viburnum	3-4' ht	heavy4 ft. o.c.
7	VT	V. trilobum/American Cranberrybush	3-4' ht	

New England Conservation/Wildlife Mix (from New England Wetland Plants, Inc.) 1 lb./1,743 sq.ft. Blue Bluestem/Andropogon gerardi, Switchgrass/Panicum virgatum, Little Bluestem/Schizachyrium scoparium, Canada Wild Rye/Elymus canadensis, Fox Sedge/Carex vulpinoidea, Partridge Pea/Chamaecrista fasciculata, Fringed Bromegrass/Bromus ciliatus, Pennsylvania Smartweed/Polygonum pensylvanicum, Common Milkweed/Asclepias syriaca, Nodding Bur-marigold/Bidens cernua, Showy Tick-Troot/Desmodium canadense, Silky Smooth Aster/Aster laevis, Flat-top Aster/Aster umbellatus.

New England Wildflower Mix (from New England Wetland Plants, Inc.) 1 lb./1,800 sq.ft. Asclepias syriaca/ Common Milkweed, Aster novae angliae/ New England Aster, Chamaecrista fasciculata / Partridge Pea, Elymus canadensis/ Canada Wild Rye, Elymus virginicus/ Virginia Wild Rye, Festuca rubra/ Creeping Red Fescue, Helopsis helianthoides/ Ox Eye Sunflower, Lupinus polyphyllus/ Big Leaf Lupine, Rudbeckia hirta/ Black Eyed Susan, Schizachyrium scoparium/ Little Bluestem, Senna hebecarpa/ Wild Senna, Solidago juncea/ Early Goldenrod, Sorghastrum nutans/ Indian Grass

Environmental Design Consulting
Bruce M. Donahue, Landscape Architect, B.L.A., M.L.A., N.S. Ecology
19 PROMISED ROAD, WESTPORT, CONNECTICUT 06880
(860) 226-6000

Revisions:
1 2/20/10
2 2/22/10

SCALE: 1" = 20'
DRAWN BY: [Signature]
DATE: 5/8/10

TOWN TAX MAP DATA:
SECTION: 16.5
BLOCK: 1
LOT: 13
LOT AREA: 5.616 ACRES

Alternative Landscape/Mitigation Plan
PREPARED FOR
Aspen and Mill Street Properties, LLC.
Westchester Co., New York
Town Of Yorktown

Sheet 5 of 7

GENERAL EROSION CONTROL NOTES:

- 1. Contractor shall be responsible for compliance with all sediment and erosion control practices... 2. Catch basin inlet protection must be installed and operating at all times...

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- 1. Trees and vegetation shall be protected at all times as shown on the detail drawing... 2. Care should be taken so not to channel concentrated runoff through the areas of construction activity on the site.

MAINTENANCE SCHEDULE:

Table with columns: DAILY, WEEKLY, MONTHLY, AFTER RAINFALL, NECESSARY TO MAINTAIN FUNCTION, AFTER APPROVAL OF INSPECTOR. Rows include SILT FENCE, WHEEL CLEANER, INLET PROTECTION.

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event.

MAINTENANCE OF BUILDS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans.

- 1. The pH of the material shall be 5.5 to 7.6. 2. The organic content shall not be less than 2% or more than 10%. 3. Gradation: SIEVE SIZE, % PASSING BY WGT.

PERMANENT VEGETATIVE COVER:

- 1. Site preparation: 1.1. Install erosion control measures. 1.2. Scarify compacted soil areas. 1.3. Lime as required to pH 6.5. 1.4. Fertilize with 10-6-4 4 lbs/1,000 S.F. 1.5. Incorporate amendments into soil with disc harrow. 2. Seed mixtures for use on swales and cut and fill areas.

TEMPORARY VEGETATIVE COVER:

- 1. Install erosion control measures. 2. Scarify areas of compacted soil. 3. Fertilize with 10-10-10 at 400/acre. 4. Lime as required to pH 6.5.

Table: SEED SPECIES, MIXTURE, LBS/ACRE. Rows include Rapidly germinating annual ryegrass, Perennial ryegrass, Cereal oats.

SEEDING: Same as permanent vegetative cover

CONTRACTOR CERTIFICATION STATEMENT

Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity...

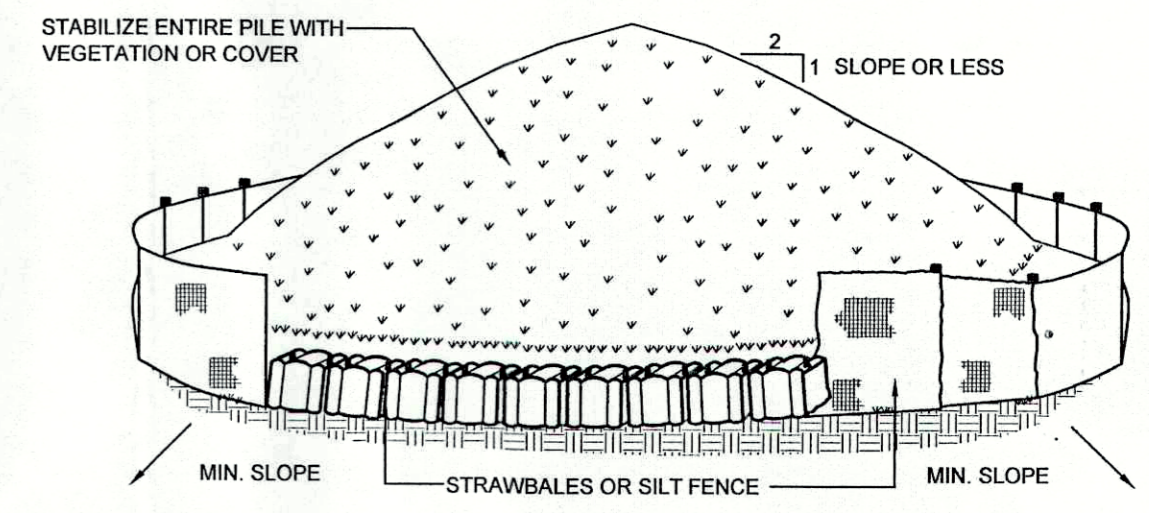
"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System (SPDES) General Permit for Stormwater Discharge from Construction Activities..."

Individual Contractor: Name and Title, Signature, Company / Contracting Firm, Address, Telephone Number / Cell Number, Site Information, Today's Date.

OWNER / OPERATOR CERTIFICATION

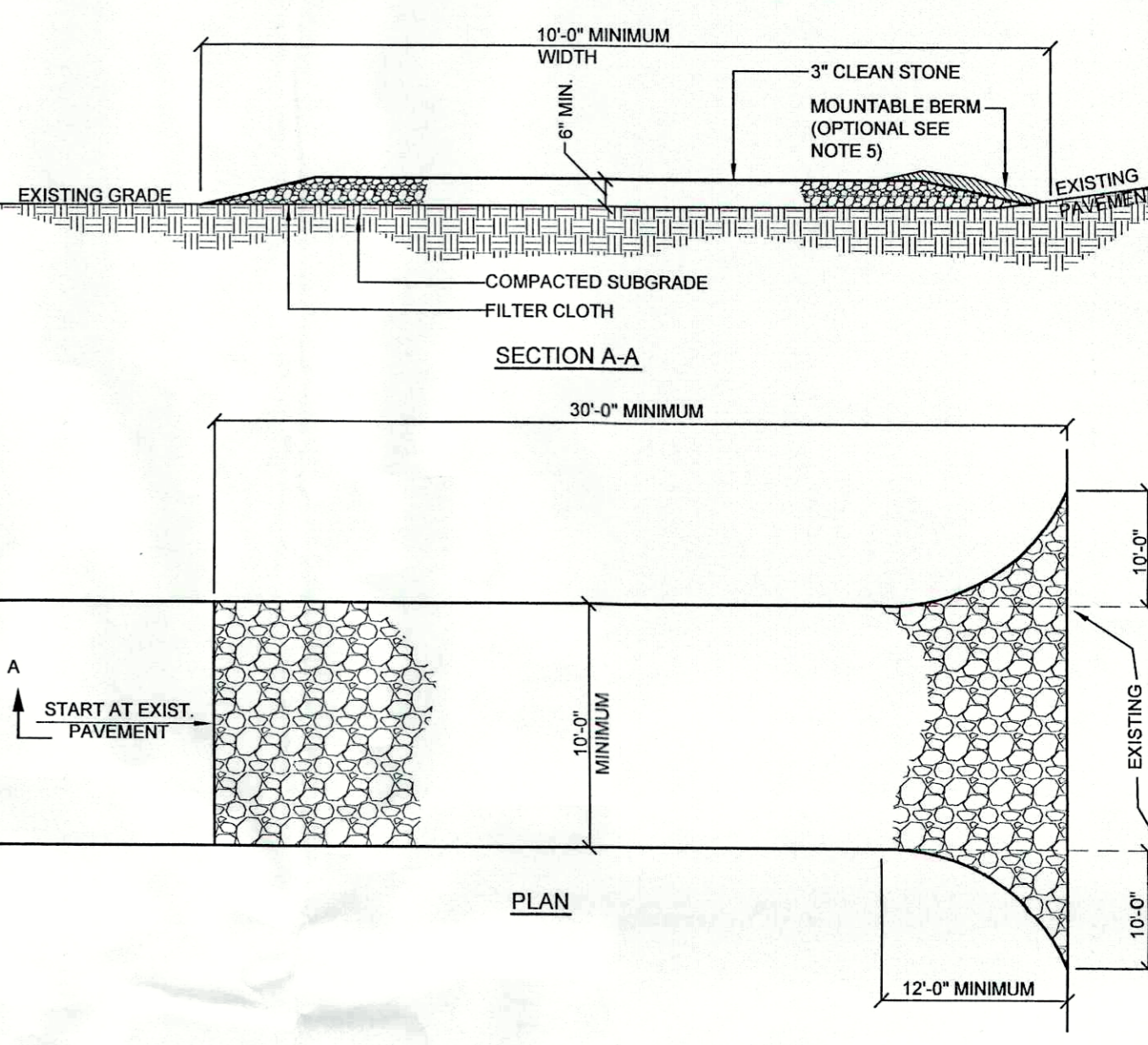
"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete."

Name (please print): Title: Date: Address: Phone: E-mail: Signature:



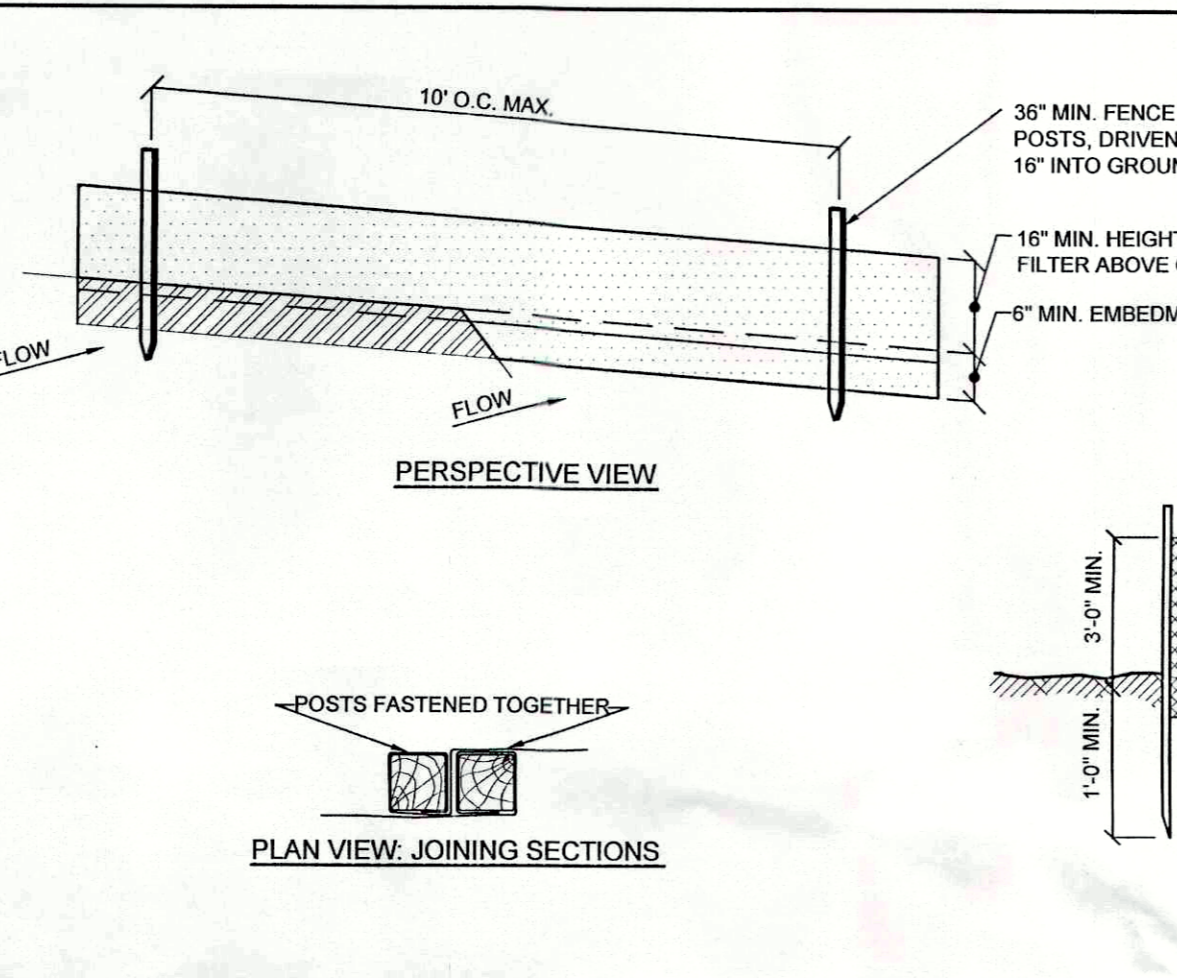
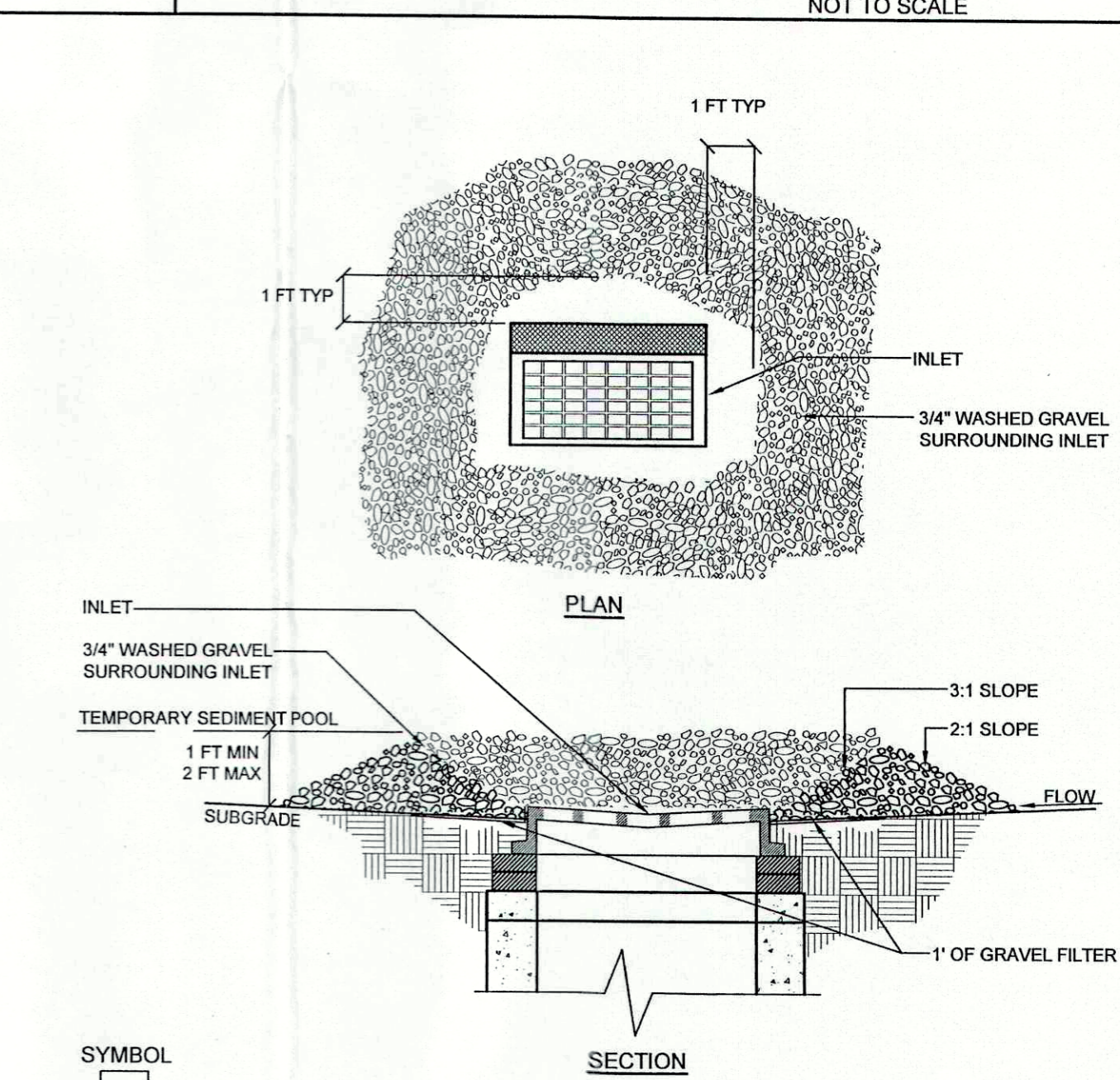
- NOTES: 1. Area chosen for stockpiling operations shall be dry and stable. 2. Maximum slope of stockpile shall be 1:2. 3. Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbaales, then stabilized with vegetation or cover.

E-2 SOIL STOCKPILE DETAIL NOT TO SCALE



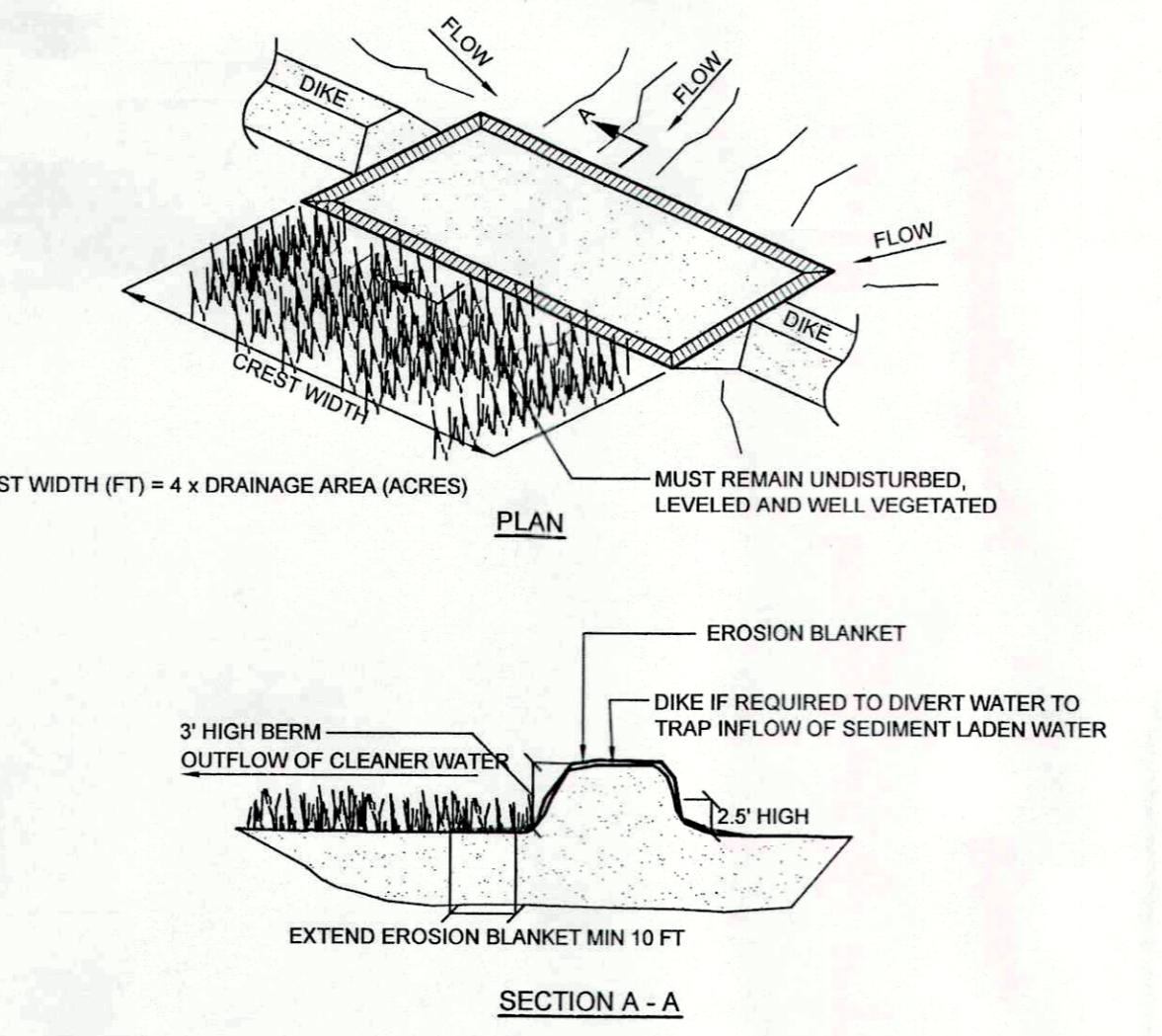
- INSTALLATION NOTES: 1. Stone size - use 3" min. Stone, or reclaimed or recycled concrete equivalent. 2. Length - as required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).

E-3 STABILIZED CONSTRUCTION ENTRANCE DETAIL NOT TO SCALE



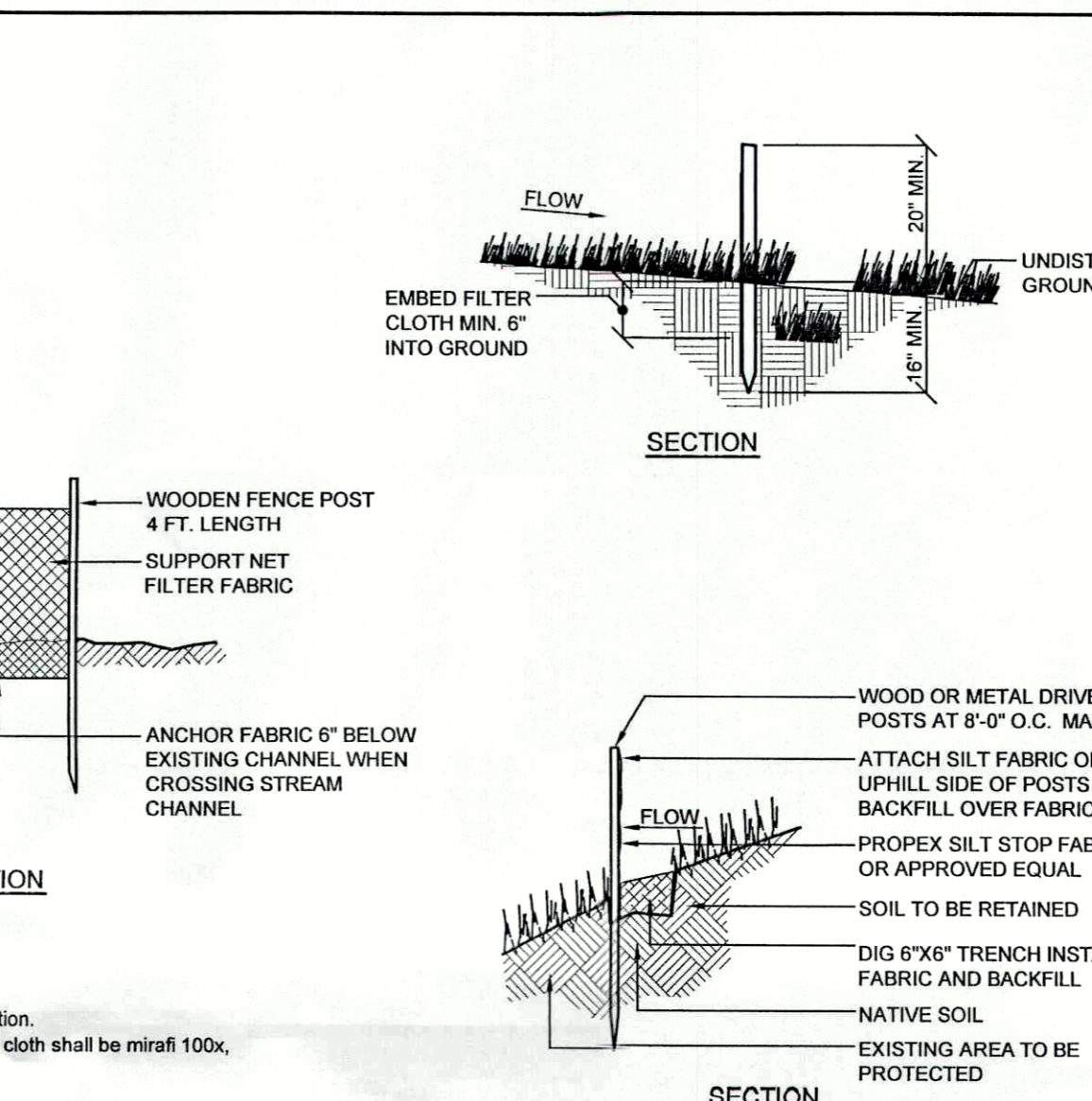
- NOTES: 1. Filter cloth to be fastened securely to post: steel either 1/2" or 3/4" or 2" hardwood posts at top and mid section. 2. When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded.

E-1 SILT FENCE DETAIL NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS: 1. Temporary sediment traps shall be installed as conditions warrant and relocated as needed to accommodate construction phases. 2. Volume of sediment storage shall be 3600 cubic feet per acre of contributory drainage area.

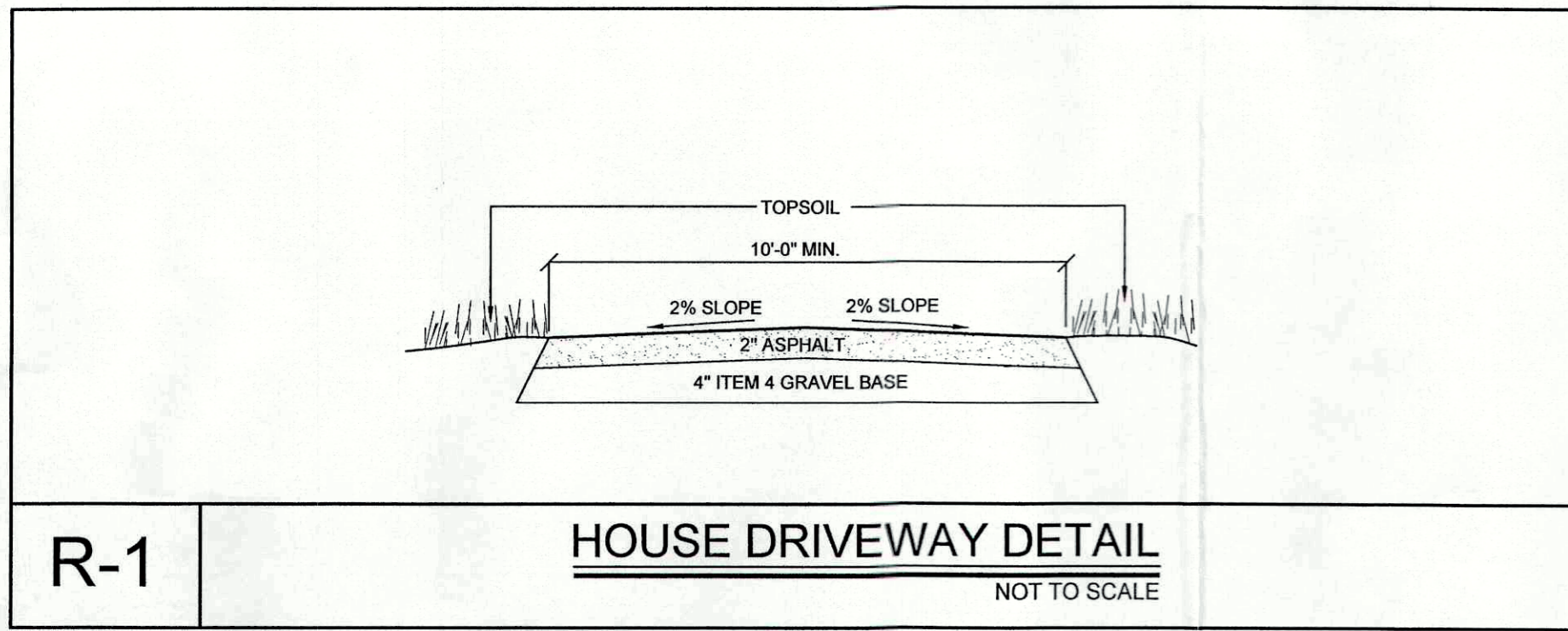
E-4 GRASS OUTLET SEDIMENT TRAP DETAIL NOT TO SCALE



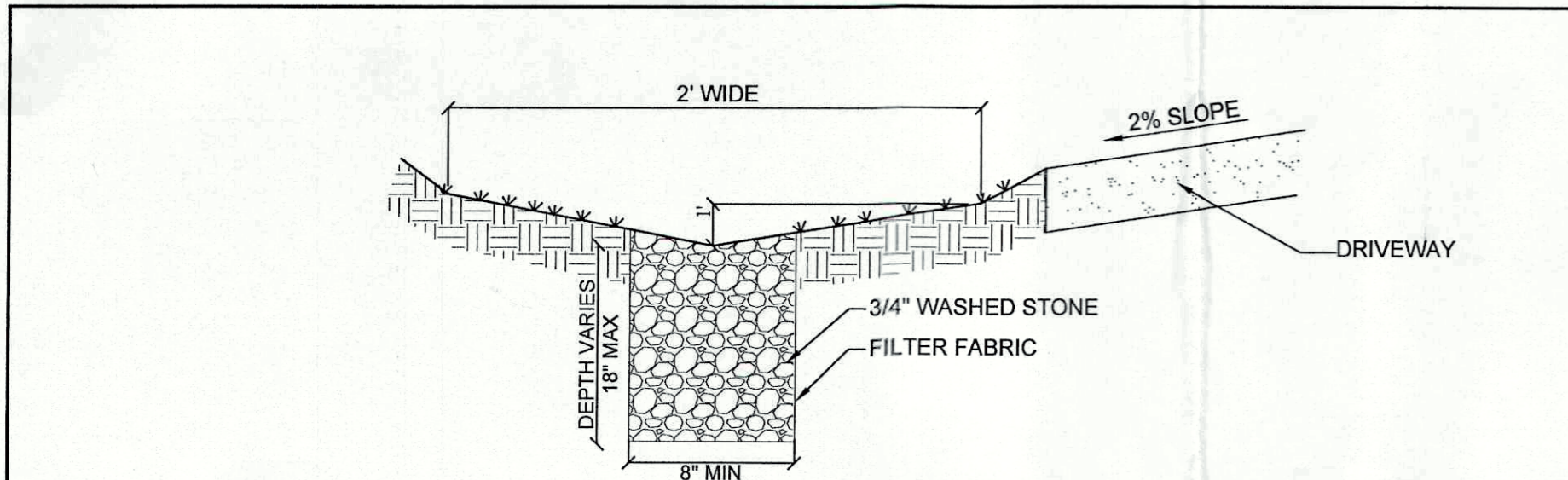
- NOTES: 1. Contractor shall use the tree trunk armor detail for isolated trees that require protection. 2. As an alternate, the contractor may protect trees in the vicinity of regular heavy traffic / construction areas or clusters of trees to be protected as per the construction fence detail.

E-5 TREE TRUNK ARMOR / TREE PROTECTION DETAIL NOT TO SCALE

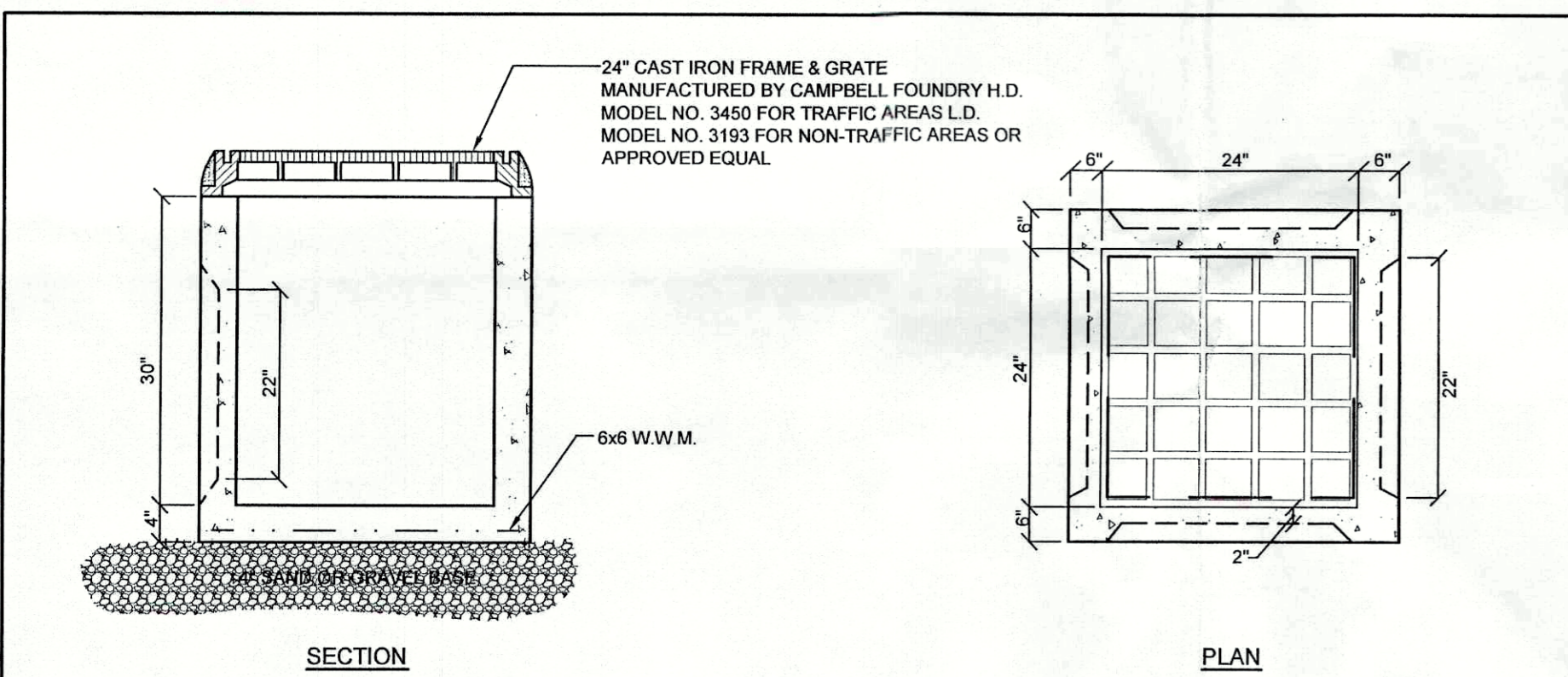
Site Design Consultants: Civil Engineers • Land Planners. 251 F Underhill Avenue Yorktown Heights, NY 10598. (914) 962-4488. Fax (914) 962-7386. email sdc@cloud9.net. License No. 64431. TOWN TAX MAP DATA: SECTION: 16.5, BLOCK: 1, LOT: 13, LOT AREA: 5.616 Acres. Aspen and Mill Street Properties LLC. Westchester Co., New York. Town Of Yorktown. Sheet 6 of 7.



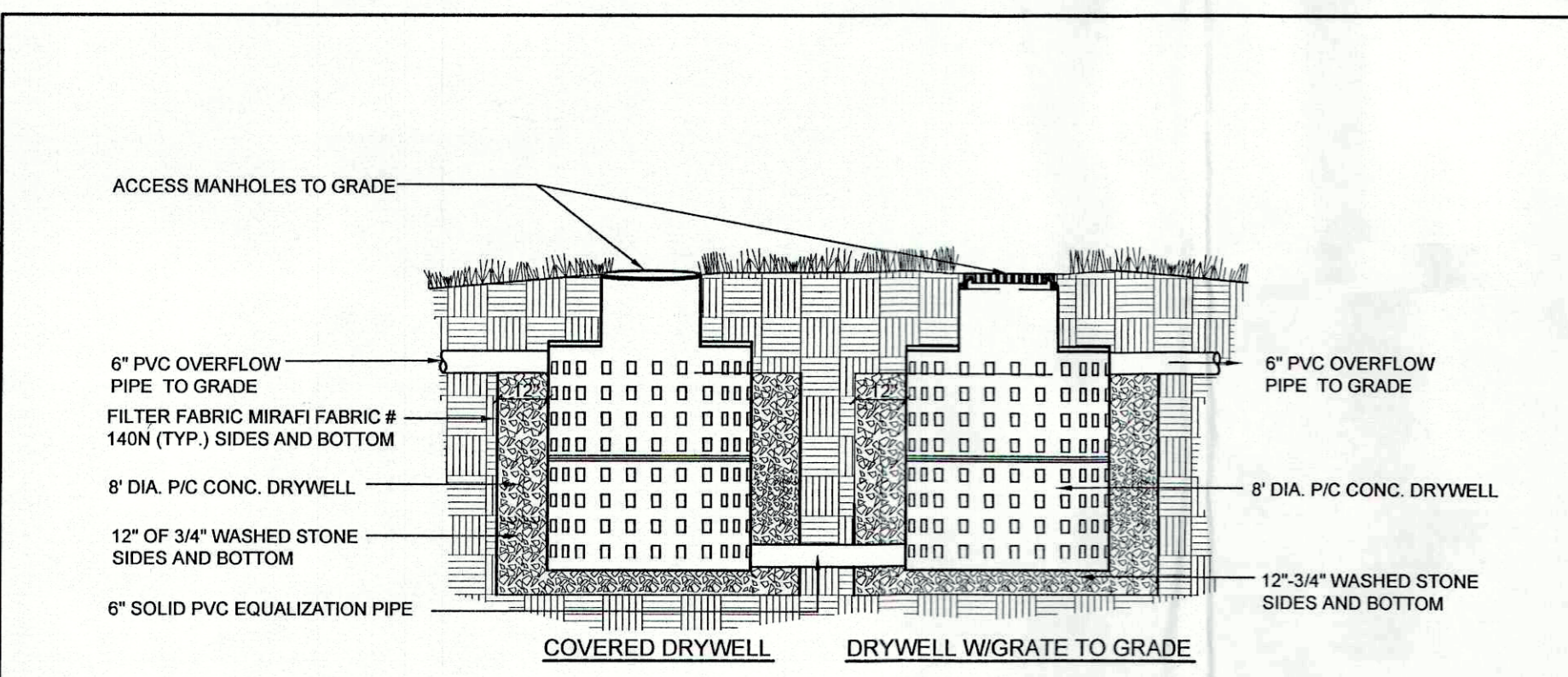
R-1 HOUSE DRIVEWAY DETAIL
NOT TO SCALE



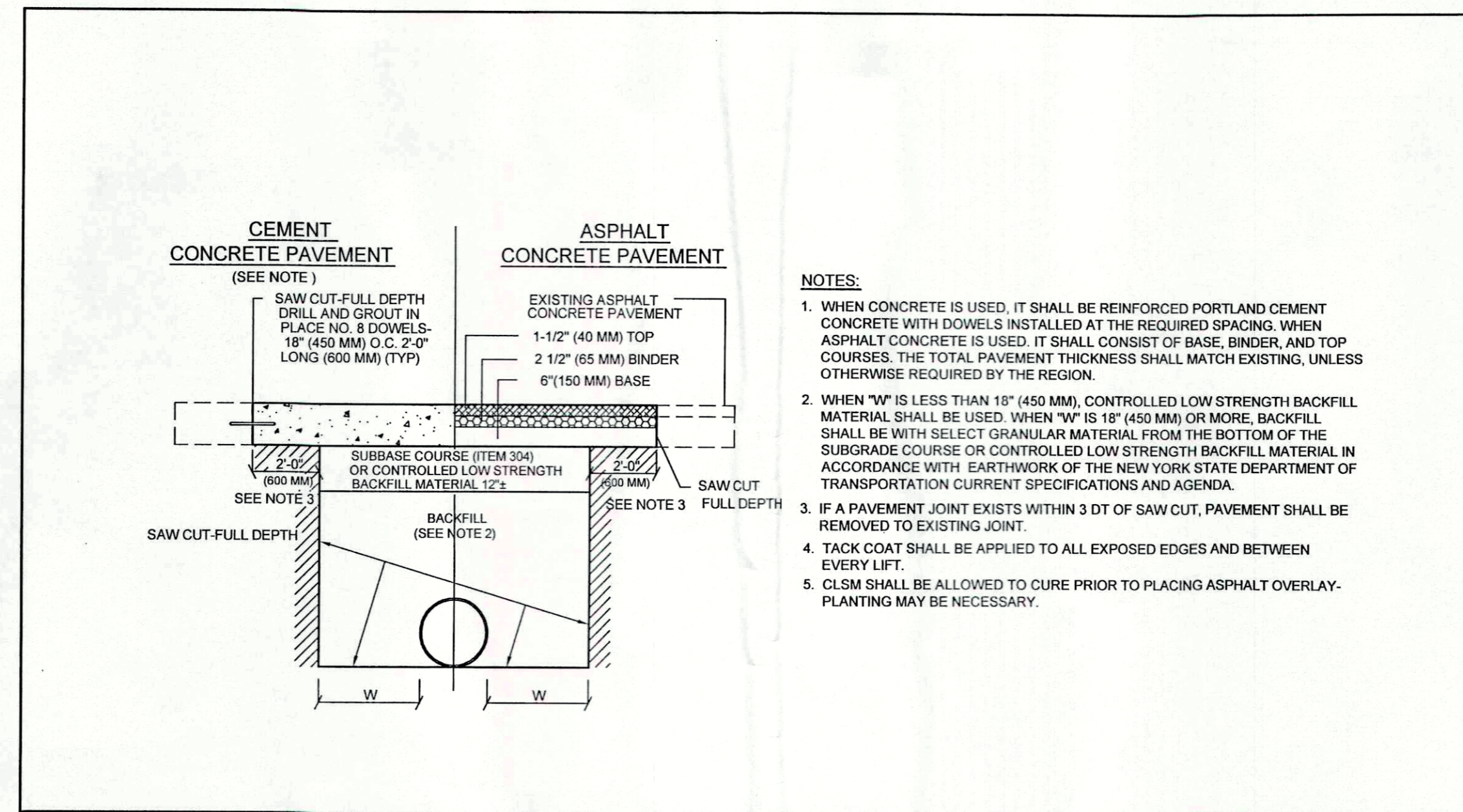
D-1 GRASS SWALE W/ INFILTRATION TRENCH DETAIL
NOT TO SCALE



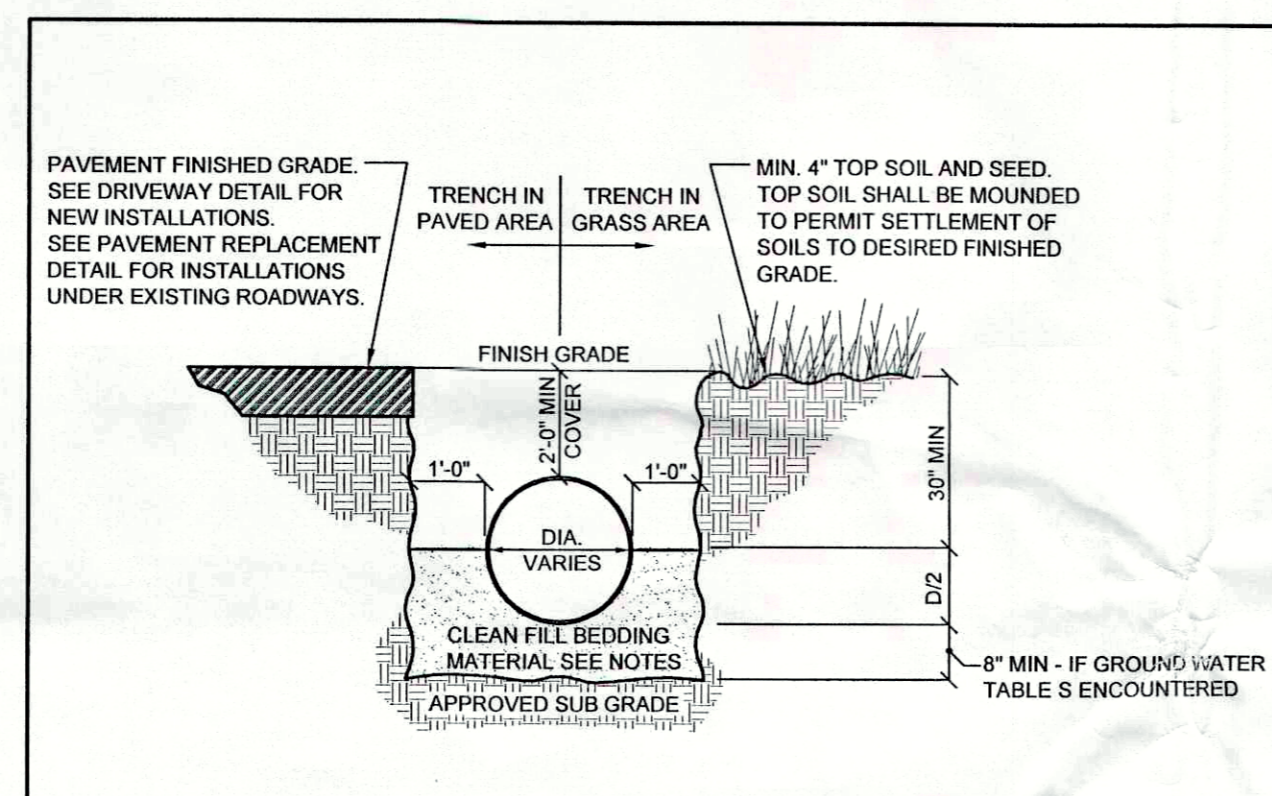
D-2 PRECAST DRAIN INLET DETAIL
NOT TO SCALE



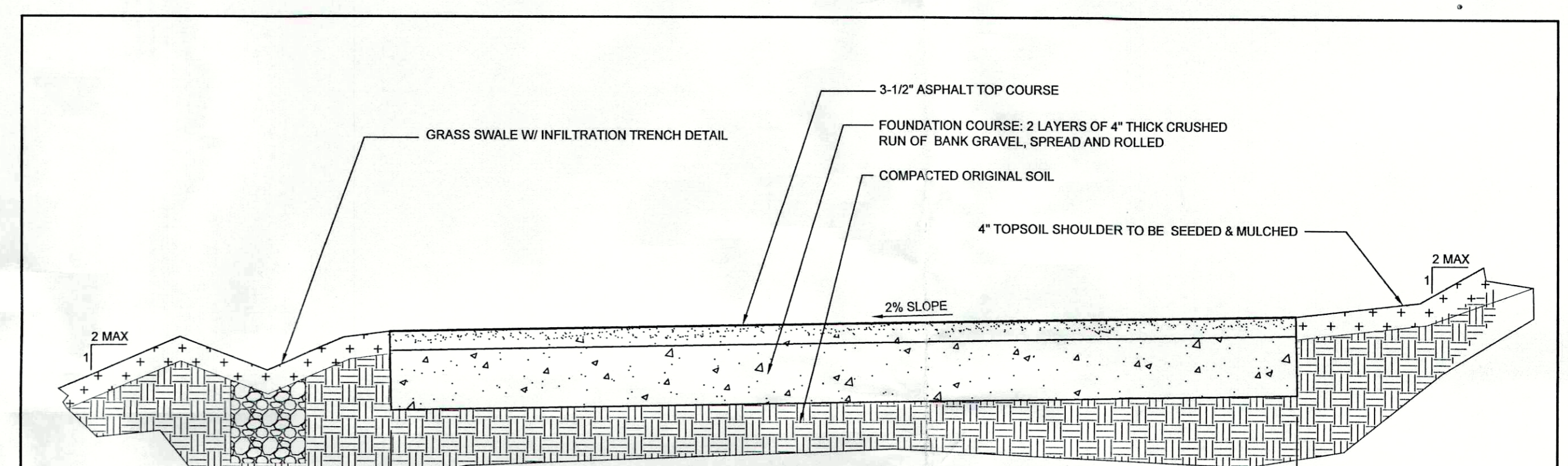
D-3 DRYWELL DETAIL
NOT TO SCALE



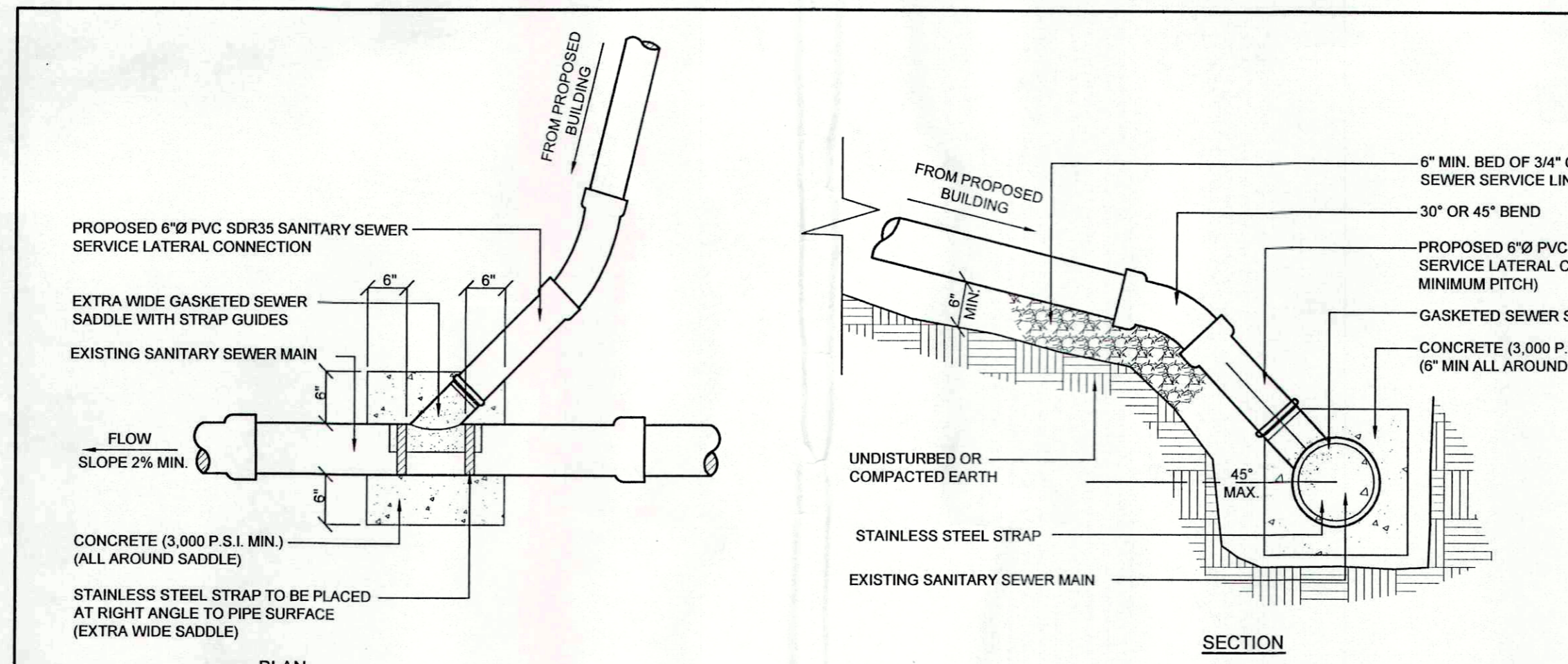
R-2 PAVEMENT REPLACEMENT DETAIL
NOT TO SCALE



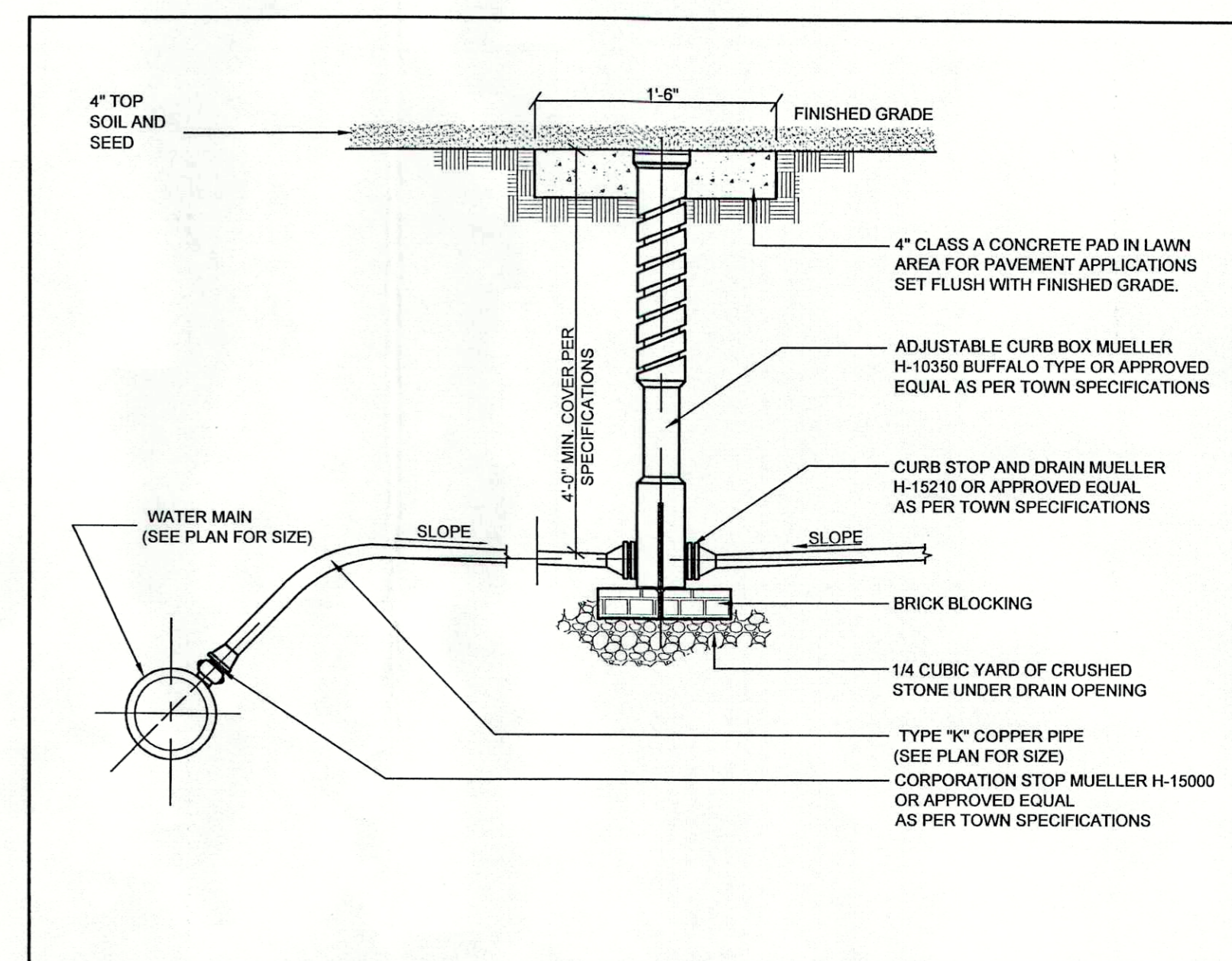
D-4 PIPE BEDDING DETAIL
NOT TO SCALE



R-3 COMMON DRIVEWAY DETAIL
NOT TO SCALE



S-1 SEWER CONNECTION TO EXISTING MAIN-LINE DETAIL
NOT TO SCALE



W-1 WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

GENERAL NOTES:

- The Engineer whose seal appears hereon has not been retained for supervision of construction, subsequently, he is not responsible for construction and therefor assumes no responsibility for construction practices, procedures, and results therefrom.
- The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
- The Town Engineer's office is to be notified 24 hours before commencing site construction.
- All work is to be completed in accordance with the Town's Code of Practice and Specifications.
- All conditions, locations, and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
- All changes made to the plans shall be approved by the Engineer and any such changes shall be filed as amendments to the original Building Permit.
- All written dimensions on the drawings shall take precedence over any scaled dimensions.
- It is the Contractor's responsibility to call in a "CODE 53" at least 2 days but no more than 10 days prior to construction for underground utility locations.
- Substructures and their encroachments below grade, if any, are not shown.
- Contractor to verify all substructures encountered during construction.
- Any proposed electric and/or telephone service lines are to be placed underground.
- The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
- The Contractor shall be responsible to the Owner for the acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any of the work under a contract with the Contractor.
- The Design Engineer disclaims any liability for damage or loss incurred during or after construction.
- The contractor shall be responsible for obtaining all necessary permits for any blasting if required.

Site Design Consultants
Civil Engineers • Land Planners
251 F Underhill Avenue Yorktown Heights, NY 10598
(914) 962-4488 Fax (914) 962-7386
email: sd@cloud9.net

Professional Engineer
Joseph C. Khan, P.E.
NYS Lic. No. 64431

Revisions:	No.	Date	Comments
	1	09/06/09	Drive & Res. Rev.
	2	11/13/09	Release Drive
	3	2/12/09	Zoning Schedule
	4	3/15/10	Parking Addition
	5	5/10/10	Eng. Details
	6	10/15/10	Eng. Details
	7	8/22/11	Final Plan Set
	8	5/16/12	WC Comments
	9		
	10		
	11	7/3/13	WCHD Comments
	12	4/4/13	WCHD Comments

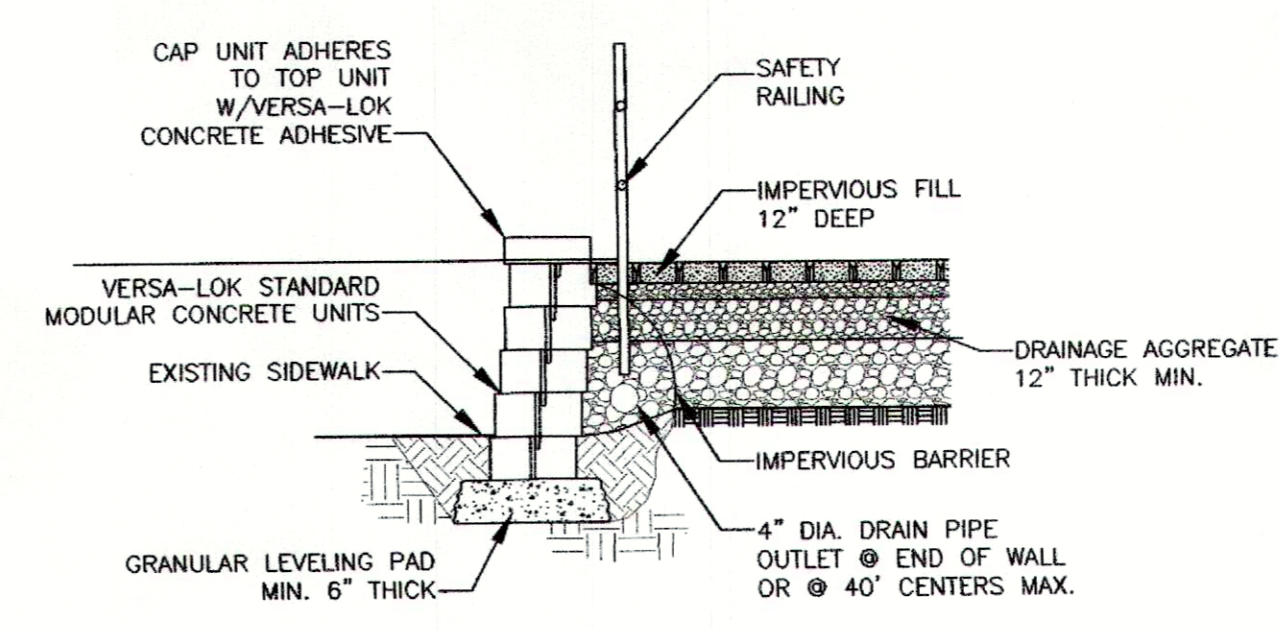
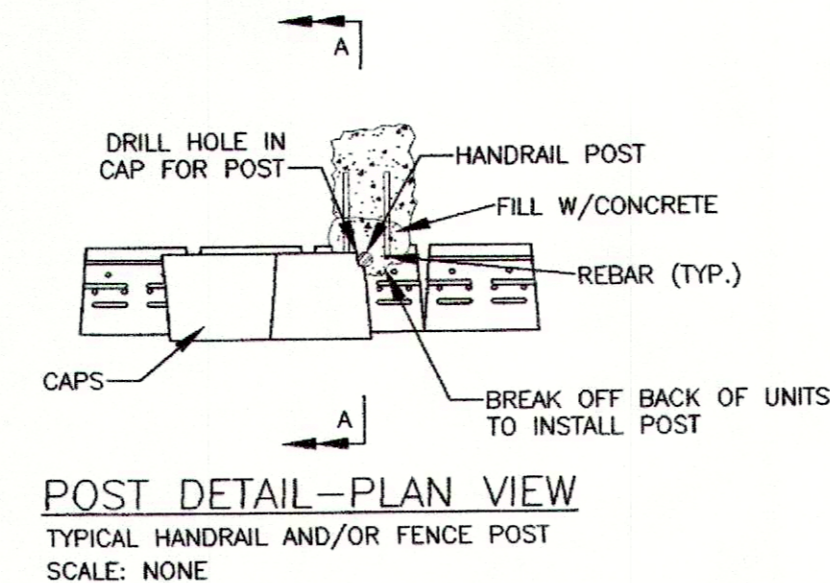
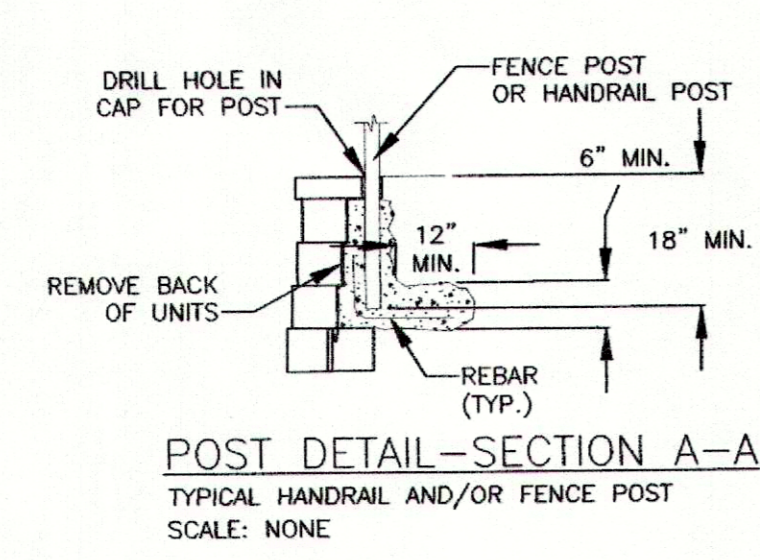
SCALE: 1" = 3'
DRAWN BY: JR
DATE: 7/01/09

TOWN TAX MAP DATA:

SECTION: 16.5
BLOCK: 1
LOT: 13
LOT AREA: 4.616 Acres

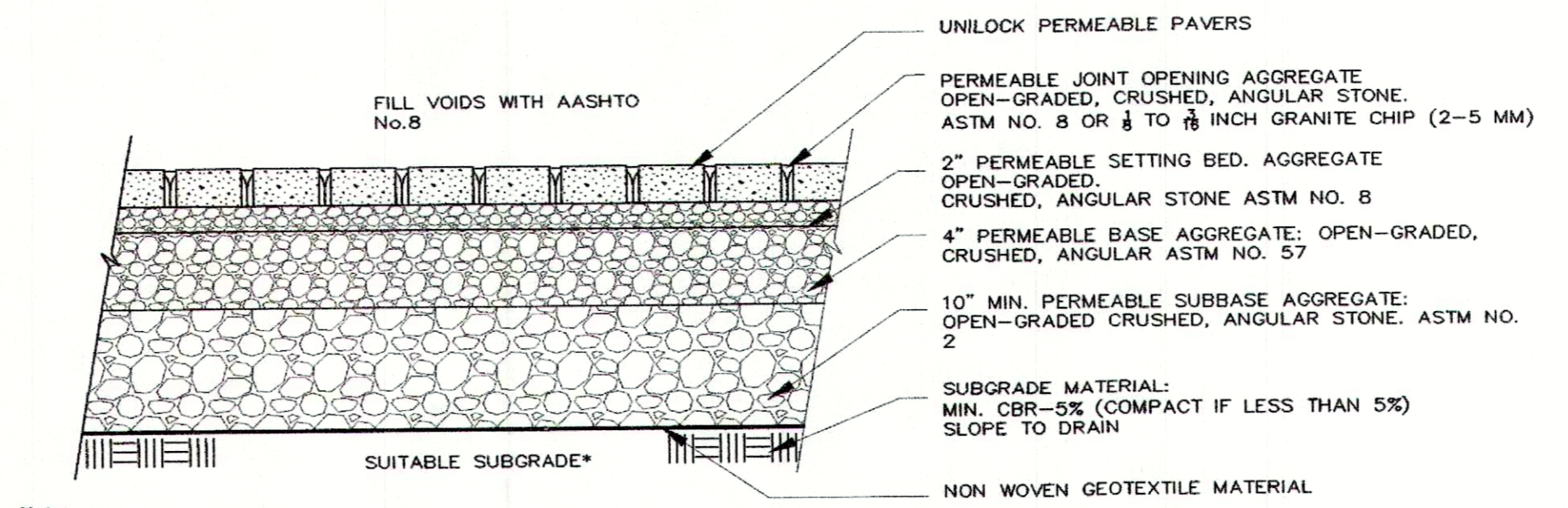
IMPROVEMENT DETAILS
PREPARED FOR
Aspen and Mill Street Properties LLC.
Town Of Yorktown Westchester Co., New York

**Pappous Greek
Kitchen Outdoor
Seating**

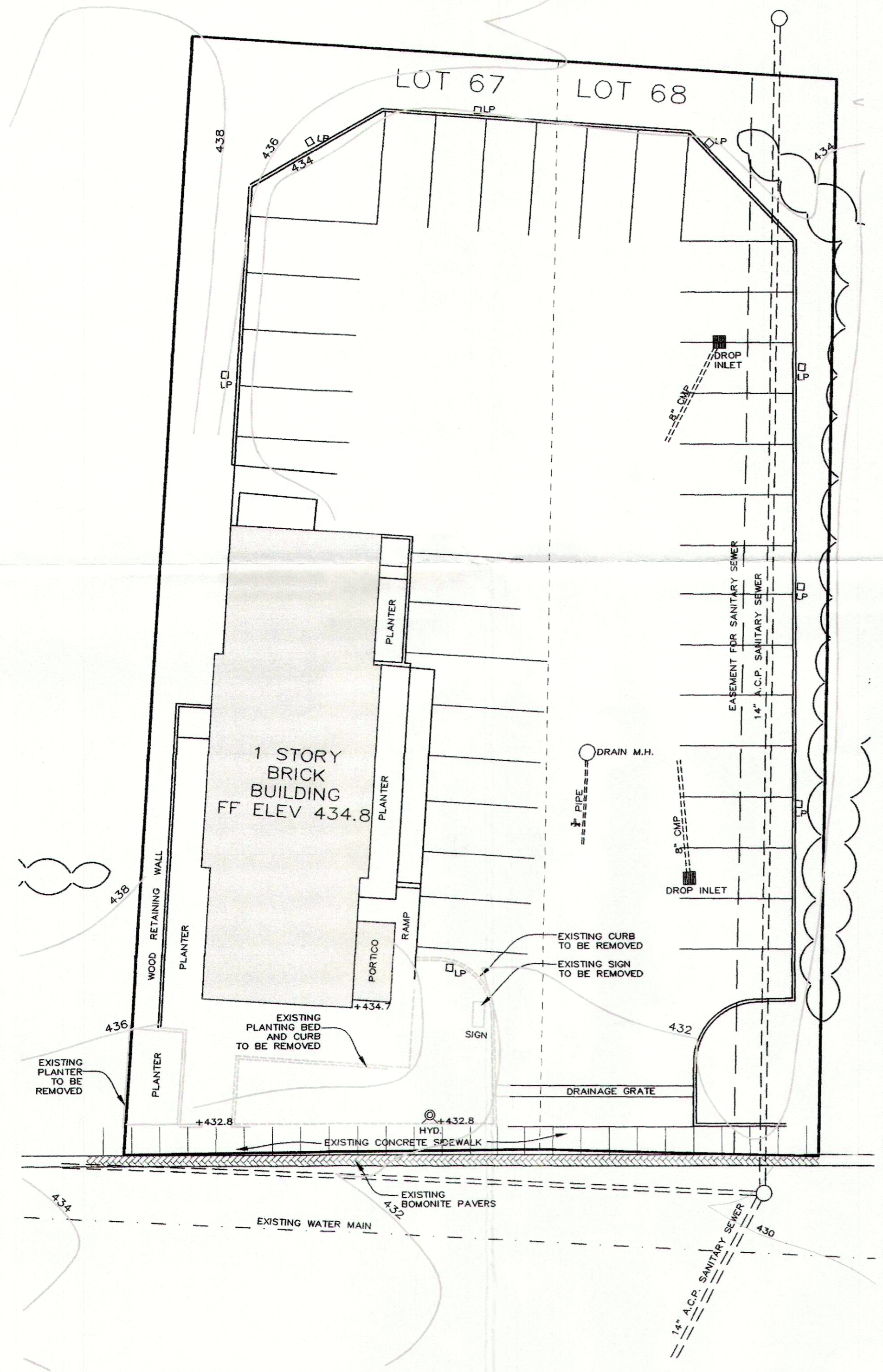


PROPERTY DATA	
PROPERTY OWNER	LOT 67 1983 COMMERCE REALTY, 1983 COMMERCE ST. LOT 68 FRIENDLY'S ICE CREAM CORP. J & B RESTAURANT PARTNERS, 1977 COMMERCE ST.
OWNERS ADDRESS	494 MIDLAND AVENUE, RYE, NY10580 4000 VETERANS MEMORIAL HIGHWAY BOHEMIA, NY 11716
APPLICANT	RUI CUNNH
LOCATION	1983 COMMERCE STREET YORKTOWN, NY 10598
TAX MAP DATA	SECTION 37.14 BLOCK 2 LOTS 67 & 68
SITE AREA	23,165 SF
WATERSHED	CROTON RESEVOIR
WATER SUPPLY SYSTEM	YORKTOWN CONSOLIDATED
SEWER	HALLOCKS MILL

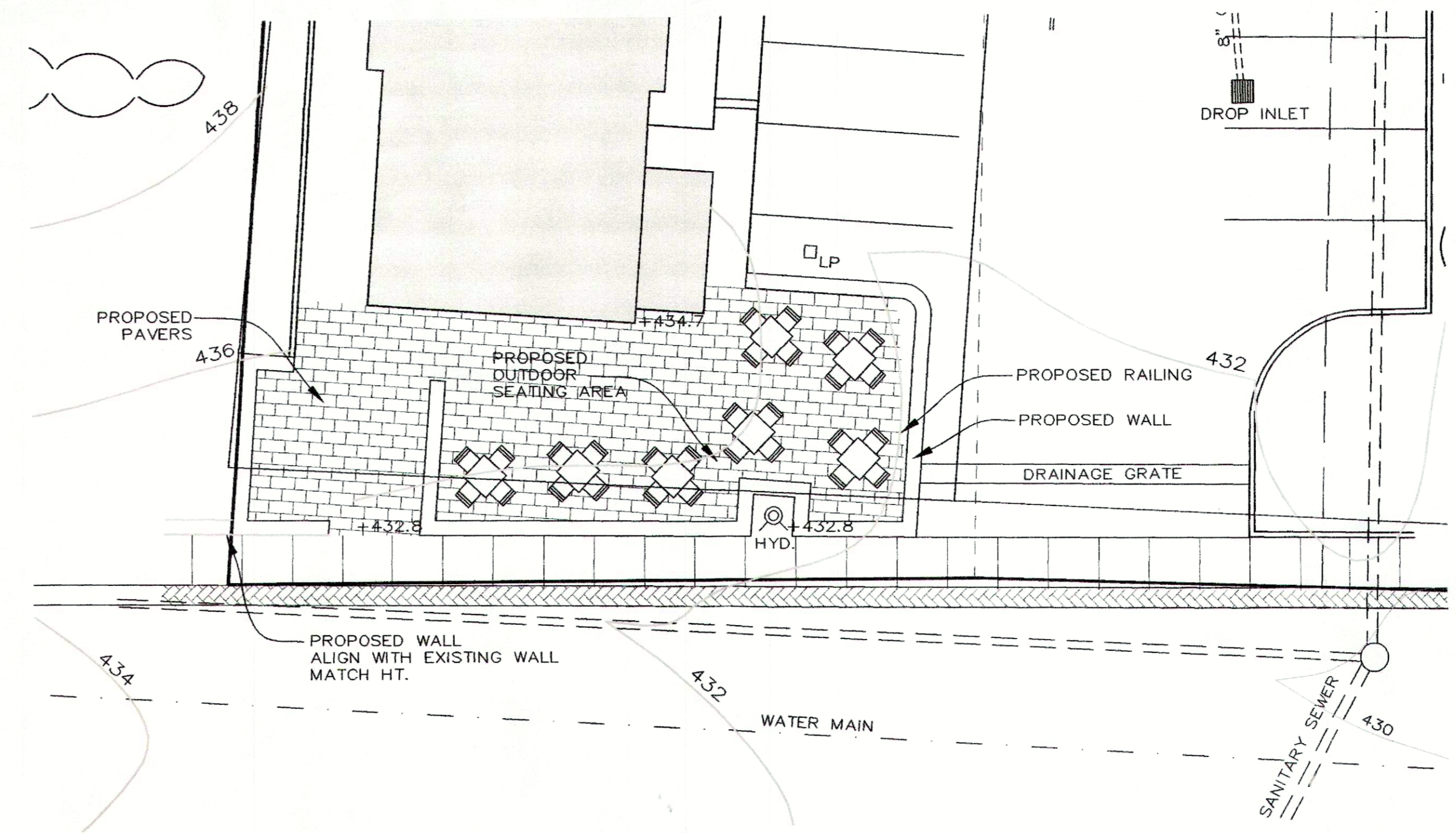
ZONING DISTRICT: C-2R, PLANNED LIGHT INDUSTRY		
DIMENSIONAL REGULATIONS (NEW BUILDING)	REQUIRED	PROVIDED
MINIMUM LOT AREA:	NONE	23,165 SQ. FT.
MINIMUM LOT WIDTH:	25 FT.	123.58 FT.
LOT DEPTH:	NONE	191.58 FT.
MINIMUM YARD DIMENSIONS:		
PRINCIPAL BUILDING:		
FRONT YARD SETBACK:		
WITH PARKING:	75 FT.	25.54 FT.
WITHOUT PARKING:	15 FT.	
REAR YARD SETBACK:		
NON RESIDENTIAL:	30 FT.	93.3 FT.
IF ADJOINS AN R DISTRICT:	75 FT.	10.28 FT.
SIDE YARD SETBACK:	10 FT.	
MAXIMUM BUILDING HEIGHT:	35 FT.	23 FT.
BUILDING COVERAGE:		
PROPOSED:	2,410 SQ. FT.	
MAXIMUM COVERAGE:	30% OF LOT AREA	10.4%
PARKING REQUIREMENTS:		
PROPOSED BUILDING:		
(1 SPACE PER 90 SQ. FT. OF PATRON FLOOR AREA)	2 SPACES	35 SPACES
(1 SPACE PER 100 SQ. FT. OF FOOD PREP. ANCILLARY USE)		



- Notes:
1. AVOID OVER COMPACTION OF THE NATURAL SUBGRADE SOILS. UNDERDRAINS MAY BE USED TO PROVIDE POSITIVE DRAINAGE.
 2. OPEN GRADED BASE MATERIAL TO BE INSTALLED IN 6" LIFTS AND COMPACTED. THERE SHOULD BE A MINIMUM OF FOUR PASSES WITH NO VISIBLE MOVEMENT OF THE MATERIAL.
 3. PRESS #8 STONE INTO TOP OF #57 STONE WITH COMPACTION EQUIPMENT.
 4. PAVERS TO BE SET USING 5000 LBF PLATE COMPACTOR.



EXISTING CONDITIONS / DEMO PLAN
SCALE: 1 = 15'



PROPOSED SITE PLAN
SCALE: 1 = 10'

SHEET NUMBER
11

CIARCIA ENGINEERING, P.C.
360 UNDERHILL AVENUE
YORKTOWN HEIGHTS, NY 10598
(914) 245-0123

SITE PLAN

Prepared For
PAPPOUS GREEK KITCHEN

NY Self Storage Lighting Plan



April 2, 2021

Town of Yorktown Planning Board
1974 Commerce Street
Yorktown Heights, New York 10598

RE: NY Self Storage – Jefferson Valley
Amended Site Plan Application
621 Bank Road
Tax Map No. 16.08-1-14

Dear Chairman Fon and Members of the Board:

Please find enclosed, five (5) copies of the following documents to satisfy the conditions of approval of the Amended Site Plan, MS4 Permit, Wetland Permit, and Special Use Permit Approval for the above referenced project:

- Final Site Plan Set (consisting of 7 sheets), last revised April 2, 2021.
 - Note that the northwest sidewalk has been adjusted to provide striping in lieu of a flush curb and at-grade sidewalk for the portion of the sidewalk west of the existing drain inlet.
 - Note that the square footage of the eastern addition has increased by 40 sf in the course of the architectural design. No zoning requirements are impacted by this change. Building coverage, FAR, and setbacks remain the same.

- Alternative Parking Plan, dated March 8, 2021.
 - As illustrated in the plan, the site can accommodate the 71 spaces (one per 1,000sf of building) that would be required in the event the use was ever changed from Self Storage, proof of which is required by §300-79h of the town zoning code. In this contingency plan the 71 spaces include:
 - All 32 of the spaces that are included in the approved site plan.
 - Nine reclaimed spaces in the northeast corner. The curb in this area would be removed and this area would be repaved for parking on the contingency plan.
 - 28 new parallel spaces around the building.
 - Two new parallel spaces in the northwest corner.
 - In summary, apart from the northeast corner, which would require a realignment to the curb, and some additional paving, the additional parking could be accommodated primarily with striping.

- Lighting Plan, dated March 26, 2021.
 - The applicant plans to retrofit the existing light poles on the site with high efficiency LED, full cut off replacement heads. Additionally, the site will be lit from similar full cut off LED building mounted lights, and canopy lights at the entrance.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

- Final Stormwater Pollution Prevention Plan, dated March 4, 2021.
- Stormwater CCTV Report, by Fred A. Cook Jr., Inc, dated January 21, 2021.
- Sewer CCTV Report and Video File, dated February 22, 2021.
- Site Work Construction Bond Estimate, dated March 25, 2021.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 

Jeffrey J. Contelmo, PE
Senior Principal Engineer

JJC/dlm/adt

Enclosures

cc: Fred Koelsch, via email
Mitch Johnson, via email
Edward Kolisz, Town Fire Inspector, via email

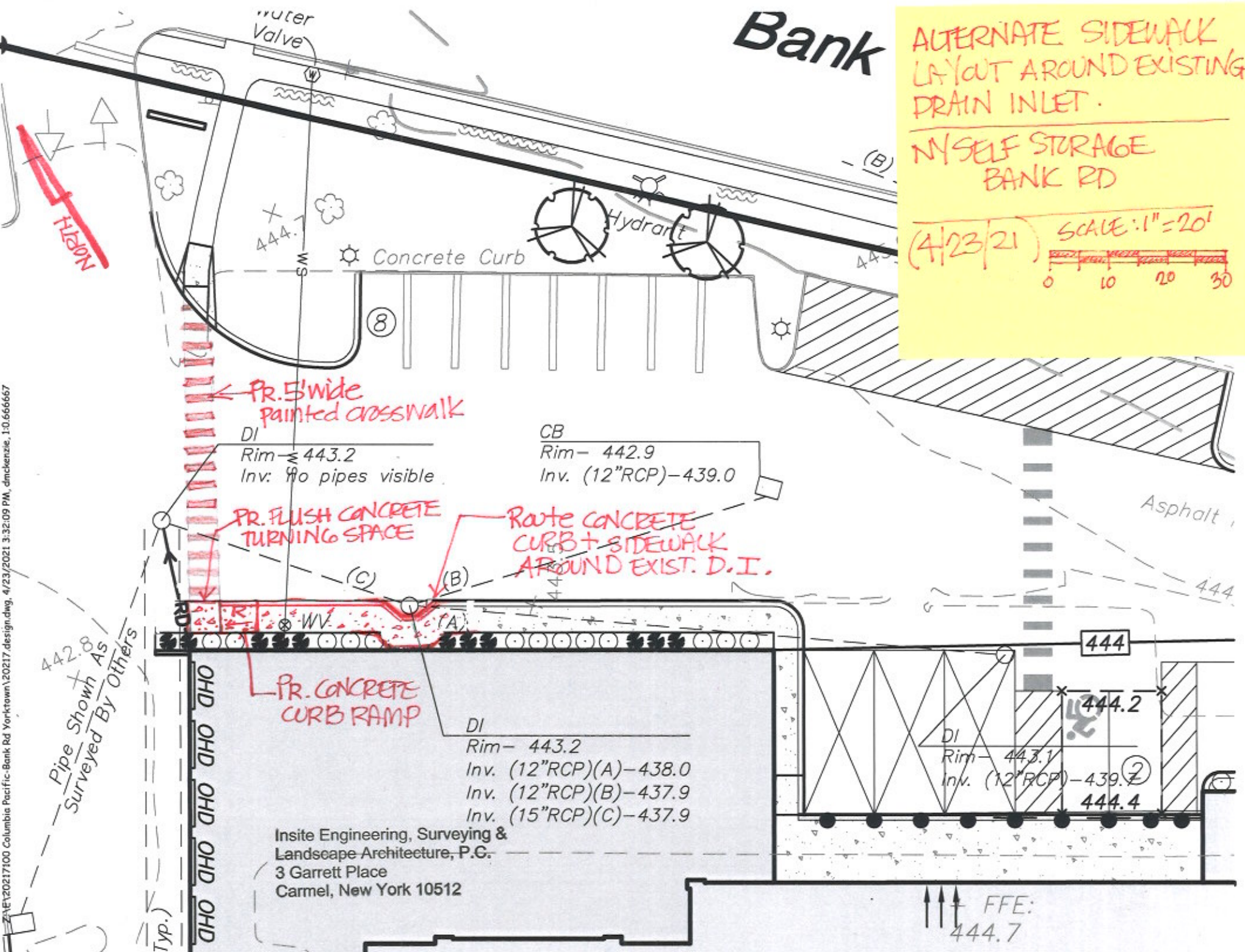
Insite File No. 20217.100

Bank

ALTERNATE SIDEWALK LAYOUT AROUND EXISTING DRAIN INLET.

NY SELF STORAGE BANK RD

(4/23/21) SCALE: 1"=20'
0 10 20 30



PR. 5' wide painted crosswalk

DI
Rim - 443.2
Inv. No pipes visible

CB
Rim - 442.9
Inv. (12"RCP) - 439.0

PR. FLUSH CONCRETE TURNING SPACE

Route CONCRETE CURB + SIDEWALK AROUND EXIST. D.I.

PR. CONCRETE CURB RAMP

DI
Rim - 443.2
Inv. (12"RCP)(A) - 438.0
Inv. (12"RCP)(B) - 437.9
Inv. (15"RCP)(C) - 437.9

DI
Rim - 443.1
Inv. (12"RCP) - 439.7

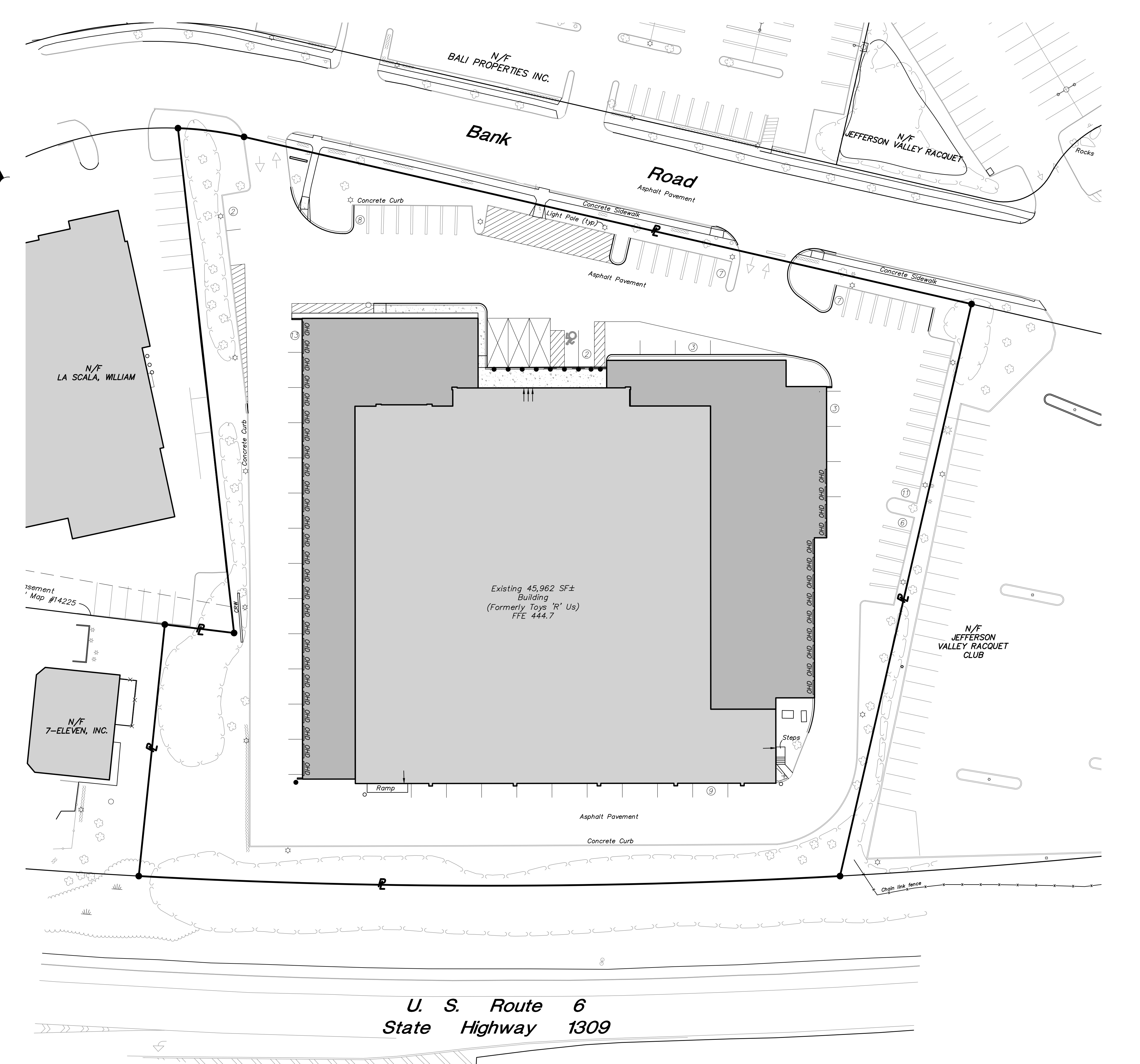
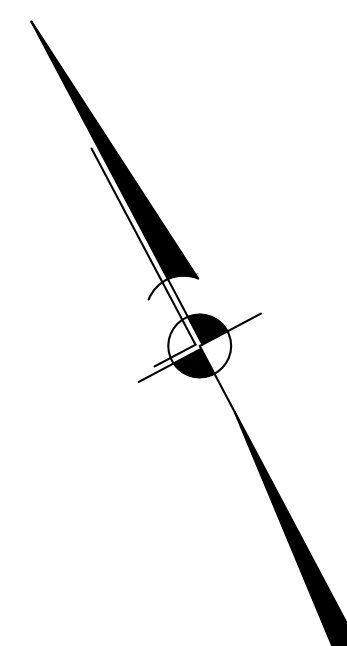
Insite Engineering, Surveying & Landscape Architecture, P.C.
3 Garrett Place
Carmel, New York 10512

FFE:
444.7

DATE: 2021/04/23 3:32:09 PM, dmchenzie, 10.666667

442.8
Pipe Shown As Surveyed By Others

Typ.)



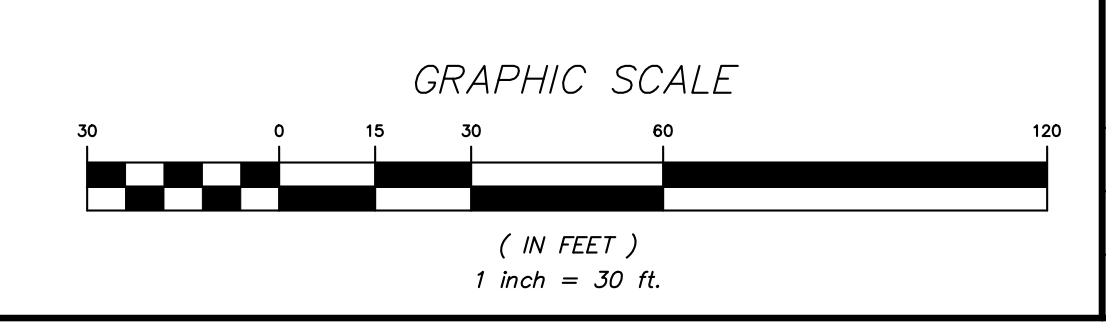
PARKING REQUIREMENTS:

Notes:

- Per § 300-79h of the town code for Self-Storage Centers, the applicant is required to provide one parking space per 10,000sf of storage area, but must provide proof of the ability of a potential future user, other than self storage, to provide one parking space per 1,000sf of building. This Alternative Parking Plan serves to demonstrate the availability of adequate parking in that event.
- The approved site plan shows 32 spaces with a required minimum of 8.

Alternative Parking Plan Summary:
 Approx. 70,508 s.f. @ 1 parking space/1,000 S.F. = 71 spaces required
 Spaces Provided = 71 spaces

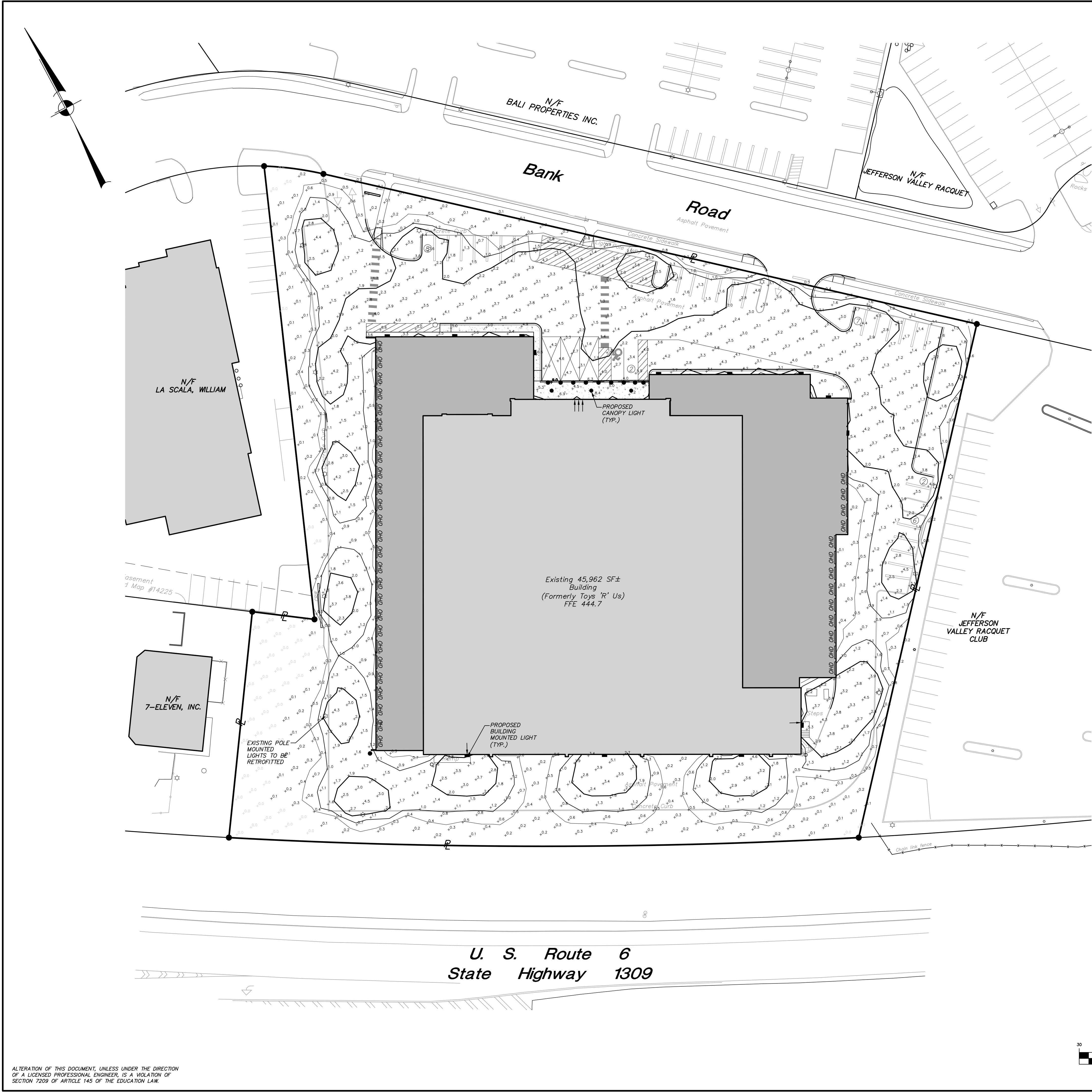
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING WIRE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING TREE (GREATER THAN 8" DIA.)
	EXISTING TREE LINE
	PROPOSED # OF PARKING SPACES
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED EDGE OF SIDEWALK
	PROPOSED PAINTED STOPBAR
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED STRIPED ISLAND
	PROPOSED LOADING SPACE
	PROPOSED SINGLE POLE SIGN
	EXISTING POST MOUNTED LIGHT TO REMAIN
	PROPOSED DOOR LOCATION
	PROPOSED OVERHEAD DOOR LOCATION
	PROPOSED BOLLARD



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
PROJECT: NY SELF STORAGE - JEFFERSON VALLEY 621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY			
DRAWING: ALTERNATIVE PARKING PLAN			
PROJECT NUMBER	20217.100	PROJECT MANAGER	J.J.C.
DATE	3-8-21	DRAWN BY	E.R.A.
SCALE	1" = 30'	CHECKED BY	A.D.T.
DRAWING NO.	SHEET		
	PP-1		1/1

Z:\16\2021700 Columbia Pacific Bank Self Storage Westchester County NY\Drawings\Final\PP-1.dwg, 4/22/2021 12:34:53 PM, unthw@insite.com



RSX1 LED Area Luminaire

Specifications
 Dia: 6.5" (165mm)
 Length: 7.5" (190mm)
 Height: 13.5" (343mm)
 Weight: 3.0 lbs (1.4kg)
 DPA mount: 220 lbs (100kg)

Introduction
 The new RSX1 LED Area luminaire delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens, allowing it to replace 30W to 400W HID luminaires.

The RSX1 features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. The "no-drill" solution provides significant labor savings. An easy access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral ladder and other mounting configurations are available.

Ordering Information EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DBD8D

Code	Color	Beam Spread	Mounting	Notes
RSX1	P4	40K	R3	Standard
LED	LED	LED	LED	LED
SP	SP	SP	SP	SP
DBD	DBD	DBD	DBD	DBD
8D	8D	8D	8D	8D

D-Series Size 1 LED Wall Luminaire

Specifications
 Width: 13.38" (340mm)
 Depth: 10" (254mm)
 Height: 6.38" (162mm)

Introduction
 The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 30 years of nighttime use and up to 70% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces steel that are exceptionally illuminated.

Ordering Information EXAMPLE: DSW1 LED 20C 1000 40K T3M MVOLT DBD8TD

Code	Color	Beam Spread	Mounting	Notes
DSW1	20C	1000	40K	T3M
LED	LED	LED	LED	LED
DBD	DBD	DBD	DBD	DBD
8TD	8TD	8TD	8TD	8TD

CNY LED Canopy/Ceiling Luminaire

Specifications
 Dia: 10"
 Height: 4.31"
 Depth: 10"
 Weight: 6.5 lbs

Introduction
 The CNY LED Canopy luminaire is an energy efficient and budget friendly perfect for replacing up to 250W metal halide luminaires while saving up to 80% energy costs. Quick mount mechanism significantly reduces the installation time. An LED array and translucent lens create uniform and visually comfortable illumination. CNY LED luminaires are DLC Premium listed and deliver quick payback!

Ordering Information EXAMPLE: CNY LED P1 50K MVOLT DDB

Code	Color	Beam Spread	Mounting	Notes
CNY	P1	50K	MVOLT	DDB
LED	LED	LED	LED	LED
DDB	DDB	DDB	DDB	DDB

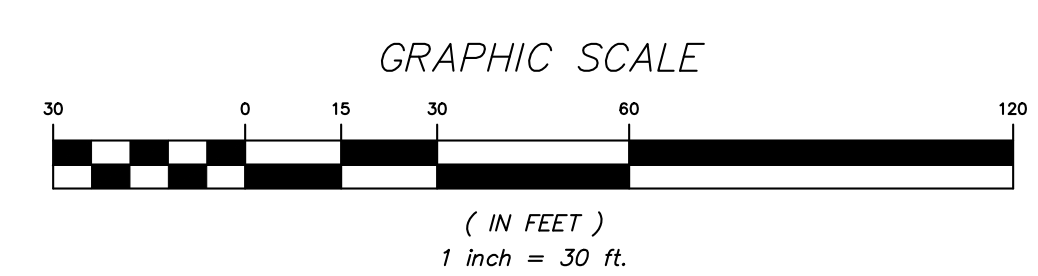
LIGHT CONTOUR LEGEND

- 0.1 — 0.10 Foot Candles
- 0.5 — 0.50 Foot Candles
- 1 — 1.00 Foot Candles

* Photometric calculations shown on plan are in foot candles.

LUMINAIRE SCHEDULE

Sym	Qty	Catalog Number	Description	Lamp	Mounting Height	Watts
☆	15	RSX1 LED P1 30K R4 HS	RSX1 AREA FIXTURE SIZE 1 P1 LUMEN PACKAGE 3000K CCT TYPE R4 DISTRIBUTION WITH HS SHIELD	LED	16'-0"	38
■	13	DSXW1 LED 20C 1000 30K T3TM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3TM OPTIC, 3000K, @ 1000mA.	LED	12'-0"	75
●	3	CNY LED P1 40K MVOLT	LITHONIA LIGHTING LED CANOPY LIGHT	LED	12'-6"	35



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NO. DATE REVISION

INSITE
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
 Carmel, NY 10512
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-eng.com

PROJECT:
NY SELF STORAGE - JEFFERSON VALLEY

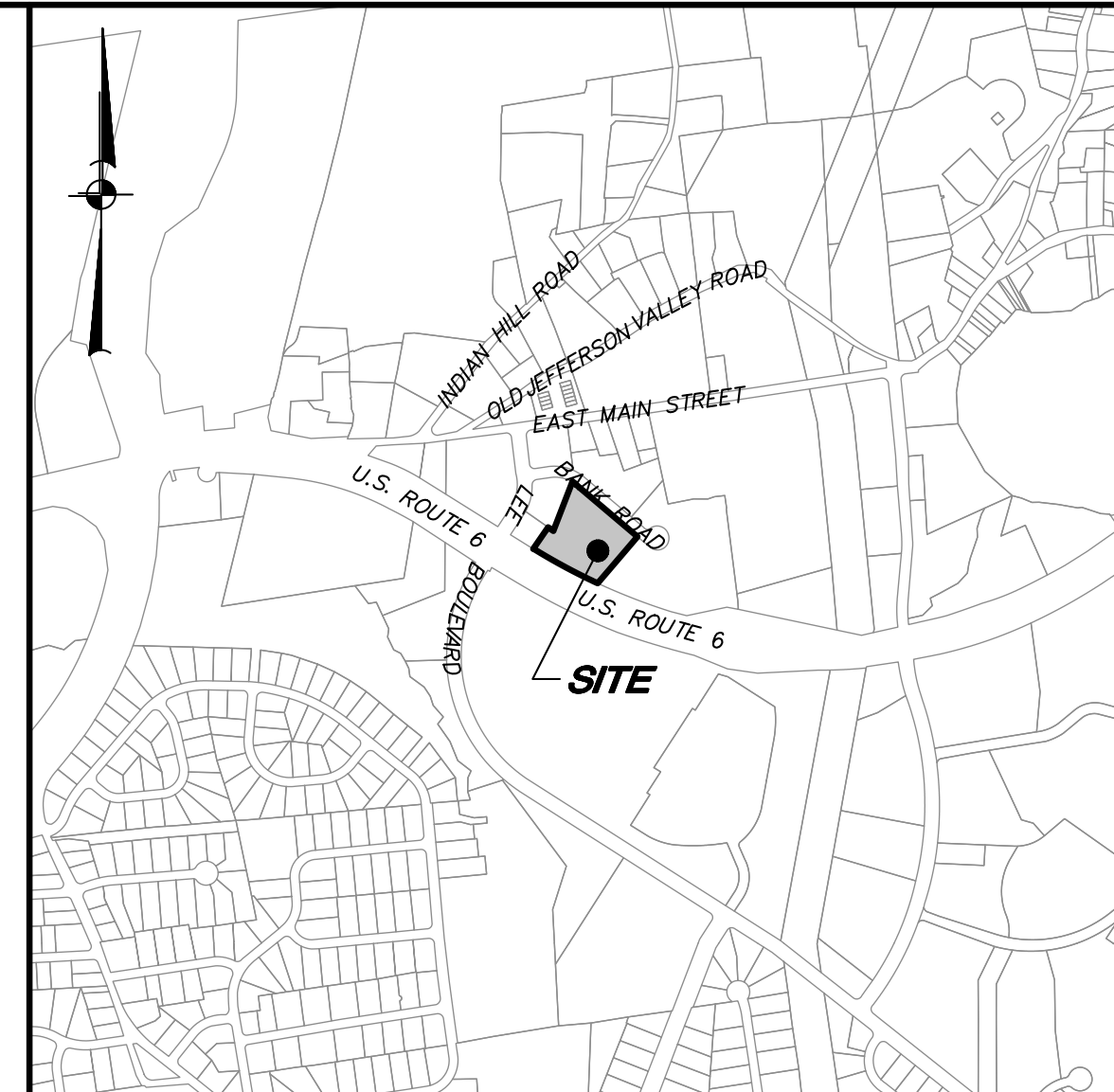
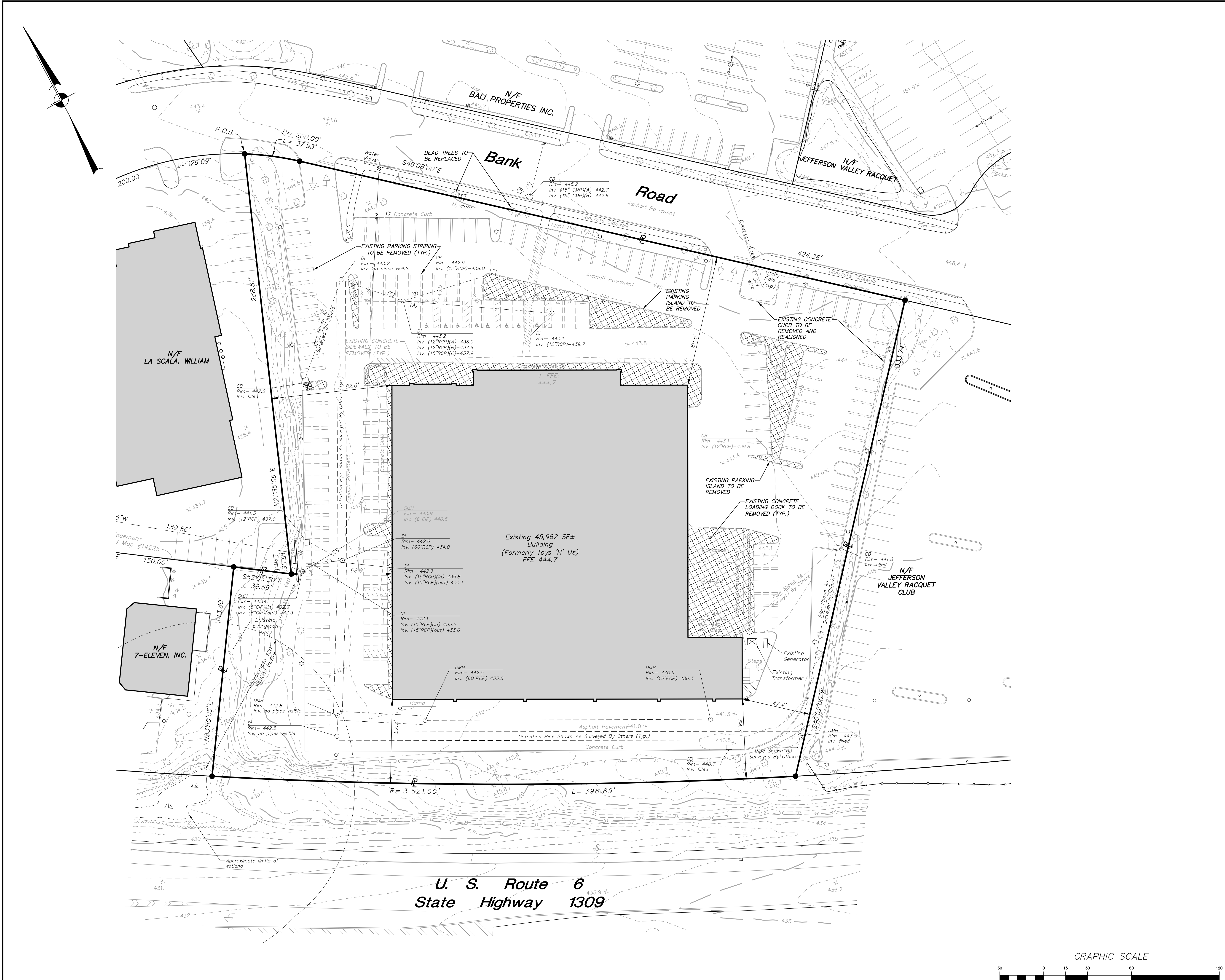
621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

DRAWING:
LIGHTING PLAN

PROJECT NUMBER: 20217.100 PROJECT MANAGER: J.J.C.
 DATE: 3-26-21 DRAWN BY: E.R.A.
 SCALE: 1" = 30' CHECKED BY: A.D.T.

DRAWING NO. SHEET
 LP-1 / 1

STATE OF NEW YORK
 OFFICE OF THE STATE ENGINEER
 1931
 LICENSED PROFESSIONAL ENGINEER



LOCATION MAP SCALE: 1" = 1,000'±

OWNER/APPLICANT:
COLUMBIA PACIFIC ADVISORS
1910 FAIRVIEW AVENUE EAST, SUITE 200
SEATTLE WA 98102

SITE DATA:
Zone: C-1
Total Acreage: 3.6 AC. ±
Tax Map No.: 16.08-1-14

- GENERAL NOTES:**
- All property lines, topography and site features shown hereon are taken from "ALTA/ASCM Land Title Survey of Property Prepared for Columbia/Wegman Acquisition III Other, LLC" by Insite Engineering, Land Surveying & Landscape Architecture, P.C. dated December 1, 2020.
 - Trees to be removed are 8" DBH or greater based on field observation by Insite Engineering, Land Surveying & Landscape Architecture, P.C. on November 23, 2020.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING WIRE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING UNDERGROUND WATER SERVICE
	EXISTING UNDERGROUND SEWER SERVICE
	EXISTING CATCH BASIN
	EXISTING MANHOLE (type unidentified)
	EXISTING SEWER MANHOLE
	EXISTING POST MOUNTED LIGHT
	EXISTING 5' CONTOUR
	EXISTING 1' CONTOUR
	EXISTING TREE (GREATER THAN 8" DIA.)
	EXISTING TREE TO BE REMOVED (GREATER THAN 8" DIA.)
	EXISTING TREE LINE
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING DRAINAGE STRUCTURES
	EXISTING MANHOLE (type unidentified)
	EXISTING SEWER MANHOLE
	EXISTING POST MOUNTED LIGHT
	EXISTING PARKING STRIPING TO BE REMOVED
	EXISTING ITEM TO BE REMOVED

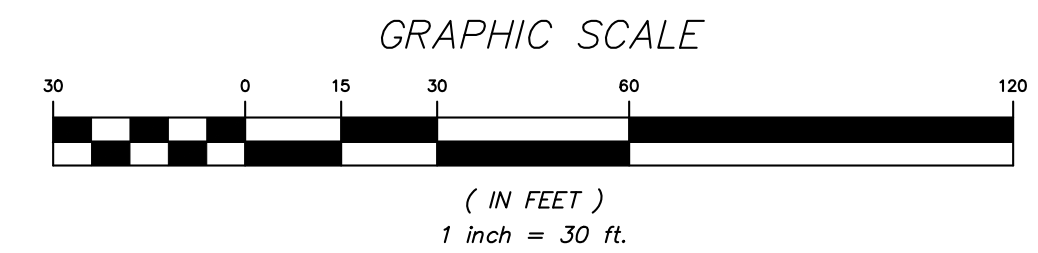
3	4-2-21	GENERAL REVISION	ERA
2	1-27-21	GENERAL REVISION	ERA
1	12-4-20	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: **NY SELF STORAGE - JEFFERSON VALLEY**
621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

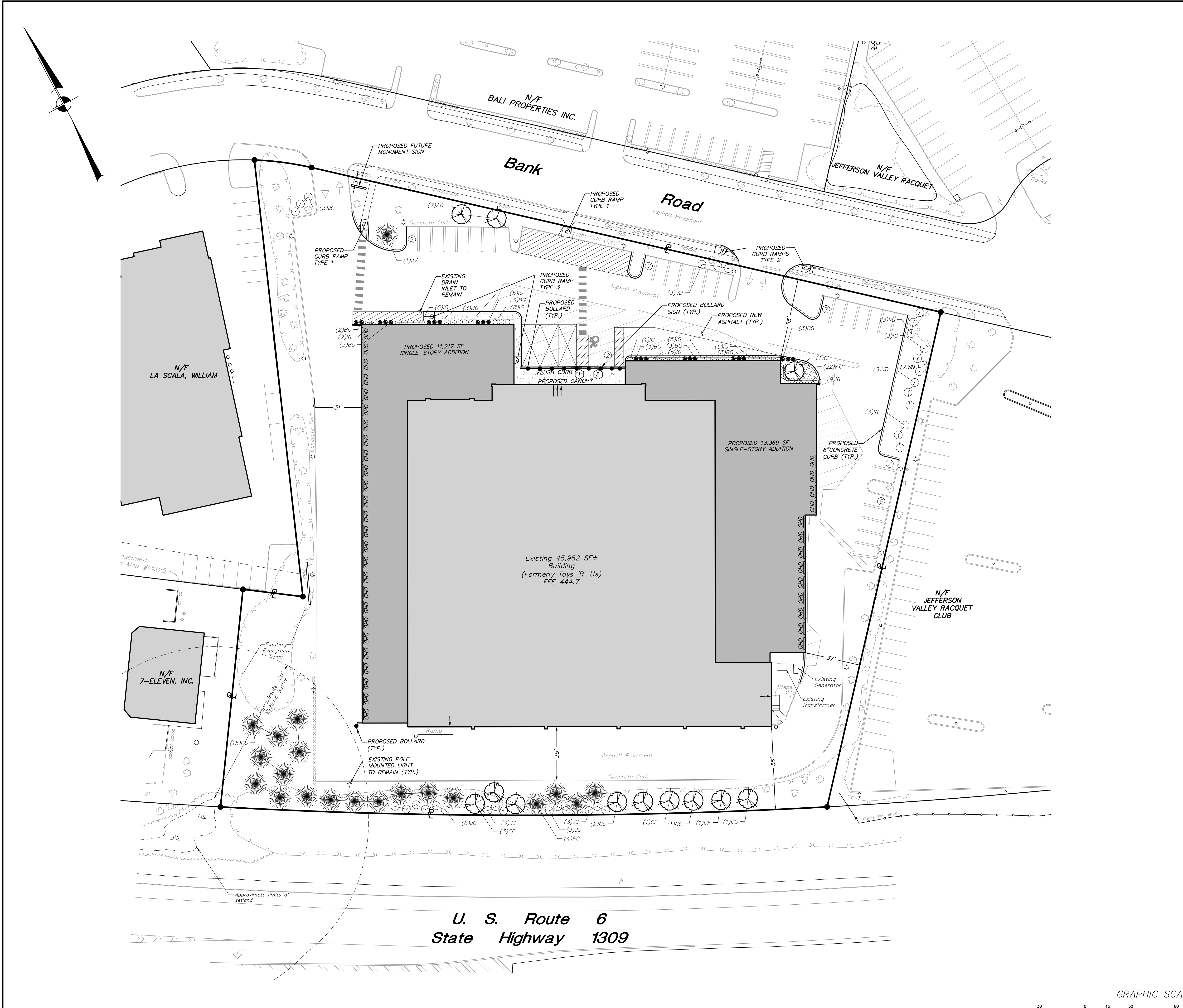
DRAWING: **EXISTING CONDITIONS & REMOVALS PLAN**

PROJECT NUMBER	20217.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	9-25-20	DRAWN BY	E.R.A.	EX-1	1/7
SCALE	1" = 30'	CHECKED BY	A.D.T.		



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

Z:\16\2021700 Columbia Pacific-Share-01 Yorktown\01 EX-1.dwg, 4/27/2021 10:28:05 AM, wsepp@insite.com



LEGEND

	EXISTING PROPERTY LINE
	EXISTING WIRE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING TREE (GREATER THAN 8" DIA.)
	EXISTING TREE LINE
	PROPOSED # OF PARKING SPACES
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED EDGE OF SIDEWALK
	PROPOSED NEW ASPHALT PAVEMENT
	PROPOSED PAINTED STOPBAR
	PROPOSED PAINTED DIRECTIONAL ARROW
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED CROSSWALK
	PROPOSED STRIPED ISLAND
	PROPOSED LOADING SPACE
	PROPOSED SINGLE POLE SIGN
	EXISTING POST MOUNTED LIGHT TO REMAIN
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED DOOR LOCATION
	PROPOSED OVERHEAD DOOR LOCATION
	PROPOSED BOLLARD

C-1 ZONE REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
Minimum Lot Area:	2 AC.	3.6 AC.	NO CHANGE
Minimum Lot Width:	175'	392'±	NO CHANGE
Minimum Lot Depth:	175'	386'±	NO CHANGE
Minimum Setbacks:			
Principal Bldg: Front Yard:	30' WITHOUT PARKING	N/A	--
Front Yard:	75' WITH PARKING	90'±	55'± **
Front Yard (Accessory Bldg):	50'	N/A	NO CHANGE
Side Yard:	NONE*	46'±	37'
Rear Yard:	30'	55'±	NO CHANGE
Rear Yard (Accessory Bldg):	30'	N/A	NO CHANGE
Maximum Building Height (Main Bldg):	30'	LESS THAN 30'	NO CHANGE
Maximum Building Height (Accessory Bldg):	20'	N/A	NO CHANGE
Maximum Building Coverage:	45%	29.3%±	44.9%
Maximum F.A.R.:	0.6	0.29	0.45

* None, but if provided will be 10 feet; if used as one-way vehicular access, shall be 17 feet; two-way vehicular access, 25 feet; if adjoins an R District shall be 50 feet.
 ** The Planning Board may permit the self-storage center to be constructed with a front yard setback of not less than 40 feet. See Chapter 300-79-C-2.

PARKING REQUIREMENTS:
 • NY-Self Storage - Approx. 70,508 s.f. @ 1 parking space/10,000 S.F. = 8 spaces required
 • Spaces Provided = 32 spaces

PLANT LIST

SYMBOL	QTY.	KEY	BOTANICAL/Common NAME	SIZE	ROOT
SHADE TREES					
	2	AR	Acer rubrum / Red Maple	2.5" CAL.	B&B
FLOWERING TREES					
	4	CC	Cercis canadensis / Redbud	2" CAL.	B&B
	6	CF	Cornus florida / Flowering Dogwood	2" CAL.	B&B
EVERGREEN TREES					
	1	JV	Juniperus virginia / Eastern Redcedar	8'-10' HT.	B&B
	19	PG	Picea glauca / White Spruce	8'-10' HT.	B&B
SHRUBS					
	18	JC	Juniperus chinensis "Sea Green" / Sea Green Juniper	#3 CONT./6' O.C.	
	9	VD	Viburnum dentatum / Leatherleaf Viburnum	#3 CONT./6' O.C.	
	46	IG	Ilex gabra "Shamrock" / Inkberry Holly	#3 CONT./6' O.C.	
	23	BG	Buxus x "Green Mountain" / Green Mountain Boxwood	#3 CONT./6' O.C.	
PERENNIALS/GROUND COVERS					
	22	AC	Aquilegia canadensis / Columbine	#1 CONT./18" O.C.	

NO.	DATE	REVISION	BY
5	4-2-21	GENERAL REVISION	ERA
4	1-27-21	GENERAL REVISION	ADT
3	1-22-21	GENERAL REVISION	ERA
2	12-4-20	REVISED PER TOWN COMMENTS	MEU
1	10-28-20	REVISED PER TOWN COMMENTS	MEU

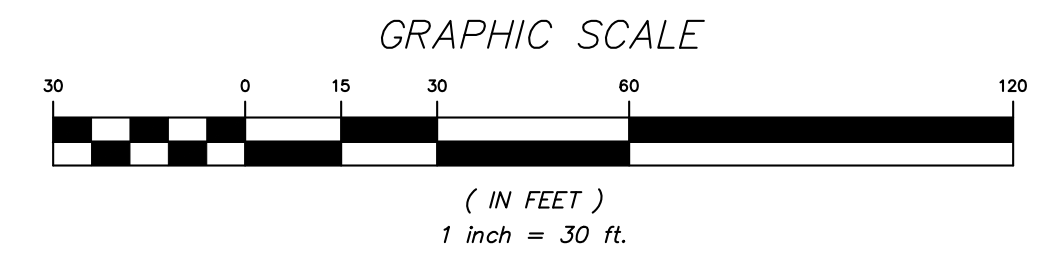
INSITE
 ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, NY 10512
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-eng.com

PROJECT: **NY SELF STORAGE - JEFFERSON VALLEY**
 621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

DRAWING: **LAYOUT AND LANDSCAPE PLAN**

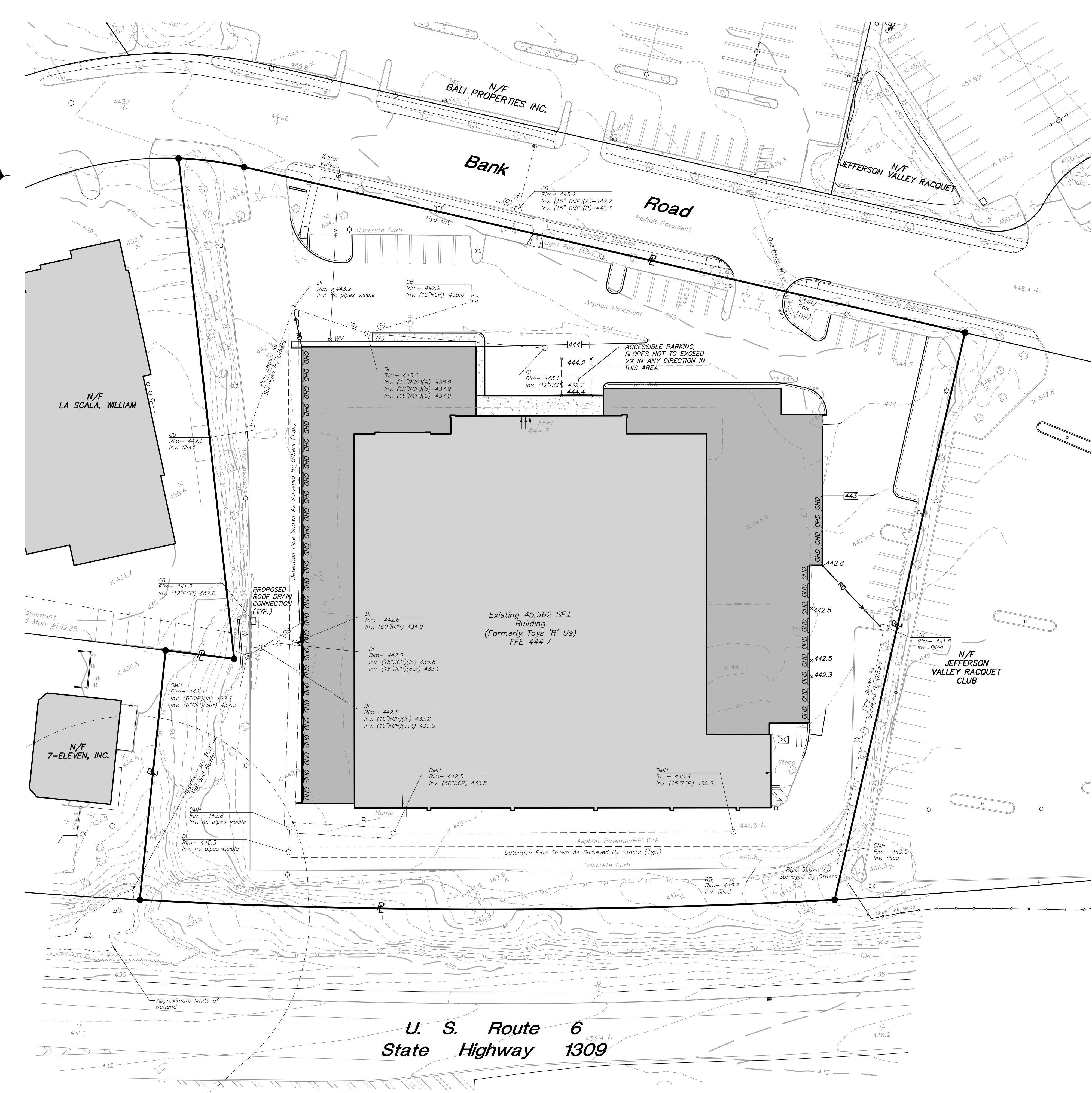
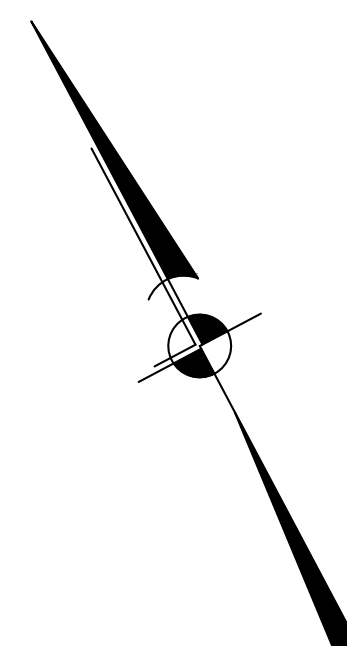
PROJECT NUMBER: 20217.100 PROJECT MANAGER: J.J.C.
 DATE: 9-25-20 DRAWN BY: E.R.A.
 SCALE: 1" = 30' CHECKED BY: A.D.T.

DRAWING NO. SHEET: **SP-1** / 2 / 7



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

Z:\16\20217.100 Columbia Pacific-Block 68 Yorktown\02-SP-1.dwg, 4/27/2021 10:28:31 AM, eppg/plm, 1:1



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING WIRE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING UNDERGROUND WATER SERVICE
	EXISTING UNDERGROUND SEWER SERVICE
	EXISTING DRAINAGE STRUCTURES
	EXISTING MANHOLE (type unidentified)
	EXISTING SEWER MANHOLE
	EXISTING POST MOUNTED LIGHT
	EXISTING 5' CONTOUR
	EXISTING 1' CONTOUR
	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED CATCH BASIN
	PROPOSED DRAINAGE PIPE
	PROPOSED ROOF DRAIN CONNECTION

PROPOSED ROOF DRAIN CONNECTION (TYP.)

Existing 45,962 SF± Building (Formerly Toys 'R' Us) FFE 444.7

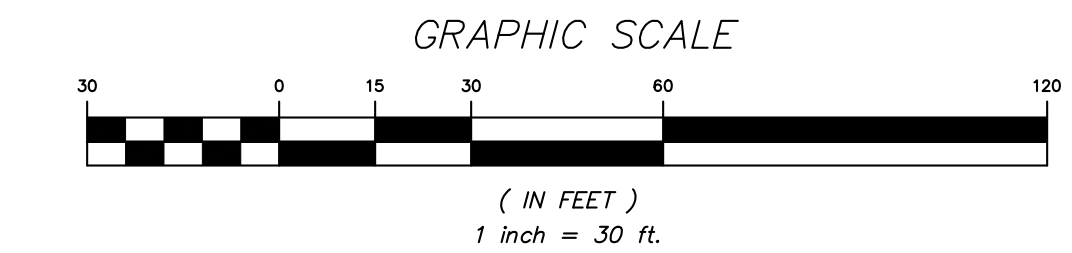
ACCESSIBLE PARKING SLOPES NOT TO EXCEED 2% IN ANY DIRECTION IN THIS AREA

U. S. Route 6 State Highway 1309

NO.	DATE	REVISION	BY
3	4-2-21	GENERAL REVISION	ERA
2	1-27-21	GENERAL REVISION	ERA
1	12-4-20	REVISED PER TOWN COMMENTS	MEU

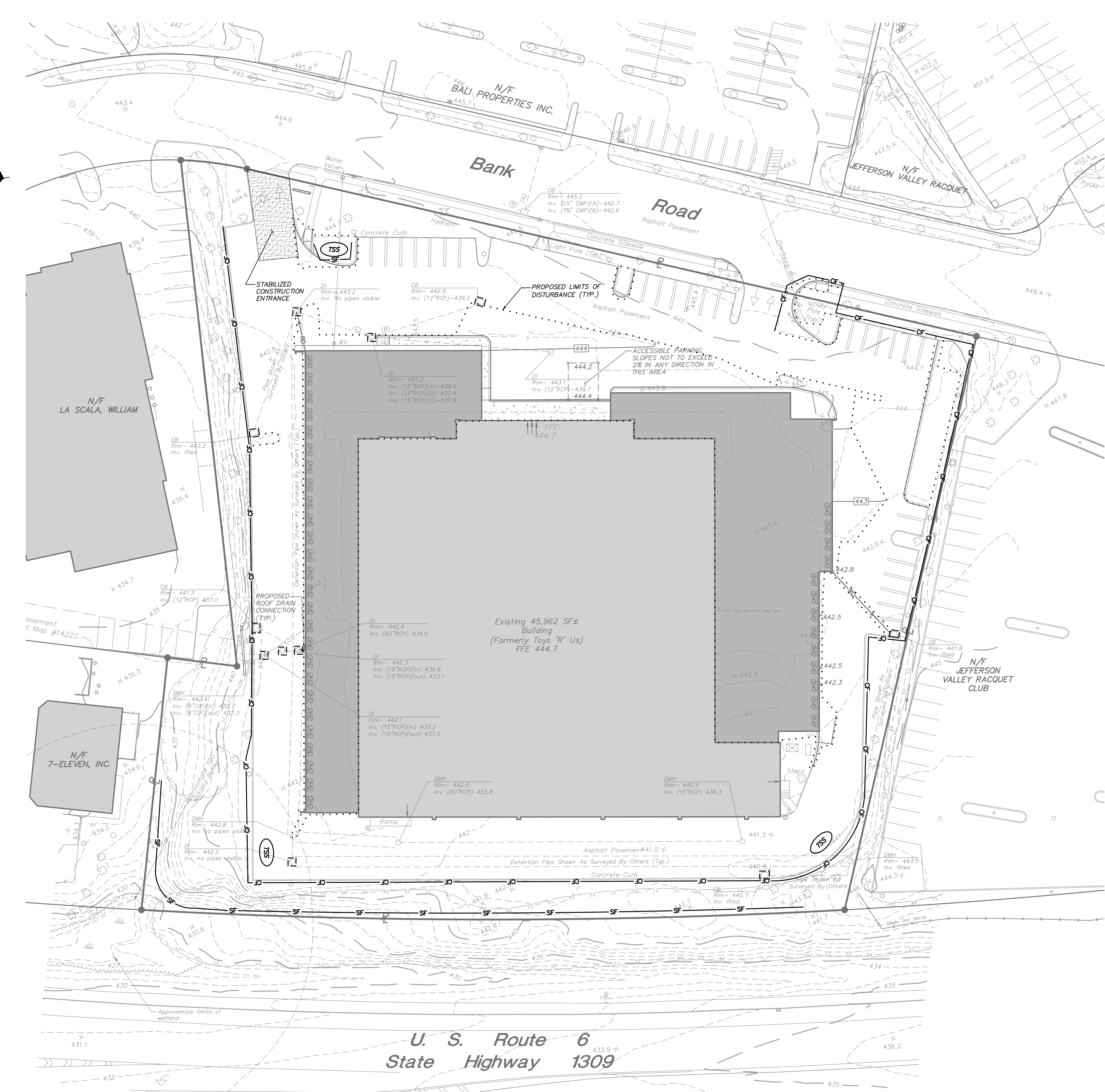
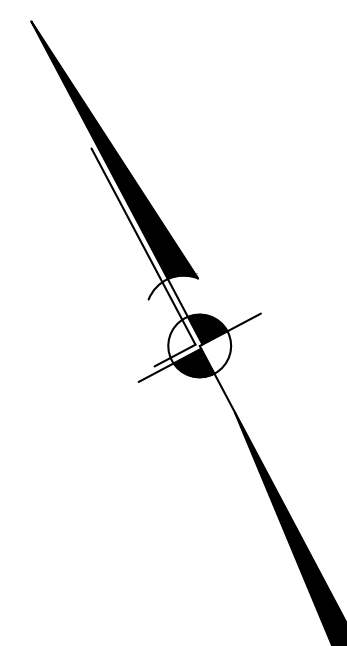
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3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
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PROJECT: NY SELF STORAGE - JEFFERSON VALLEY						
621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY						
DRAWING: GRADING AND UTILITIES PLAN						
PROJECT NUMBER	20217.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SP-2	SHEET 3 / 7
DATE	9-25-20	DRAWN BY	E.R.A.	BY		
SCALE	1" = 30'	CHECKED BY	A.D.T.			



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Z:\16\2021\200 Columbia Pacific Bank Self Storage\2021 SP-2.dwg, 4/22/2021 11:02:17 AM, appsp100, 1:1



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING WIRE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING UNDERGROUND WATER SERVICE
	EXISTING UNDERGROUND SEWER SERVICE
	EXISTING DRAINAGE STRUCTURES
	EXISTING MANHOLE (type unidentified)
	EXISTING SEWER MANHOLE
	EXISTING POST MOUNTED LIGHT
	EXISTING 5' CONTOUR
	EXISTING 1' CONTOUR
	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED DRAINAGE STRUCTURE W/ INLET PROTECTION
	PROPOSED DRAINAGE PIPE
	PROPOSED SILT FENCE
	PROPOSED CONSTRUCTION FENCE
	PROPOSED TEMPORARY SOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED LIMITS OF DISTURBANCE

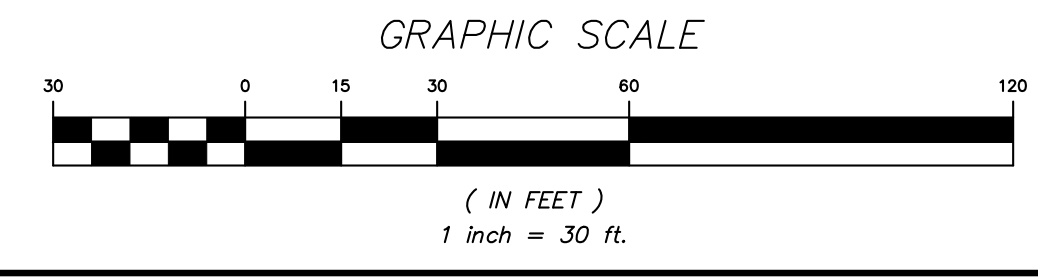
NO.	DATE	REVISION	BY
3	4-2-21	GENERAL REVISION	ERA
2	1-27-21	GENERAL REVISION	ERA
1	12-4-20	REVISED PER TOWN COMMENTS	MEU

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PROJECT: **NY SELF STORAGE - JEFFERSON VALLEY**
621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

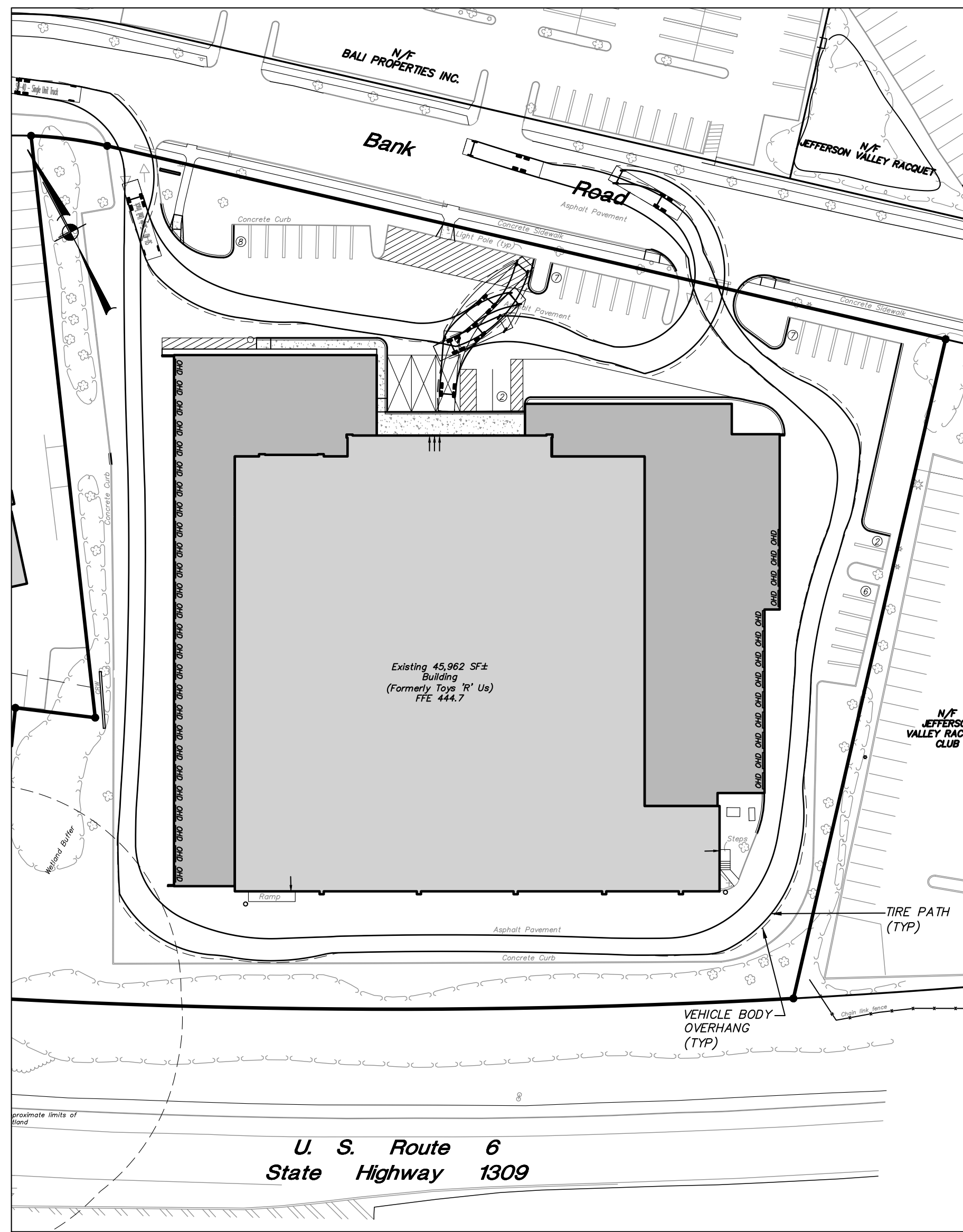
DRAWING: **EROSION & SEDIMENT CONTROL PLAN**

PROJECT NUMBER	PROJECT MANAGER	DRAWING NO.	SHEET
20217.100	J.J.C.	SP-3	4
DATE	DRAWN BY	CHECKED BY	BY
9-25-20	E.R.A.	A.D.T.	7
SCALE	1" = 30'		



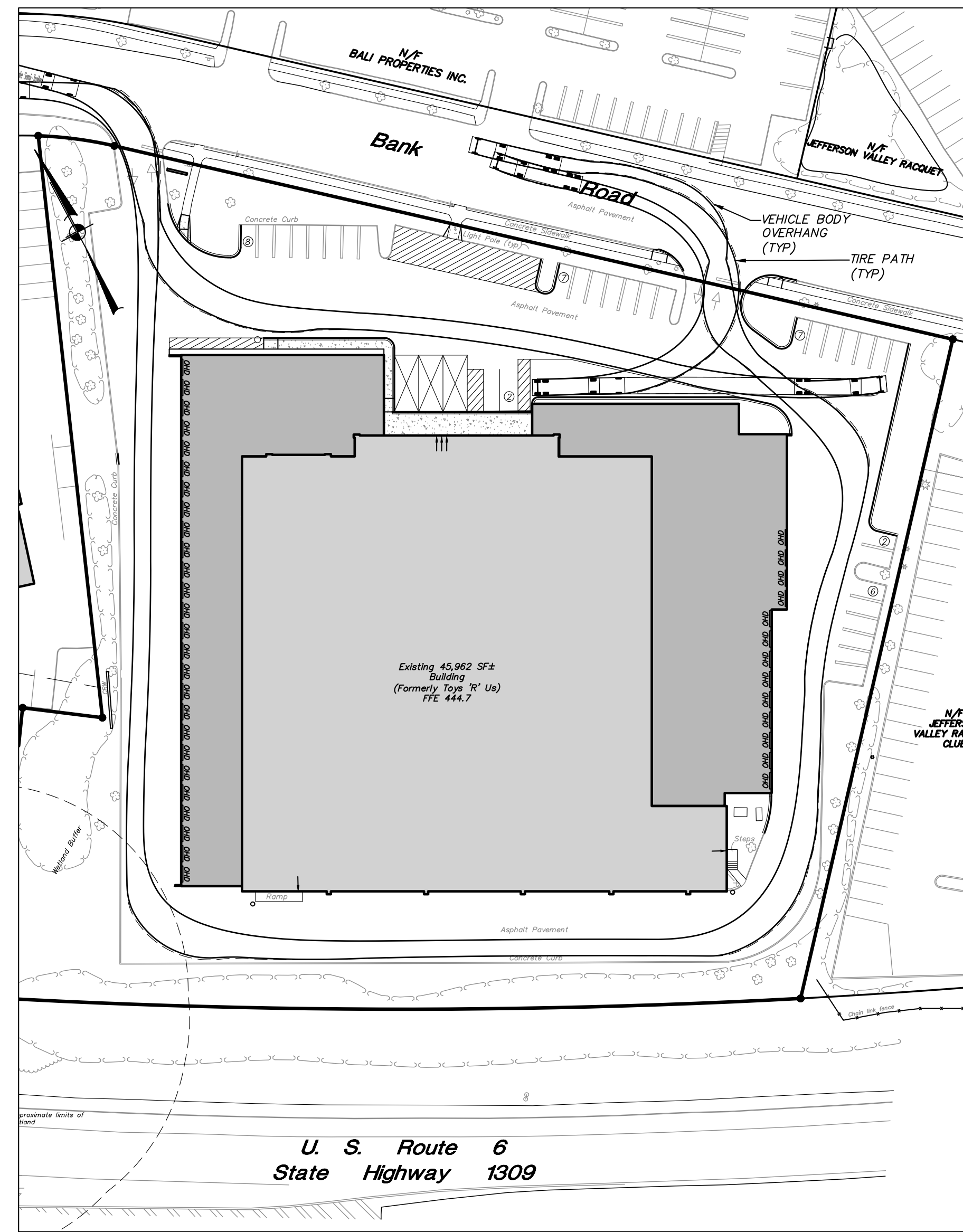
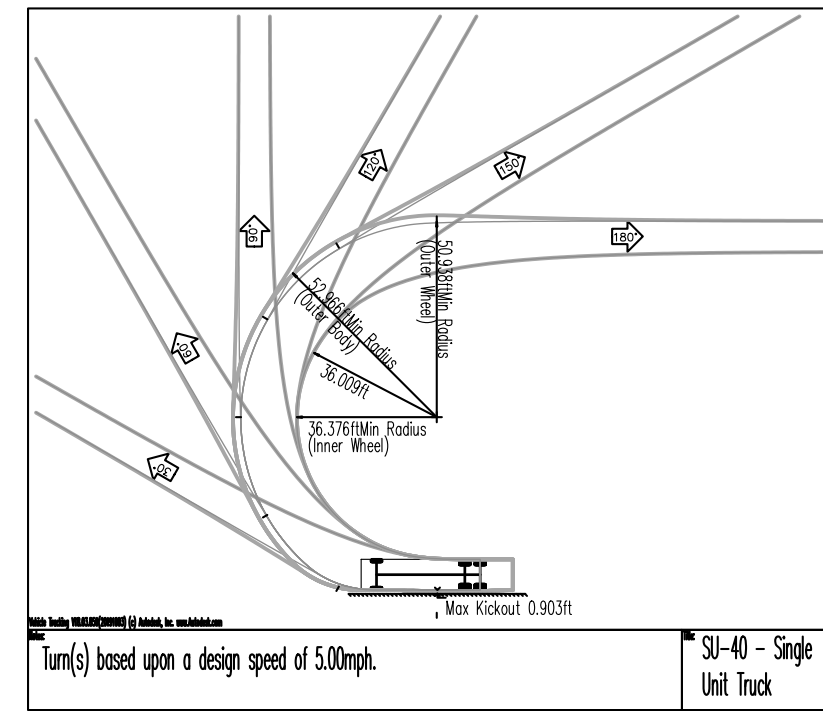
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

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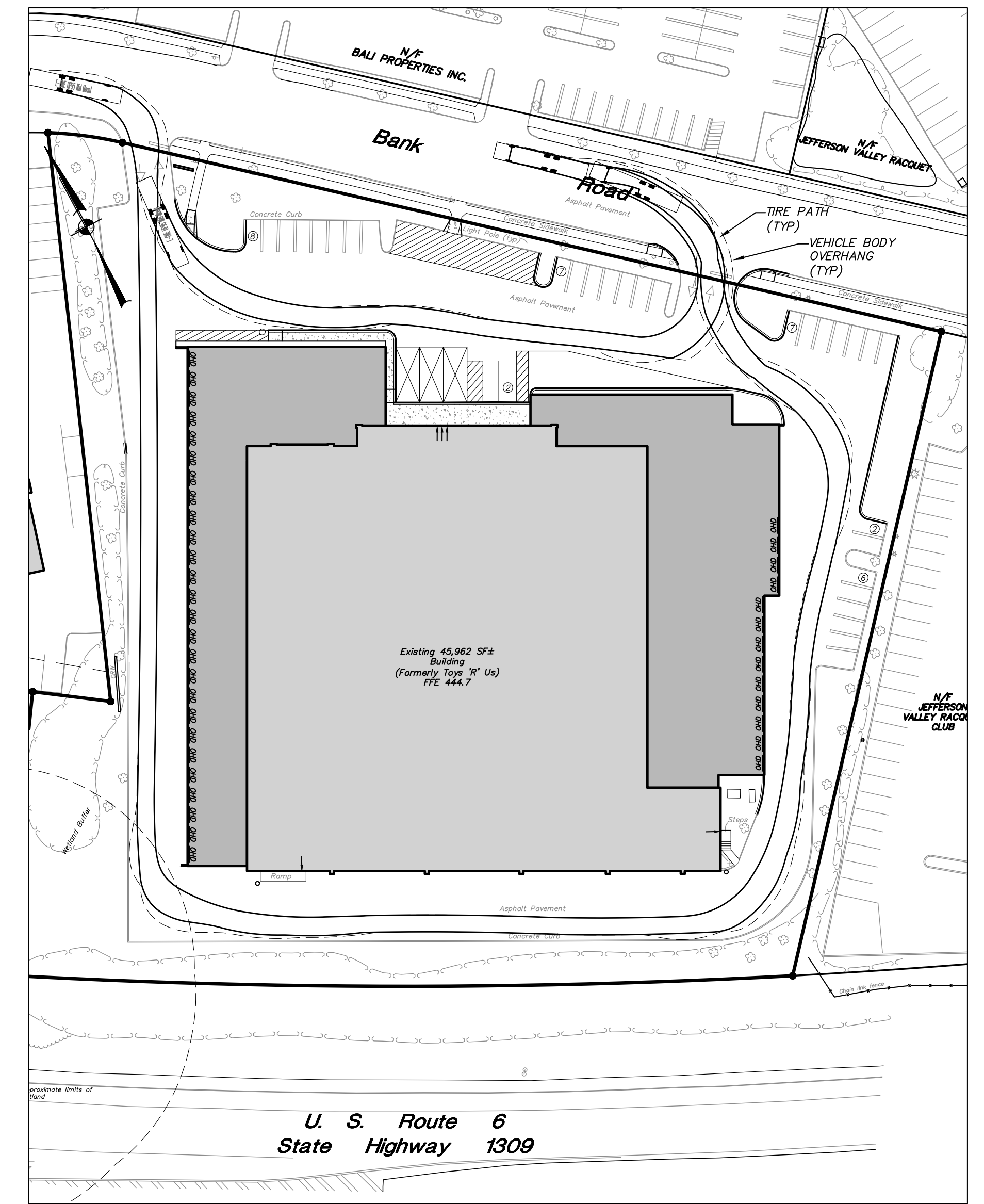
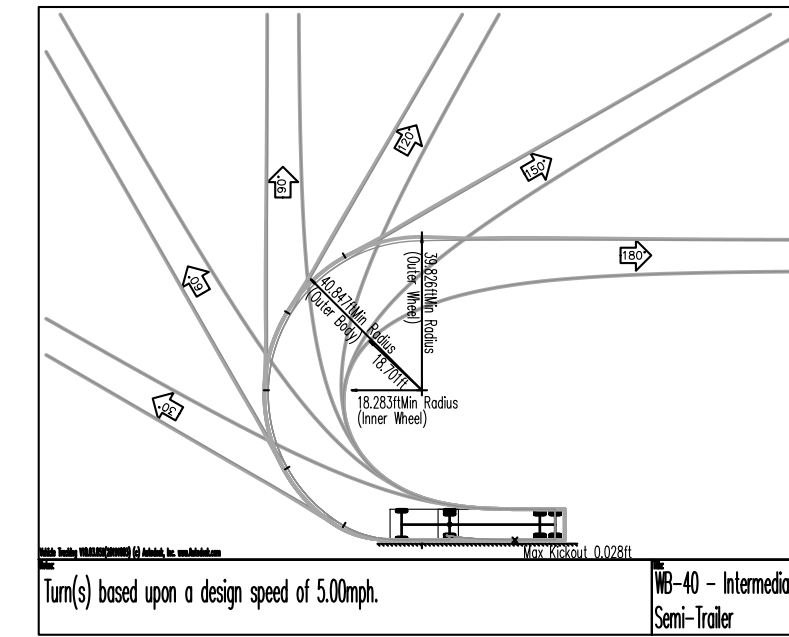
**VEHICLE MANEUVERING PLAN
SU-40 TRUCK**

SCALE: 1" = 50'



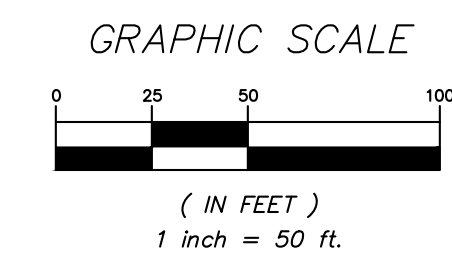
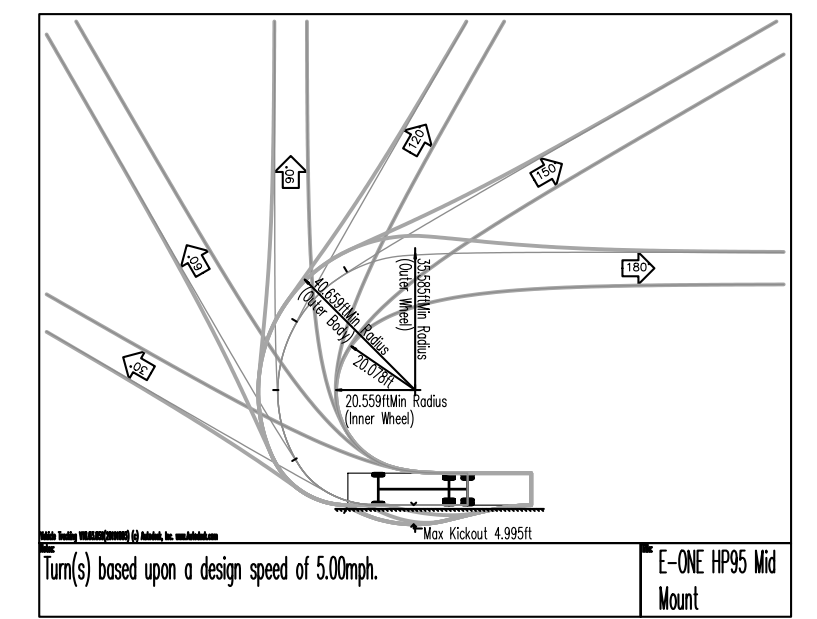
**VEHICLE MANEUVERING PLAN
WB-40 TRUCK**

SCALE: 1" = 50'



**VEHICLE MANEUVERING PLAN
FIRETRUCK**

SCALE: 1" = 50'



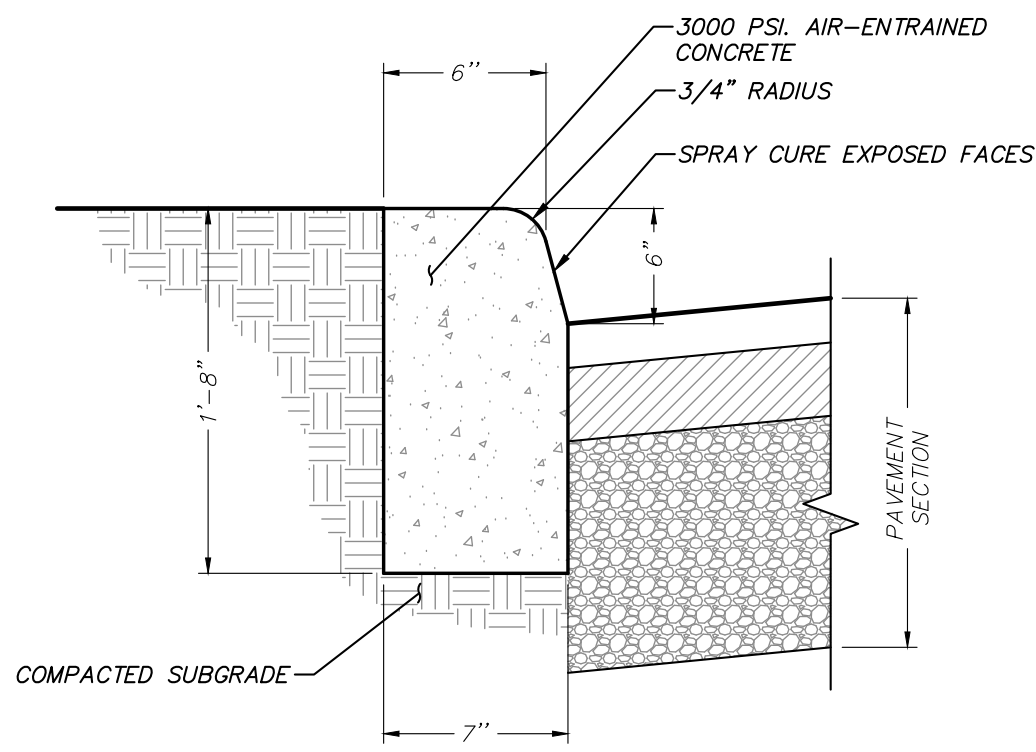
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

NO.	DATE	REVISION	BY
1	4-2-21	GENERAL REVISION	ERA

		3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
PROJECT: NY SELF STORAGE - JEFFERSON VALLEY 621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY			
DRAWING: VEHICLE MANEUVERING PLAN			
PROJECT NUMBER	20217.100	PROJECT MANAGER	J.J.C.
DATE	1-27-21	DRAWN BY	A.D.T.
SCALE	1" = 50'	CHECKED BY	D.L.M.
DRAWING NO.		SHEET	
SP-4		5 / 7	

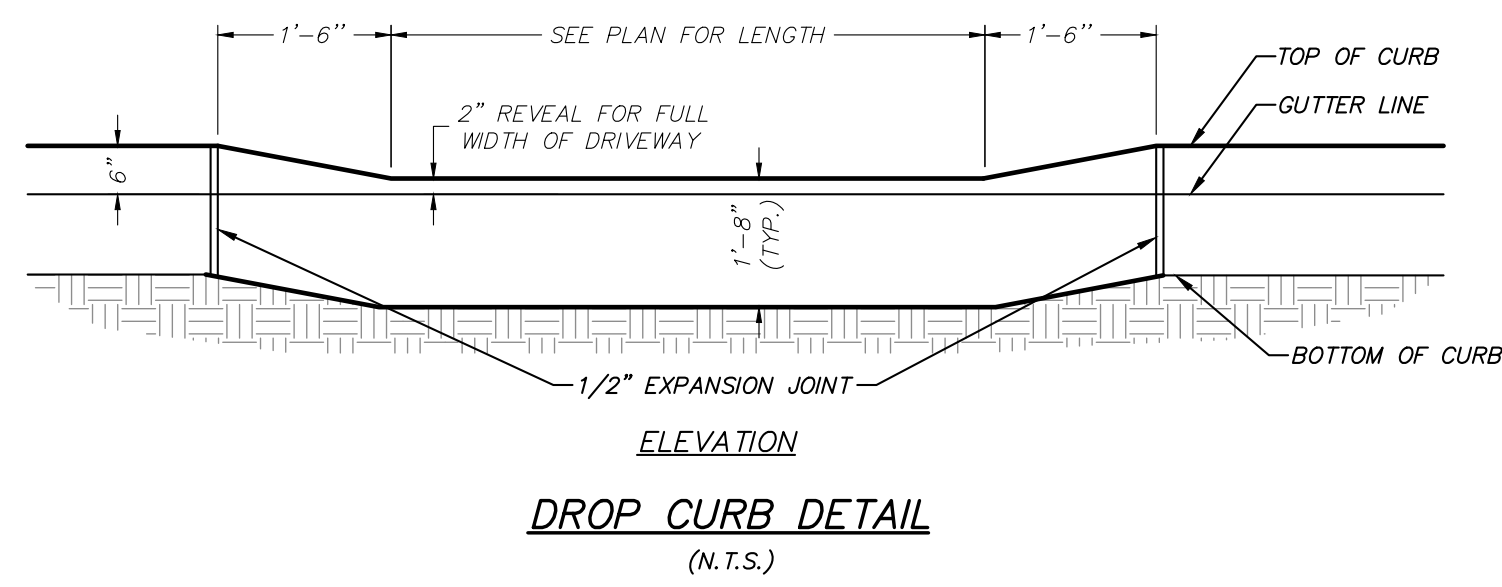


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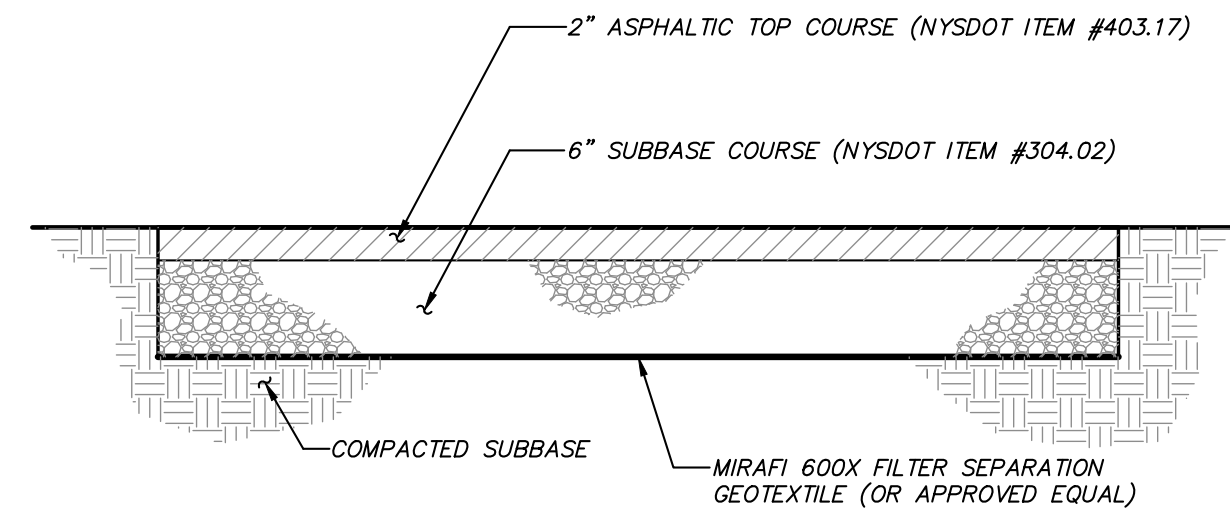


NOTE:
ISOLATION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

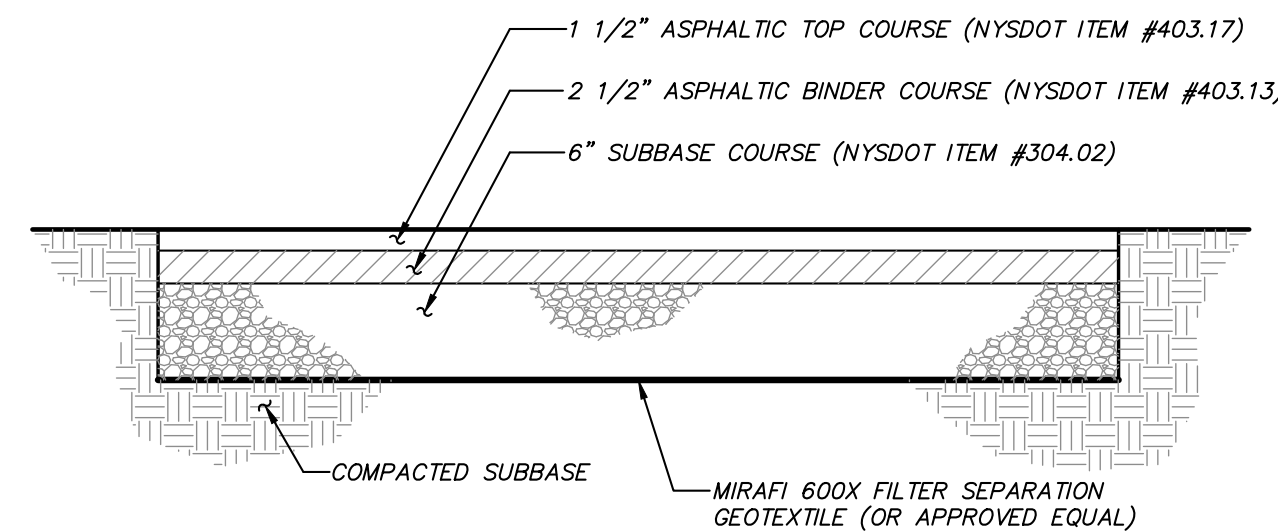
CONCRETE CURB DETAIL
(N.T.S.)



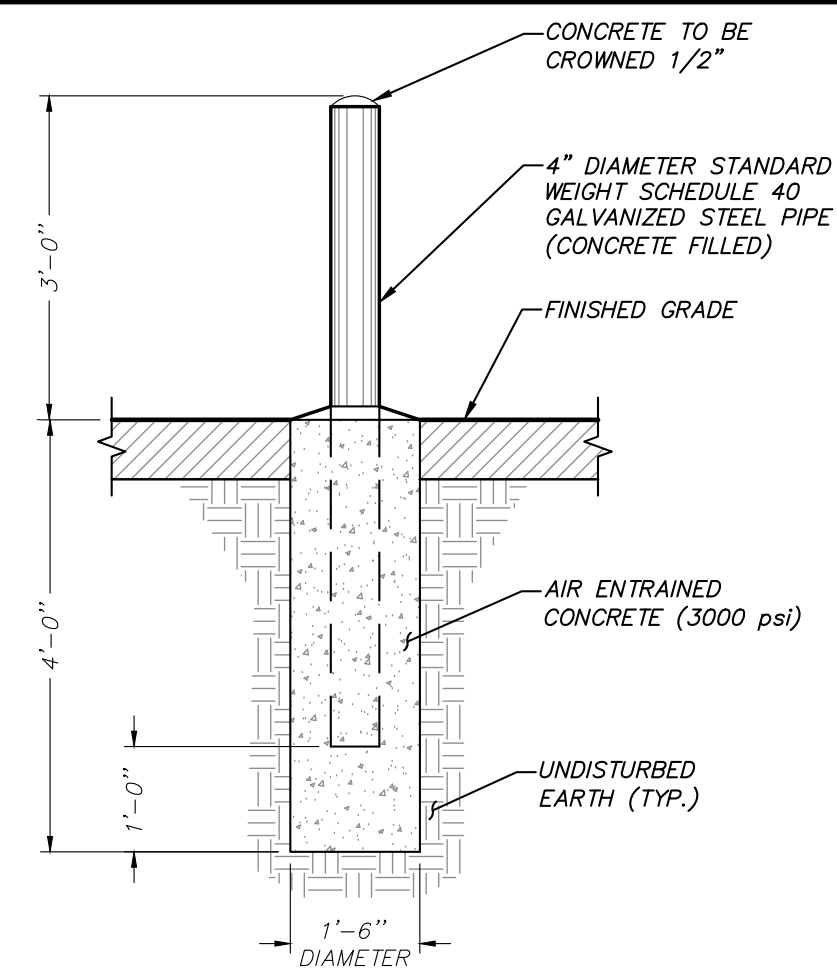
DROP CURB DETAIL
(N.T.S.)



LIGHT ASPHALT PAVEMENT DETAIL
(N.T.S.)

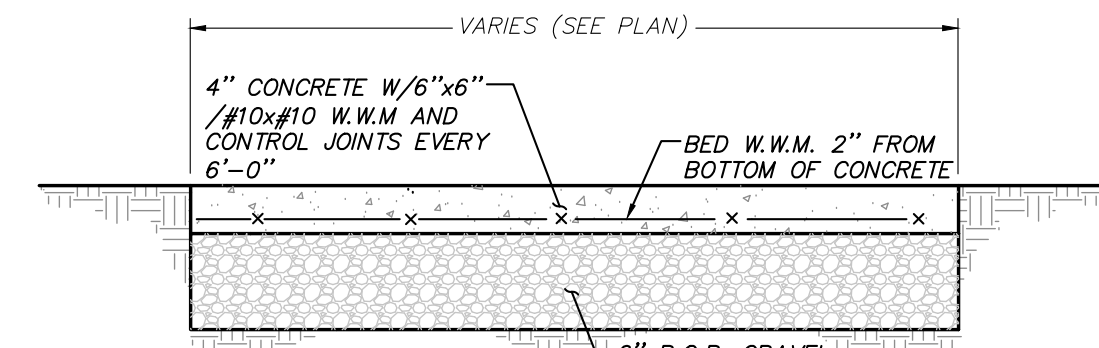


HEAVY ASPHALT PAVEMENT DETAIL
(N.T.S.)

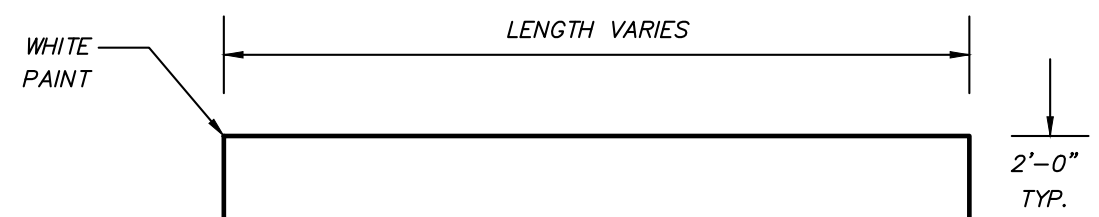


NOTE:
WHEN PROTECTION POSTS ARE TO BE USED FOR PROTECTION OF HANDICAP PARKING SIGNS OR OTHER TRAFFIC SIGNS, SIGN SUPPORTING POST SHALL BE EMBEDDED A MINIMUM OF THREE (3) FEET INTO THE CONCRETE.

STEEL BOLLARD DETAIL
(N.T.S.)

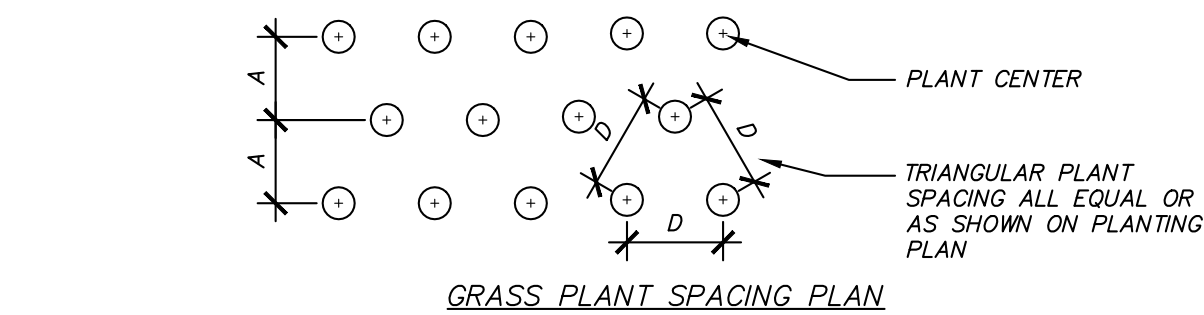


CONCRETE SIDEWALK DETAIL
(N.T.S.)



NOTE: INSTALLATION TO CONFORM WITH CURRENT NYSOT STANDARDS AND SPECIFICATIONS.

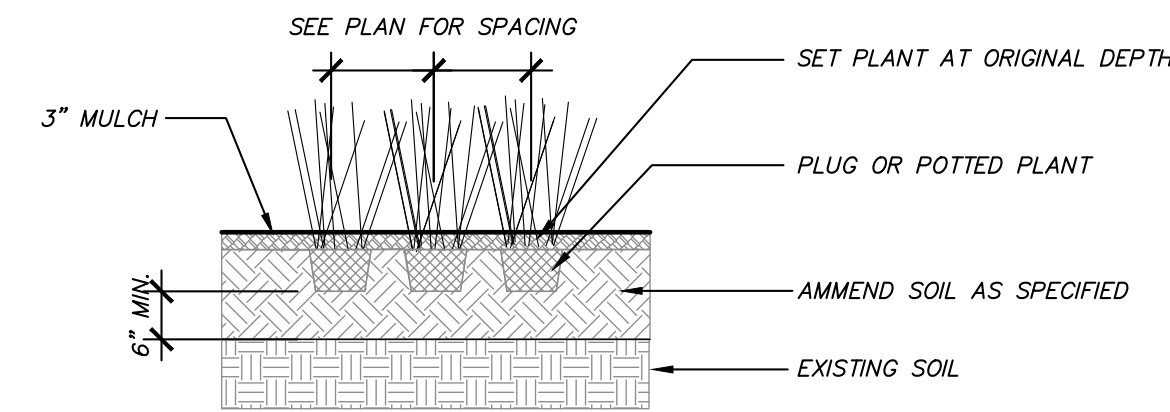
PAINTED STOP BAR DETAIL
(N.T.S.)



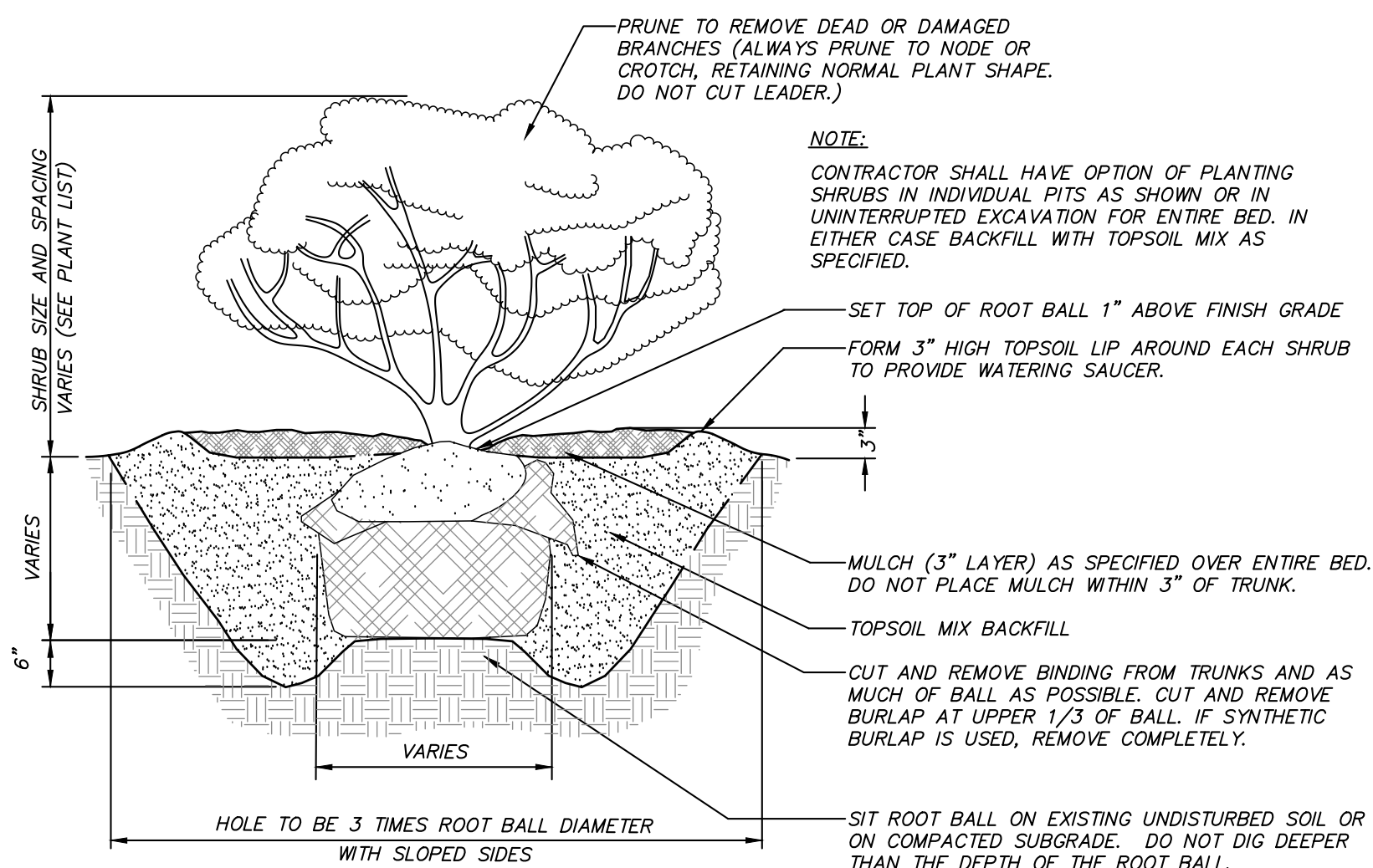
GRASS PLANT SPACING PLAN

SPACING "D"	ROW "A"	PLANTS PER SQ. FT.	NOTES:
24" O.C.	20.8"	0.29	PLANT QUANTITIES WERE DETERMINED BY MULTIPLYING AREA (SQ. FT.) BY NUMBER OF PLANTS PER SQ. FT. FOR REQUIRED SPACING.
18" O.C.	15.6"	0.50	
12" O.C.	10.4"	1.15	
10" O.C.	8.7"	1.66	
8" O.C.	6.9"	2.60	

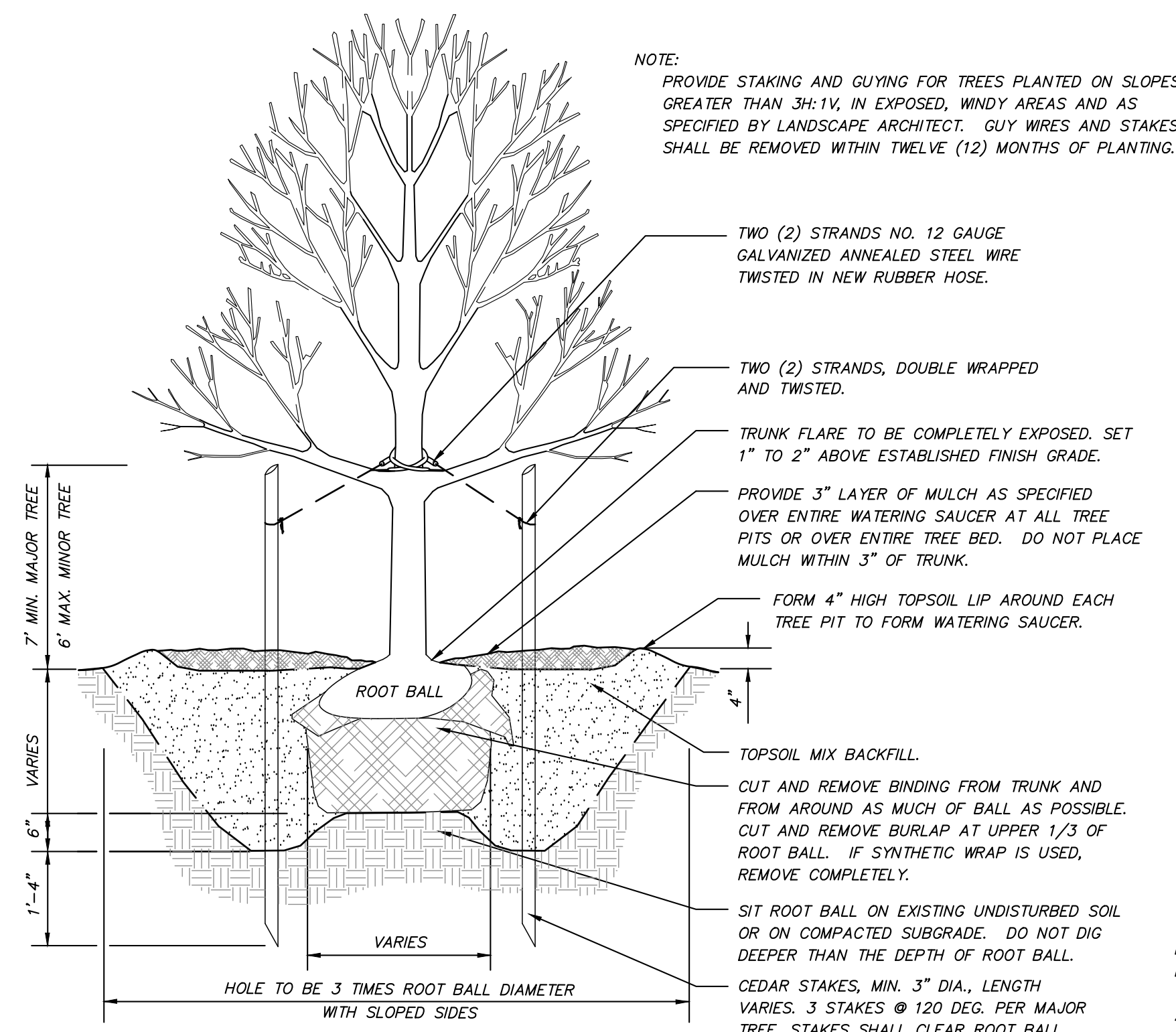
QUANTITY OF PLANTS AND SPACING AS NOTED IN PLANTING SCHEDULE



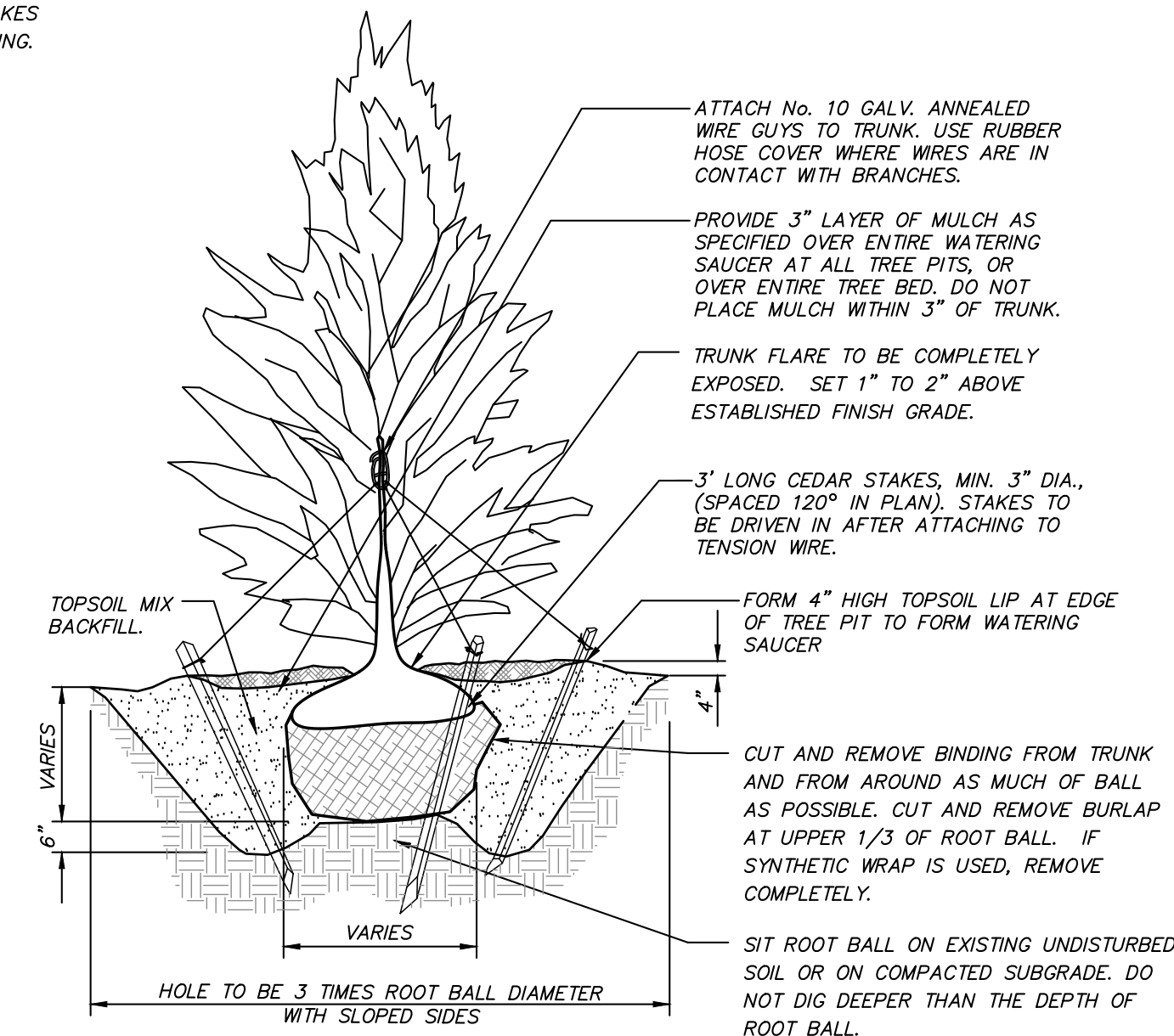
PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL
(N.T.S.)



SHRUB PLANTING DETAIL
(N.T.S.)



TREE PLANTING DETAIL
(N.T.S.)



EVERGREEN TREE PLANTING DETAIL
(N.T.S.)

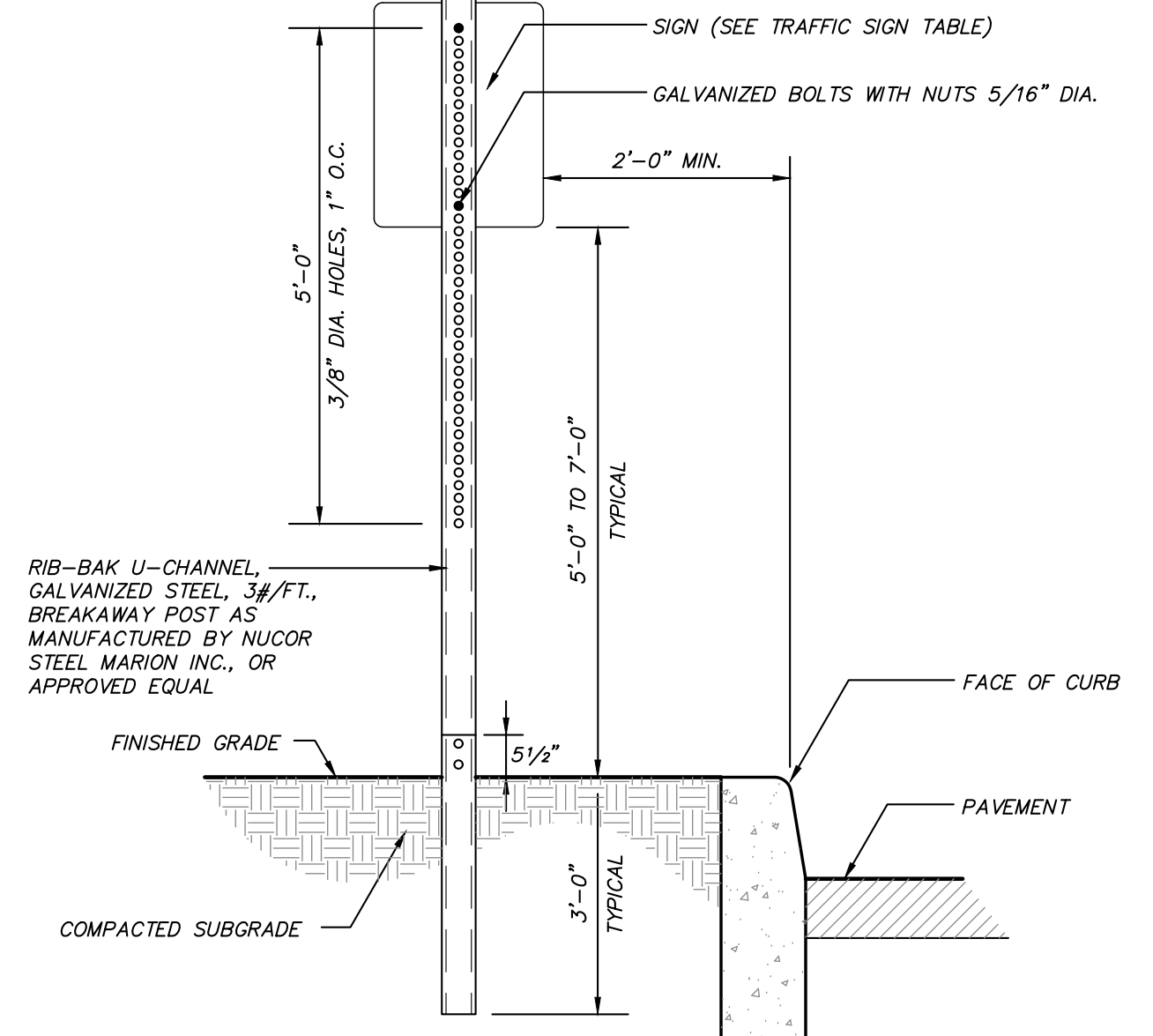
GENERAL SITE SEEDING NOTES:

- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorus) fertilizer or equivalent.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- The seed mixes as specified on these drawings are as follows:

A. Seed Mix for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:	
Kentucky Bluegrass	20%
Creeping Red Fescue	40%
Perennial Ryegrass	20%
Annual Ryegrass	20%

GENERAL PLANTING NOTES:

- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.



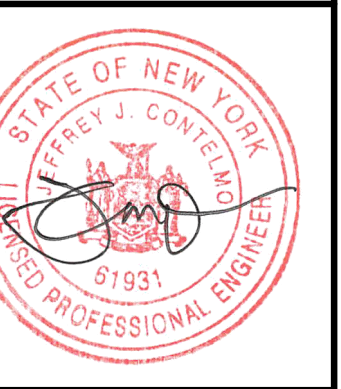
NOTE: FOR HANDICAP PARKING SIGNAGE, SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5'-0" AND 7'-0" ABOVE GRADE OF PARKING SPACE AND SUCH THAT SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.

TRAFFIC SIGN DETAIL
(N.T.S.)

3	4-2-21	GENERAL REVISION	ERA
2	1-27-21	GENERAL REVISION	ADT
1	12-4-20	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY

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3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
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PROJECT:	NY SELF STORAGE - JEFFERSON VALLEY		
DRAWING:	DETAILS SHEET		
PROJECT NUMBER	20217.100	PROJECT MANAGER	J.J.C.
DATE	9-25-20	DRAWN BY	E.R.A.
SCALE	AS NOTED	CHECKED BY	A.D.T.
DRAWING NO.	D-1		SHEET 6/7



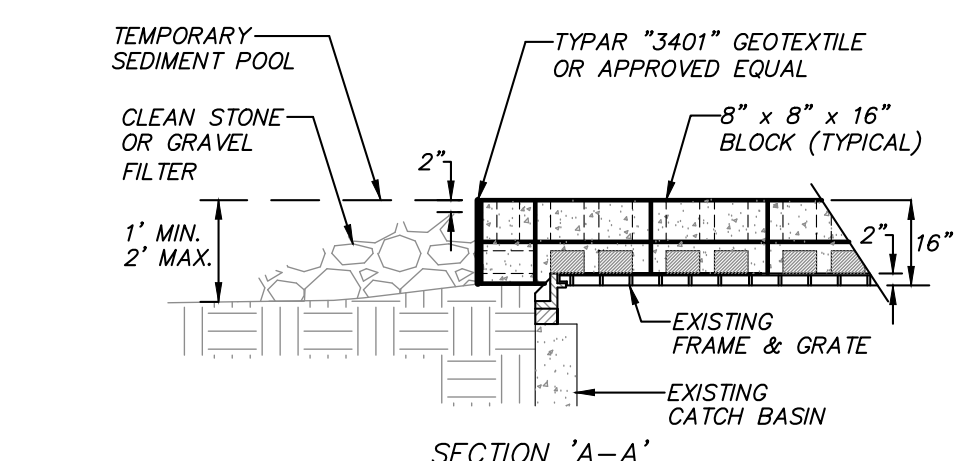
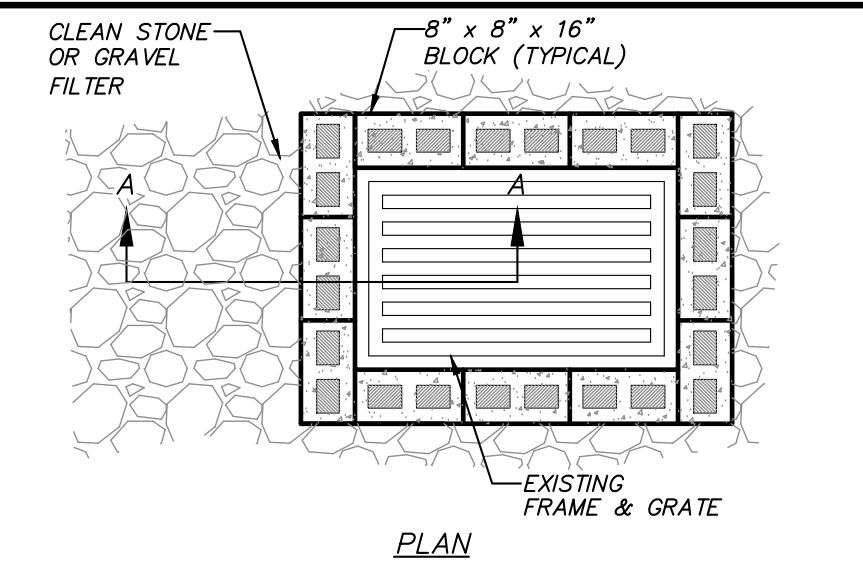
EROSION & SEDIMENT CONTROL NOTES:

- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within fourteen (14) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
- Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Aristocrat" Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
- Any disturbed areas not subject to further disturbance or construction traffic; permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
- Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
- Cut or fill slopes steeper than 2:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all silt bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
- Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
- Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
- All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

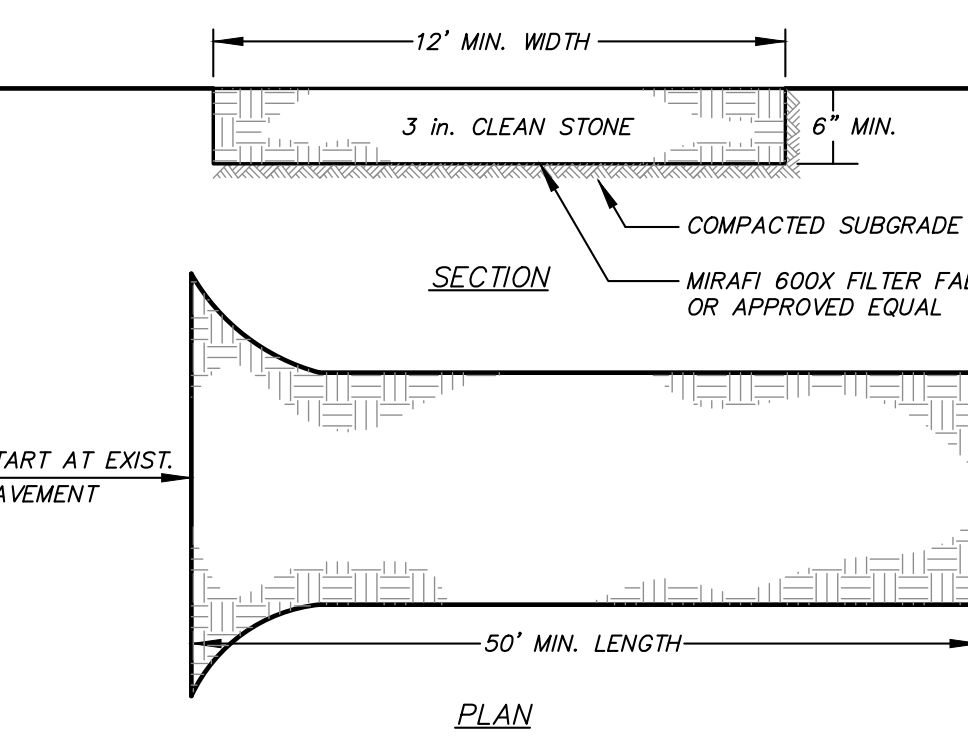
PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Clean/Replace Stone and Fabric	Remove
INLET PROTECTION	-	Inspect	Inspect	Clean/Repair/Replace	Remove

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized.
 Note: The party responsible for implementation of the maintenance schedule during and after construction is:
 Columbia Pacific Advisors
 1910 Fairview Ave. E., Suite 200, Seattle, WA 98102
 and/or the current owner(s) of the subject property.



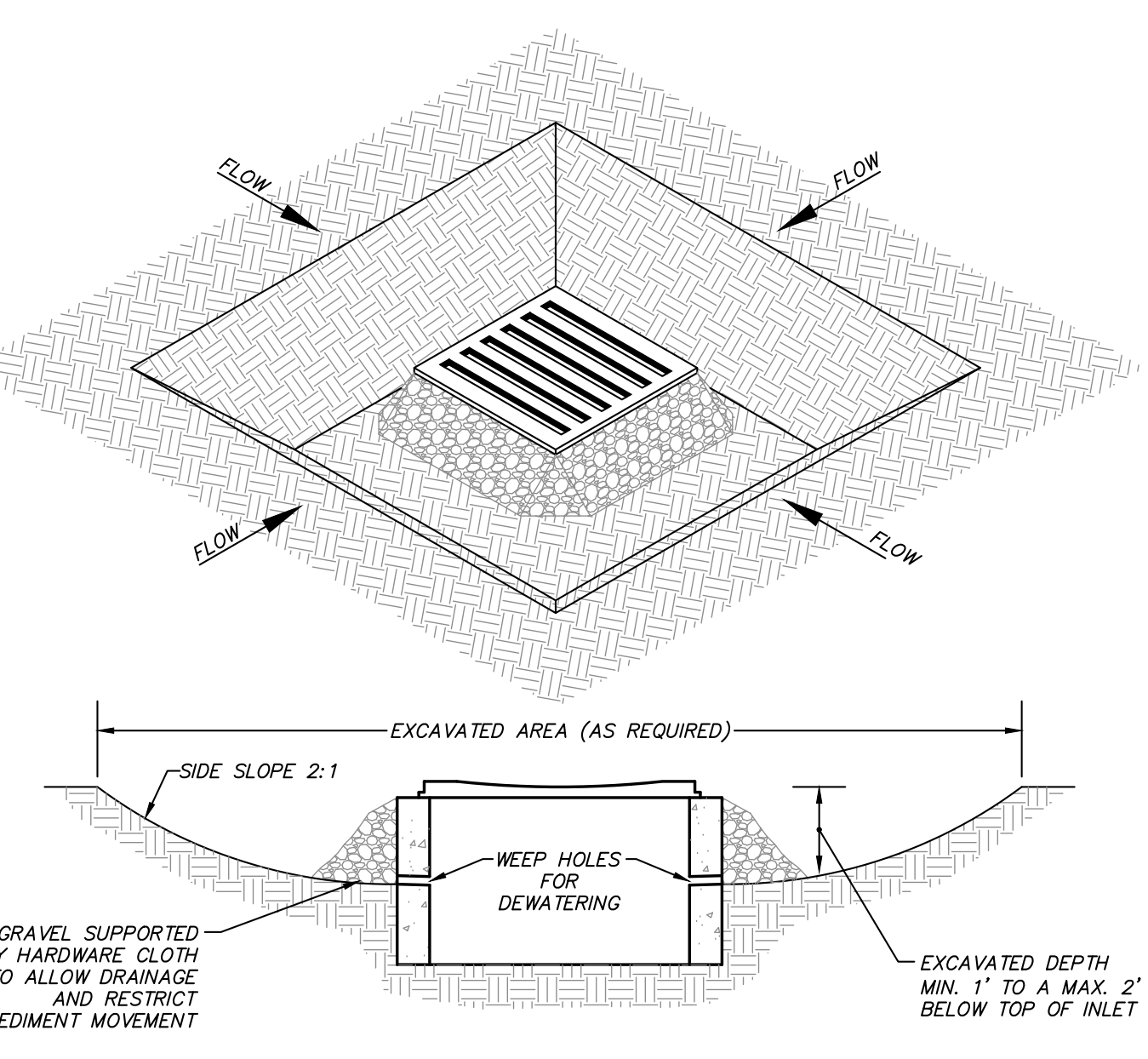
- CONSTRUCTION NOTES:**
- LAY ONE LAYER OF BLOCKS ON EACH SIDE OF THE STRUCTURE ON THEIR SIDES FOR DEWATERING. EDGES OF BLOCK SHALL BE 2 INCHES MINIMUM BELOW THE GRATE. BLOCKS SHALL BE PLACED AGAINST THE INLET FOR SUPPORT. PLACE A SECOND LAYER OF BLOCKS ON TOP OF THE FIRST LAYER WITH HOLE FACE UP.
 - GEOTEXTILE SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
 - USE CLEAN STONE OR GRAVEL 1/2 TO 3/4 INCH IN DIAMETER PLACED ON A 2H:1V SLOPE OR FLATTER, TO WITHIN 2 INCHES OF THE TOP OF THE BLOCKS.

STONE AND BLOCK DROP INLET PROTECTION AT EXISTING DRAIN INLET DETAIL (N.T.S.)



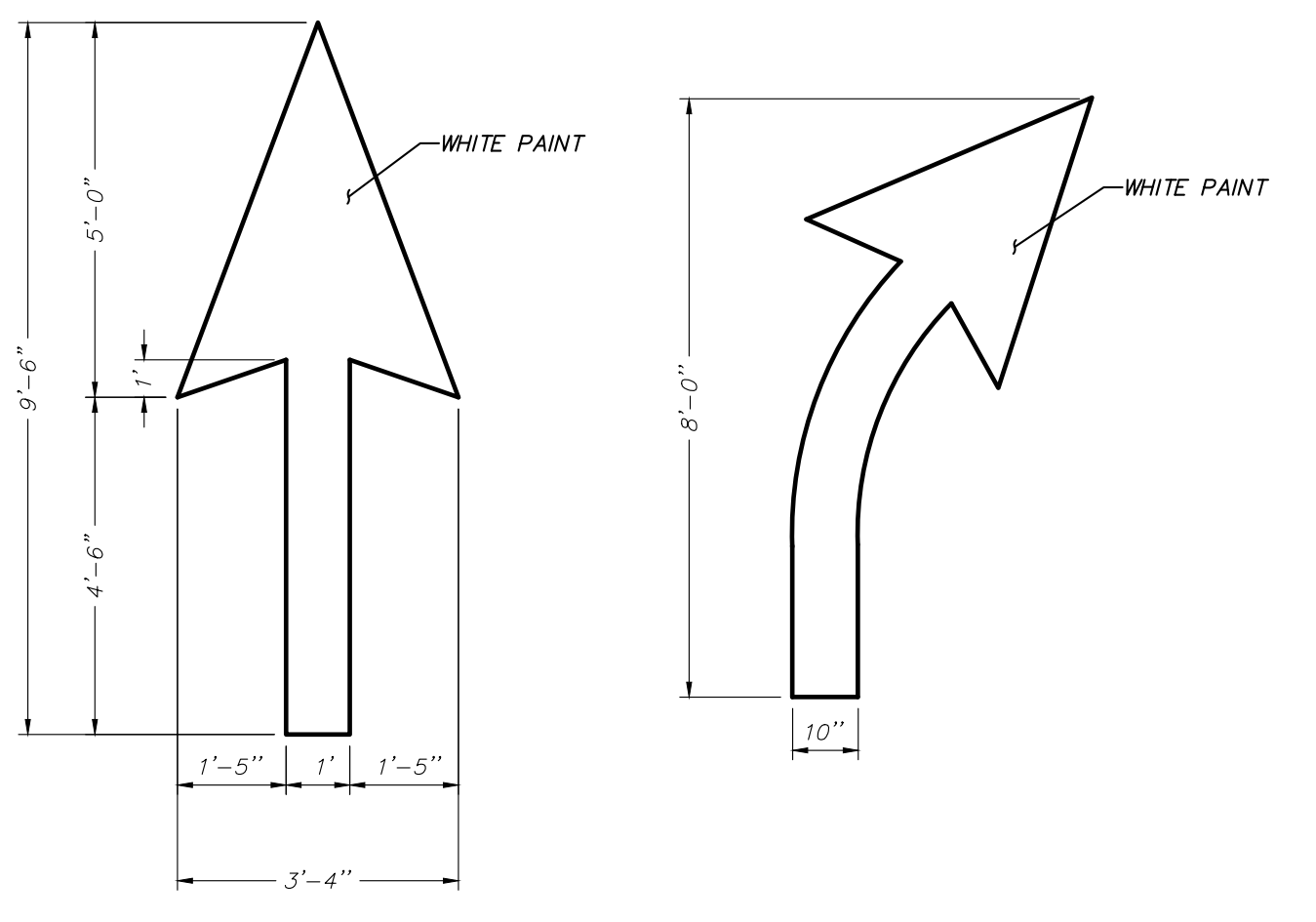
- INSTALLATION NOTES**
- STONE SIZE - USE 3" STONE
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



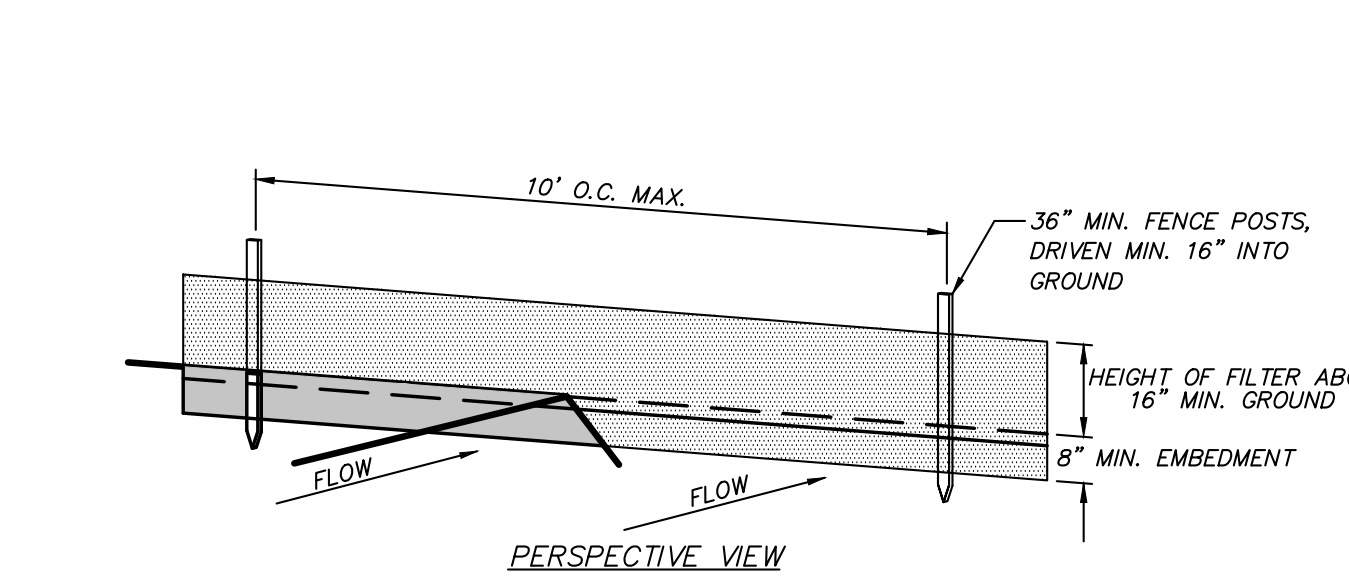
- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
- WEEP HOLES SHALL BE PROTECTED BY GRAVEL
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
- MAXIMUM DRAINAGE AREA = 1 ACRE

EXCAVATED DROP INLET PROTECTION DETAIL (N.T.S.)



NOTE: INSTALLATION TO CONFORM WITH CURRENT NYSDOT STANDARDS AND SPECIFICATIONS.

DIRECTIONAL ARROWS DETAIL (N.T.S.)

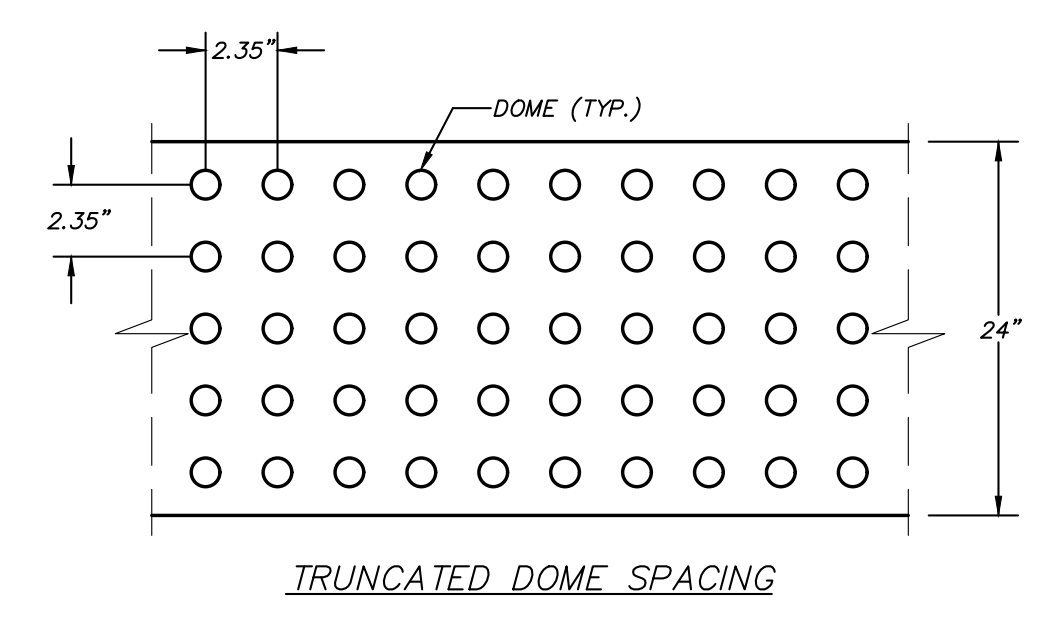
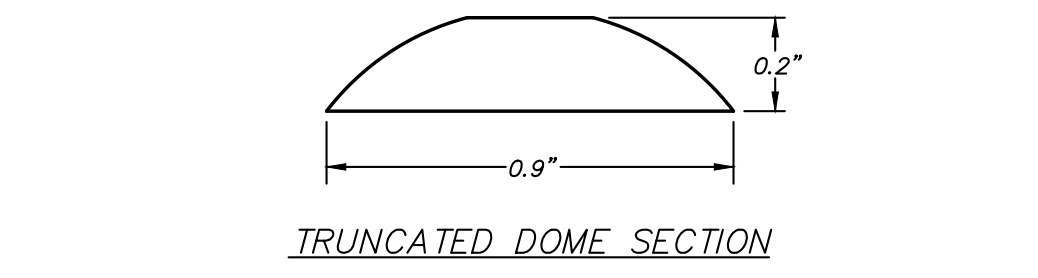


- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
 PREFABRICATED UNIT: GEOPAB, ENVIRPERENCE, OR APPROVED EQUAL

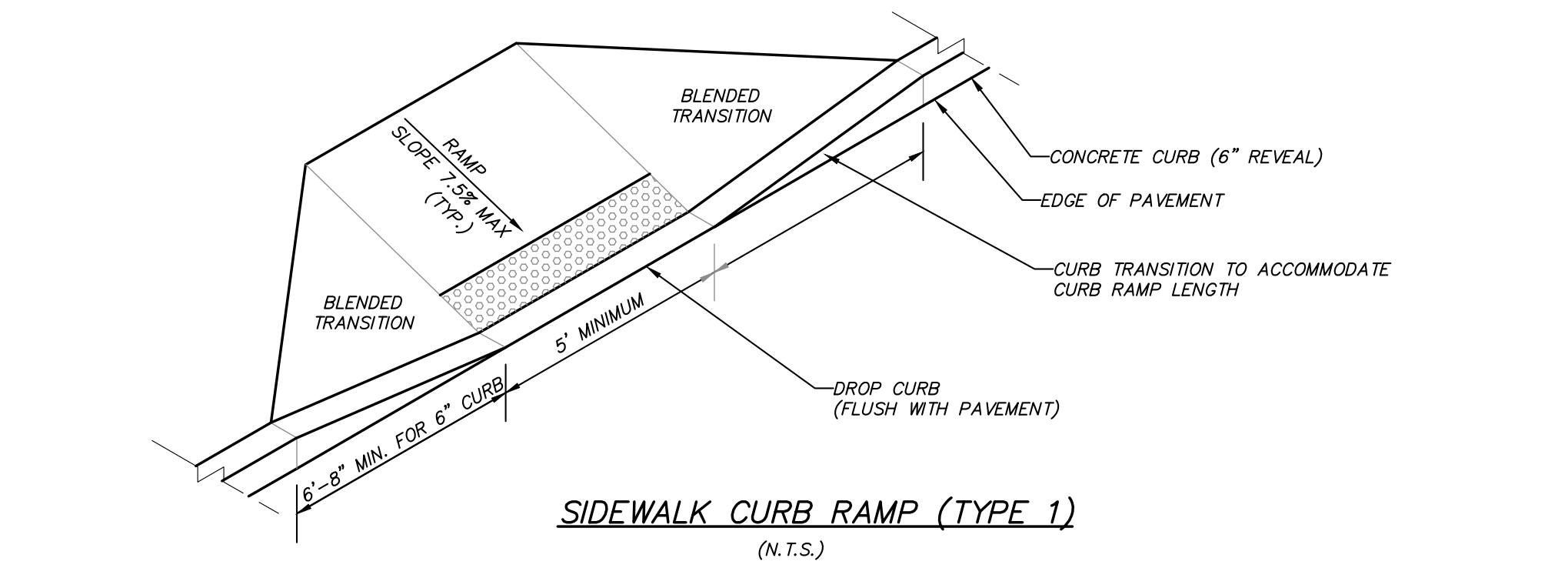
SILT FENCE DETAIL (N.T.S.)

NOTES:

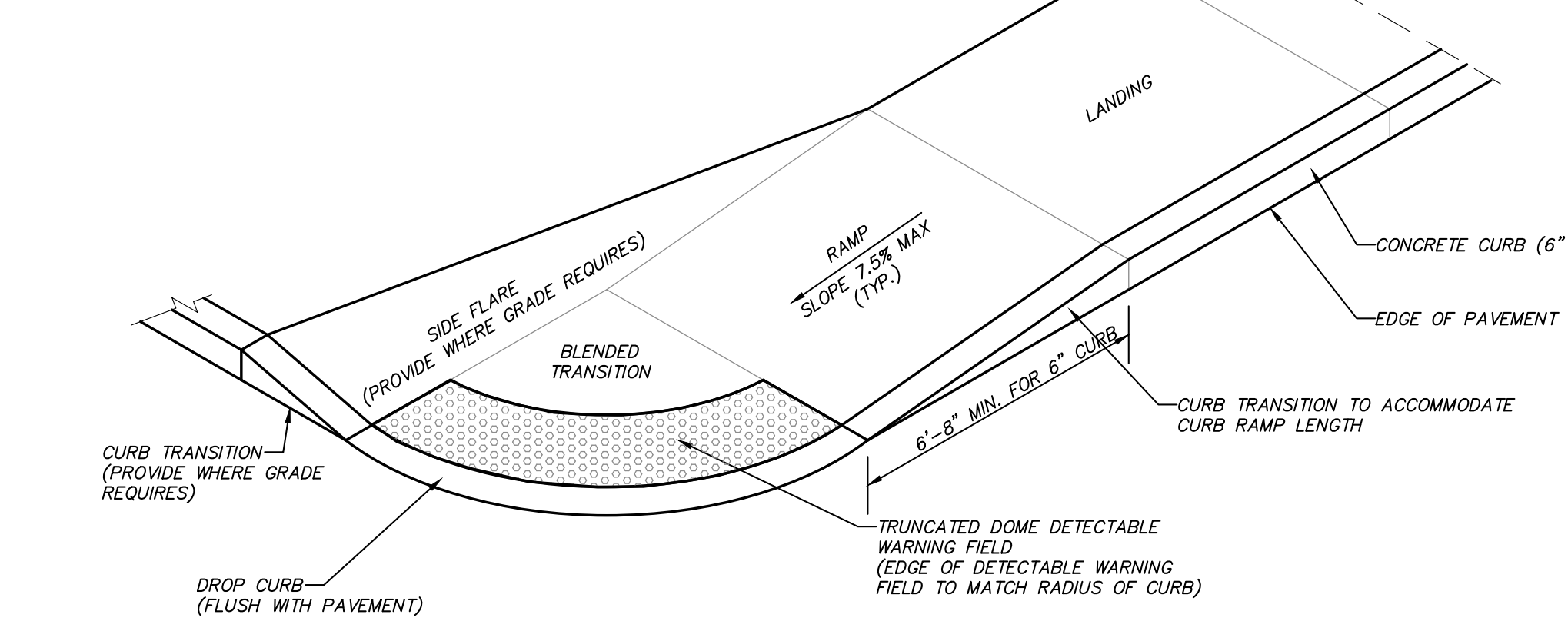
- The detectable warning field shall consist of raised truncated domes with a nominal diameter of 0.9 inches, a nominal height of 0.2 inches, and a nominal spacing of 2.35 inches on center in accordance with the Department of Justice-Code of Federal Regulations, 28 CFR Part 36, Chapter 4 "ADA Standards for Accessible Design", revised as of July 1, 1994.
- The details provided are not drawn to scale. The quantity of domes depicted on the detectable warning field (the domes and the entire 24 inch level surface) is for illustration only.
- The size of the detectable warning field shall be 24 inches in the direction of travel and shall extend the full width of the curb ramp or flush surface, exclusive of side flares.
- Detectable warnings shall be located so that the edge of the warning field nearest to the roadway or street surface is 6 inches to 9 inches from the edge of the roadway/street, or from the front of the dropped curb, where a dropped curb continues across the bottom of the sidewalk curb ramp.
- Domes shall be aligned on a square grid in the predominant direction of travel.
- The detectable warning field shall be the color specified in the contract documents. Detectable warning surfaces shall contrast visually with adjacent gutter, street, highway, or pedestrian access route surface, either light-on-dark or dark-on-light.
- Payment lines are the 24 inch dimension shown in the details extending the full width of the curb ramp and/or applicable surfaces.
- The detectable warning shall be a non-skid liquid applied truncated dome field as manufactured by Vanguard ADA Systems of America, or approved equal.
- Provide a broom finish, flush to adjacent sidewalk/curb, on all areas to receive the detectable warning fields.



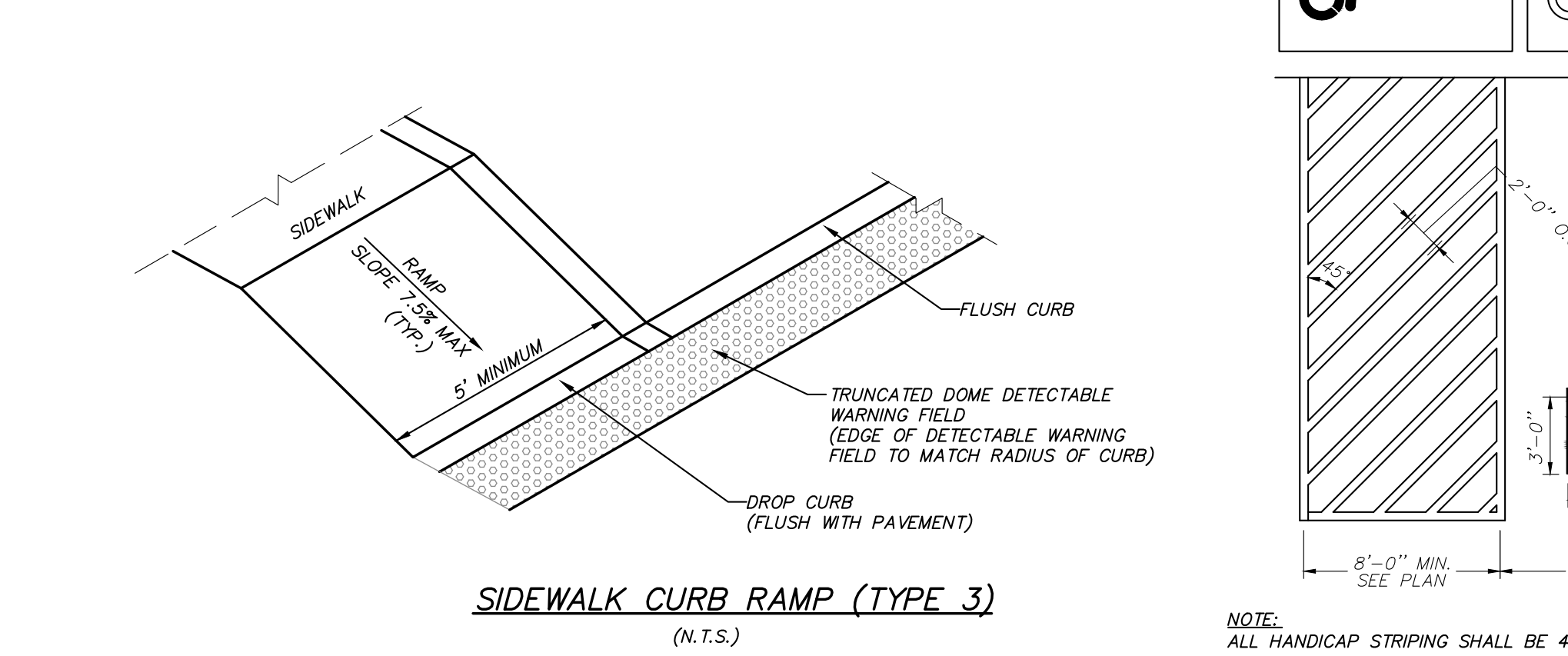
TRUNCATED DOME DETAIL (N.T.S.)



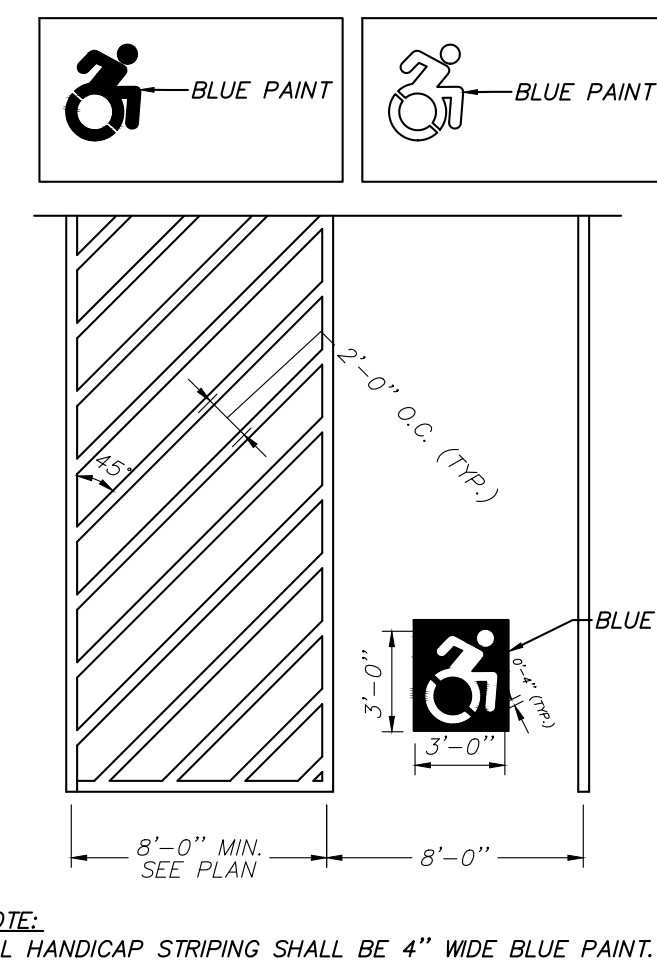
SIDEWALK CURB RAMP (TYPE 1) (N.T.S.)



SIDEWALK CURB RAMP (TYPE 2) (N.T.S.)



SIDEWALK CURB RAMP (TYPE 3) (N.T.S.)



PAINTED NYS ACCESSIBLE PARKING DETAIL (N.T.S.)

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
 3 Garrett Place
 Carmel, NY 10512
 (845) 225-9690
 (845) 225-9717 fax
 www.insite-eng.com

PROJECT: **NY SELF STORAGE - JEFFERSON VALLEY**
 621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

DRAWING: **EROSION CONTROL DETAILS SHEET**

PROJECT NUMBER	20217.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	9-25-20	DRAWN BY	E.R.A.	D-2	7
SCALE	AS NOTED	CHECKED BY	A.D.T.		7

Envirogreen Site Plan

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Planning Department
From: ABACA
Date: April 26, 2021
Subject: Envirogreen
SBL: 15.16-1-30

RECEIVED
PLANNING DEPARTMENT

APR 26 2021

TOWN OF YORKTOWN

Drawings Reviewed:

Title:	Drawing No.:	Date:	Produced By:
Landscape Plan	Sheet 5	11/6/2017	Frank Giuliano, Landscape Architect
Mitigation Plan	Sheet 1	11/6/2017	Site Design Consultants
Plan Set			Site Design Consultants

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject via video-conference at the Board meeting held on Tuesday, April 20, 2021. Joseph Riina, P.E. of Site Design Consultants and Frank Giuliano, Landscape Architect were present. The ABACA has the following comments:

Site Plan

1. The Site Plan has been developed to reflect the wetlands limits and enhanced restoration area.
2. The parking on the site is for the existing building and expanded for the new structure and as shown assumes the significant parking load required for a restaurant use. The portion of the site toward the rear that is planned for this excess parking will not be developed unless there is a restaurant.
3. The Board likes that the new site work connects the existing site to the northeast and that it allows vehicles to exit toward Lakeland Street as an alternate to exiting directly out onto Route 6.
4. One of the existing buildings on site will be removed and two existing curb cuts to the roadway are being eliminated allowing for two main entrances to the site. The Board likes the simplicity of the parking layout of the site as proposed.
5. The Board is concerned with the existing site entrance adjacent to the existing one story building that is to remain since it is awkward and wonders if there is a way it can be improved.
6. The site plan provides few opportunities for outdoor dining or gathering. The Board feels that the plan would be greatly improved by this, and would be more attractive to restaurants who benefit from the expanded seating.

Landscape Plan

7. The applicant's Landscape Architect said that the site is fully planted and the Board feels that the planting plan is generally acceptable.
8. The Board appreciates that plantings will be irrigated using a drip system, which will aid in planting viability and limit water usage. The Board also appreciates that rainwater harvesting will be utilized on this site.

Architecture

9. The Board feels that the site plan could be significantly improved if the building footprint is altered to incorporate some gathering/public space option particularly if a restaurant tenant is being considered. The existing covered entrance area on the site was discussed as a public area but does not really lend itself to this. The addition of an outdoor terrace area for outdoor opened air seating or a sitting area with landscaping could really enhance the building, site and greater area. Perhaps there is also an opportunity to add another public area between the roadway and the existing building at the south side of the site, if the site entrance is altered and improved as suggested above.
10. While the building has a recessed area for the main entrance of the building, additional entrances were shown on the rendering opening directly onto the walkway. As presented there is a deep overhang shown over this walkway, but it does not seem deep enough to allow for doors opening out onto the walkway or for the incorporation of awnings. If this is the intent of the plan, the Board feels that the face of the building should be pushed back to allow for deeper or covered walkway be incorporated.
11. While this area of Mohegan Lake lacks a cohesive style and aesthetic, the Board hopes that the Architect can draw from nearby successful buildings and develop a building that attempts to unify or bridge the areas structural

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Envirogreen
April 26, 2021
Page 2 of 2

- diversity. The Board further feels that this building since it is centrally positioned within Mohegan Lake, can be prominent and help to define the aesthetic of the area.
12. The Board thought that the building as presented lacks pertinent detail to be fully understood and looks forward to seeing additional drawings, details and renderings of the building at future meetings.
 13. The Board feels that the pilasters shown on the rendering seem small and insignificant. If they remain or if they become columns, the Board suggests that they be larger and in better proportion to the building.
 14. The Board feels that the design could benefit from the incorporation of additional textures and additional materials to the palette such as stone or brick.
 15. The Board feels that the applicant should be using quality building materials and looks forward to seeing an updated rendering with color demonstrating this along with a material samples and color palette for review and approval.
 16. Some of the adjacent building have limited spaces for signage making the facades look busy and congested so the Board encourages the applicant to consider an appropriate sign band for the design of this building.
 17. The Board is always concerned about visibility of mechanicals, so would be interested in understanding how the applicant will address concealing of equipment.
 18. The building proposed has a large pitched roof with dormers, which could look nice, but the Board feels that the applicant could develop a building that contains a pitched mansard with adequate architectural detailing while maintaining a flat roof beyond to house and conceal mechanicals and solar panels. Incorporation of solar panels on flat roofs of new buildings would be consistent with the Town's green building initiatives.
 19. The Board looks forward to seeing a site lighting plan with lighting levels and lighting specifications when developed. Lighting fixture selections for the site should be drawn from adjacent sites if possible and be related to lighting selections for the building.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

cc: Applicant

**TOWN OF YORKTOWN
CONSERVATION BOARD**

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Planning Board

From: Conservation Board

Date: April 22, 2021

Re: Envirogreen Associates 1851 East Main Street

RECEIVED
PLANNING DEPARTMENT

APR 26 2021

TOWN OF YORKTOWN

The Conservation Board, at its April 21st 2021 meeting discussed Envirogreen Associates located at 1851 East Main Street with Joe Riina of Site Designs, Steve Marino of Tim Miller Associates and Frank Giuliano . The Conservation Board has the following comments:

The Board usually requests any development either be out of or minimize the intrusion into the wetland buffer. The Board understands the previous development was in the wetland buffer with disturbance up to the wetland boundary. This development is in the wetland buffer and extends up to the flagged wetland. Applicant should use extra care not to disturb the wetland when construction begins, especially when constructing the walls shown on the plan. To ensure no intrusion into the wetland during construction, the Applicant should clearly mark the wetland boundary prior to construction.

The Board is appreciative of the mitigation plans to enhance this productive wetland by removing invasive species and planting the edge with native species.

Applicant did not show the Stormwater management details. Board request review of the Stormwater management details to ensure no additional pollutants are discharged into the wetland.

The Board encourages the use of permeable pavement if soil borings allow for all paved area.

The Board recommends adding Planting Island for trees in the large parking lot in the rear to reduce the heat island effect.

The Board encourages the use of solar panels over the large parking area in the rear.

The Board recommends all light should be led and night sky compliant fixtures.

Respectfully submitted:

Diane Dreier

For the Conservation Board

Site Design Consultants

Civil Engineers • Land Planners

April 15, 2021

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

APR 15 2021

TOWN OF YORKTOWN

Re: Envirogreen Associates, Inc.
1851 East Main Street, Mohegan Lake

Dear Robyn:

As per your request, attached please find three copies of the Landscape Plan prepared for Envirogreen Associates Inc.,” dated 11/06/17, Sheet 5, by Frank Giuliano – Landscape Architect.

The Architect’s Exterior Elevations will be hand delivered under separate cover.

Thank you.

Yours Truly,


Joseph C. Riina, P.E.

/cm /Enc./ sdc 14-14

251-F Underhill Avenue • Yorktown Heights, New York 10598

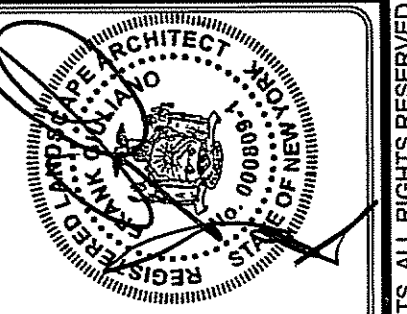
60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386





FRANK GIULIANO — LANDSCAPE ARCHITECT
 8 PINE TREE DRIVE
 KATONAH, NY 10536
 914-954-4110 FGIARCHT@AOL.COM

No.	Date	Comments

SCALE: 1" = 20'
 DRAWN BY: JCR
 DATE: 11/06/17

LANDSCAPE PLAN

Envirogreen Associates Inc.
 1851 EAST MAIN STREET
 Westchester Co., New York

Sheet 5 of 10

PLANT SCHEDULE

KEY	QUAN.	BOTANICAL / COMMON NAME	SIZE
TREES			
AR	19	Acer rubrum "October Glory"	3"-3 1/2" Cal.
BH	2	Betula nigra "Heritage" - Heritage Birch, three stems	12'-14' HT.
JV	15	Juniperus virginiana "Taylor"-certified as "Taylor"	5'-6' HT.
TH	5	Juniperus virginiana "Taylor"-certified as "Taylor"	7'-8' HT.
QC	12	Quercus coccinea - Scarlet Oak	3"-3 1/2" Cal.
SHRUBS AND GROUNDCOVERS:			
ARO	34	Aronia m. "Lowscape Mound" - Native Aronia	5 Gal.
DES	100	Deschampsia cespitosa - Native Tufted Hair Grass	3 Gal.
ILX	41	Ilex glabra "Shamrock" - Shamrock Inkberry	24"-30" HT.
IBB	78	Ilex glabra "Gem Box" - Gem Box Inkberry	18"-24" HT.
JPA	95	Juniperus "Parsonii" - Parsons Juniper	3 Gal.
RUS	47	Rhus a. "Gro-Low" - Gro-Low Sumac	3 Gal.
VIB	28	Viburnum dentatum - Arrowwood Viburnum	30"-36" HT.

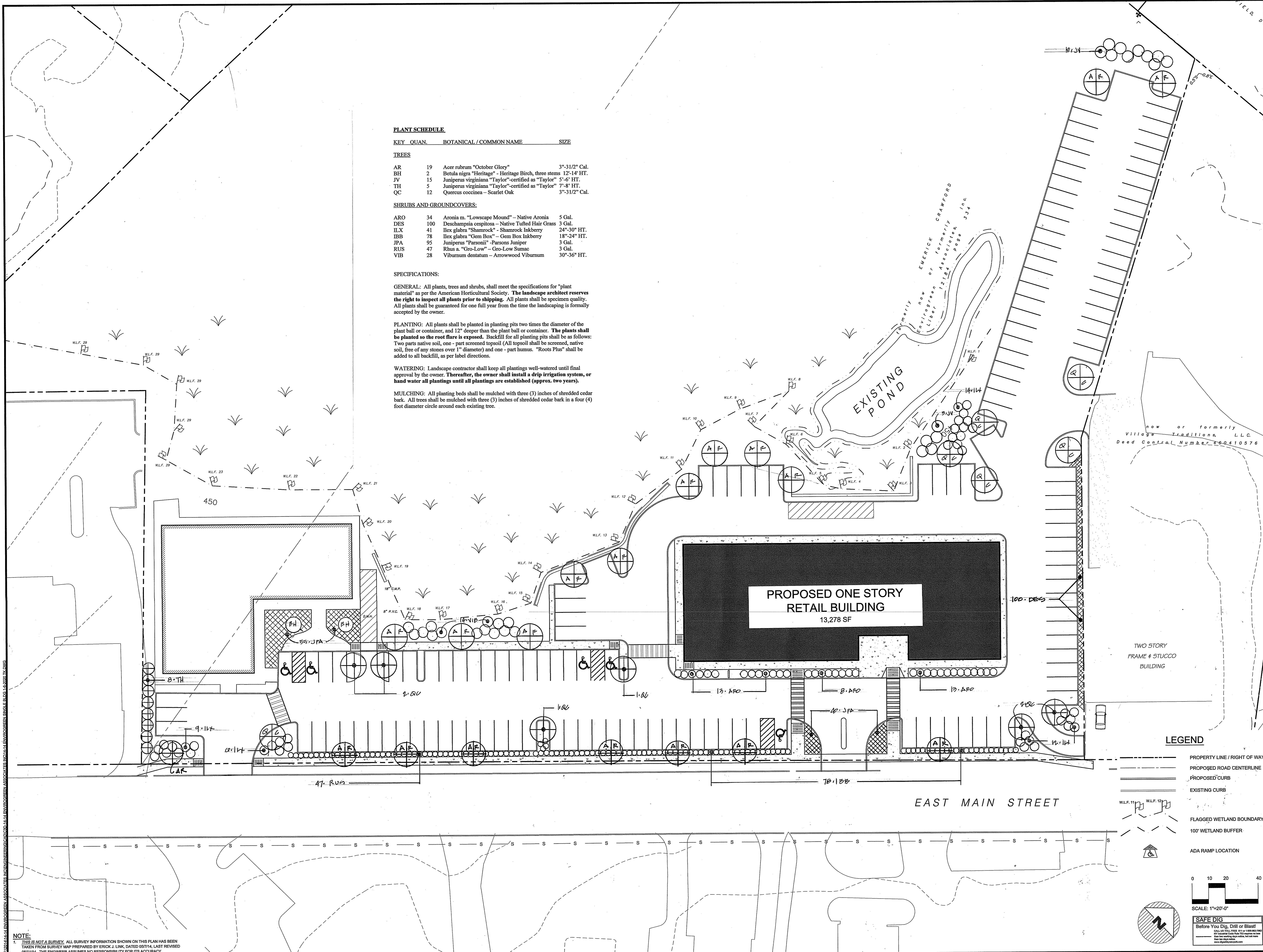
SPECIFICATIONS:

GENERAL: All plants, trees and shrubs, shall meet the specifications for "plant material" as per the American Horticultural Society. The landscape architect reserves the right to inspect all plants prior to shipping. All plants shall be specimen quality. All plants shall be guaranteed for one full year from the time the landscaping is formally accepted by the owner.

PLANTING: All plants shall be planted in planting pits two times the diameter of the plant ball or container, and 12" deeper than the plant ball or container. The plants shall be planted so the root flare is exposed. Backfill for all planting pits shall be as follows: Two parts native soil, one - part screened topsoil (All topsoil shall be screened, native soil, free of any stones over 1" diameter) and one - part humus. "Roots Plus" shall be added to all backfill, as per label directions.

WATERING: Landscape contractor shall keep all plantings well-watered until final approval by the owner. Thereafter, the owner shall install a drip irrigation system, or hand water all plantings until all plantings are established (approx. two years).

MULCHING: All planting beds shall be mulched with three (3) inches of shredded cedar bark. All trees shall be mulched with three (3) inches of shredded cedar bark in a four (4) foot diameter circle around each existing tree.



NOTE: THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY ERIC J. LINK, DATED 05/14, LAST REVISED 06/11/14. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2209 (2) OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2017 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED.
 Envirogreen Associates Inc. 1851 EAST MAIN STREET Westchester Co., New York
 Town of Yorktown

Site Design Consultants

Civil Engineers • Land Planners

March 22, 2021

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

MAR 22 2021

TOWN OF YORKTOWN

Re: Envirogreen Associates, Inc.
1851 East Main Street, Mohegan Lake

Dear Robyn:

As per your request, attached please find three copies of the Mitigation Plan titled "Site Plan prepared for Envirogreen Associates Inc.," dated 11/06/17, Sheet 1.

Thank you.

Yours Truly,

Joseph C. Riina, P.E.



/cm /Enc./ sdc 14-14

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

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(203) 431-9504

Fax (914) 962-7386



Invasive Species Monitoring and Control Program

Japanese barberry, oriental bittersweet, *Phragmites australis* and multiflora rose are all noted as present within and adjacent to the wetlands on the project site. These invasive species favor areas of disturbed soils and edge areas. This plan will implement an invasive species monitoring and manual control program for the duration of construction and development of the project. It has been designed to carry over into the needed maintenance plans that will need to be developed and implemented by the Project Owner.

Those areas of the site that are closest to the existing wetlands and watercourses have been disturbed and re-graded over the years. These are the portions of the site that are known to support invasive species which are altering the character of the wetlands and adjacent areas and represent a long term risk to the native vegetative community. For this project, those areas within 50 feet of the wetland boundary will be assessed and treated per this plan.

By controlling exotic vegetation, and reducing deer populations due to increased human activity on the site, nearby native plants will have less competition and therefore have more resources available for their own growth. An invasive species monitoring and control program will be implemented at the project site as part of the overall development plan. Species targeted for removal include the following:

- Tree-of-heaven (Ailanthus altissima)*
- Multiflora rose (Rosa multiflora)*
- Mugwort (Artemisia vulgaris)*
- Autumn olive (Elaeagnus umbellata)*
- Garlic mustard (Alliaria petiolata)*
- Purple loosestrife (Lythrum salicaria)*
- Common reed (Phragmites australis)*
- Oriental bittersweet (Celastrus orbiculatus)*
- Porcelainberry (Ampelopsis brevipedunculata)*
- Japanese Barberry (Berberis thunbergii)*
- Japanese Stilt Grass (Microstegium vimineum)*
- Winged Euonymus (Euonymus alatus)*

The above listed species and all other invasive non-native plants that are detrimental to the ecology of the project site will be removed during site development to the extent practicable. The goal of this program is to reduce the presence of exotic/invasive species to a threshold of less than ten percent total cover within the areas shown on the Wetland Restoration and Buffer Enhancement Plan (the "Plan"). A qualified biologist/botanist will supervise the removal of invasive species. Invasive species can be removed in several ways, depending on the location and species of the plant:

1. If a shrub is isolated and does not have its root system entwined with other plants, it may be removed mechanically. As much of the root system as possible should be removed to prevent the possibility of the invasive plant sprouting from root pieces left behind.
2. If a shrub is growing amongst other native plants in a way that uprooting it may disturb surrounding native plants warranting preservation, the plant may be most safely and effectively removed by chemical means. To remove by chemical means, the plant shall first be cut back to a few stubs and stumps, about twelve inches from the base. An EPA approved solution of glyphosate (Round-up or equivalent) shall be painted on the ends of the stumps. This technique shall be applied in the early fall months before the onset of plant dormancy. Proper notification must be made prior to the application of all restricted pesticides, and application made by a licensed applicator, if required. During project construction, glyphosate will only be applied by a licensed herbicide applicator, as coordinated with the Environmental Site Monitor. Only hand-cutting and removal will be allowed within the Wetland Controlled Area.
3. Highly invasive groundcovers, such as Japanese honeysuckle, are difficult to eliminate due to their habit of rooting along the stem. Groundcovers of this type will be removed by hand or mechanically. If after the second year of treatment the species persists, it may be sprayed with glyphosate, using a very close and targeted application during the active growing season. If the plant is growing among other herbaceous or shrub material that would be harmed by spraying, the glyphosate shall be applied by brush or mechanical removal should be considered. Repeated treatments may be necessary to remove the plant completely.
4. Highly invasive annuals, such as garlic mustard, are difficult to eliminate due to their growth from seed that is widespread among the soil seed bank where the plants are found. Several methods may be utilized in removing this type of invasive plants. If the species is growing densely without other plants, the area will be sprayed with glyphosate during the active growing season, following the manufacturer's recommendations. Species will also be removed by hand. Both methods should be performed before plants set seed. Both methods shall be performed multiple times over a season and possibly over several seasons to completely eradicate the target species.

Monitoring and Maintenance Schedule

Following development of the site, a maintenance plan will include the regular inspection of undisturbed areas as shown on the Plan, and removal of these species as necessary. This represents the transitional areas that are most susceptible to opportunistic settling of invasive species. It is anticipated that a schedule of inspections three times a year for the first three years following full project build out (early, mid and late growing season) will be adequate for the identification and removal of the invasive species in this area.

The Town Building Inspector and Wetlands Inspector will be consulted prior to the proposed removal of invasive species within the controlled area. In addition, all activities related to invasive species control, monitoring and assessment of achievement of the 10 percent tolerance threshold for coverage by all invasive species on the project site will be coordinated with the Environmental Site Monitor. These inspections will include the mapping and identification of locations and extent of cover of invasive species, and identify the methods to be used for the subsequent removal. Following treatment, a brief report outlining extent, location and removal method for each species shall be prepared and filed with the Town Planning Office.

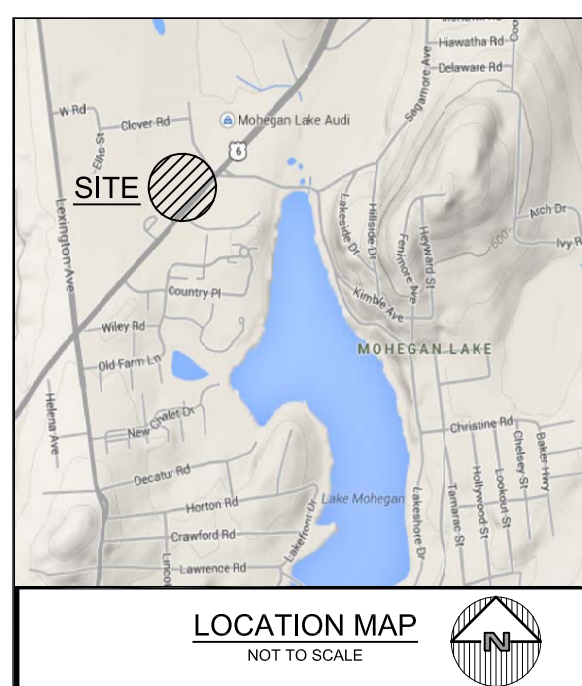
Plant Species Choices for Wetland Buffer Enhancement/Restoration				
Mag Symbol	Quantity*	Scientific Name	Common Name	Size
Trees				
Aru	13	Acer rubrum	Red Maple	5' - 6'
Shrubs				
CSe	44	Cornus sericea	Redtiller dogwood	3' - 4'
AC	6	Amelanchier canadensis	Shadblow	4' - 5'
IV	21	Ilex verticillata	Winterberry holly	3' - 4'
VC	7	Vaccinium corymbosum	Highbush blueberry	4' - 5'
VD	21	Viburnum dentatum	Arowood	4' - 5'
Herbaceous Plants				
CS	100	Carex stricta	Tussock sedge	2" plug
CC	100	Carex crinita	Fringed sedge	2" plug
JE	100	Juncus effusus	Soft rush	2" plug
Seed Mix				
	8 pounds	Riparian Buffer Mix ERNMX-154		
	8 pounds	Or equivalent		

* Plant quantities will be held, but final locations will be determined in the field following removal of invasive and dead plant materials.

Wetland Buffer Enhancement Areas

Following the removal of non-native invasive species as specified in the invasive species eradication plan, wetland and buffer areas will be seeded using the following seed mixes:

Buffer Areas - Riparian Buffer Mix (ERNMX-154 or equivalent) at 20 lbs/acre.

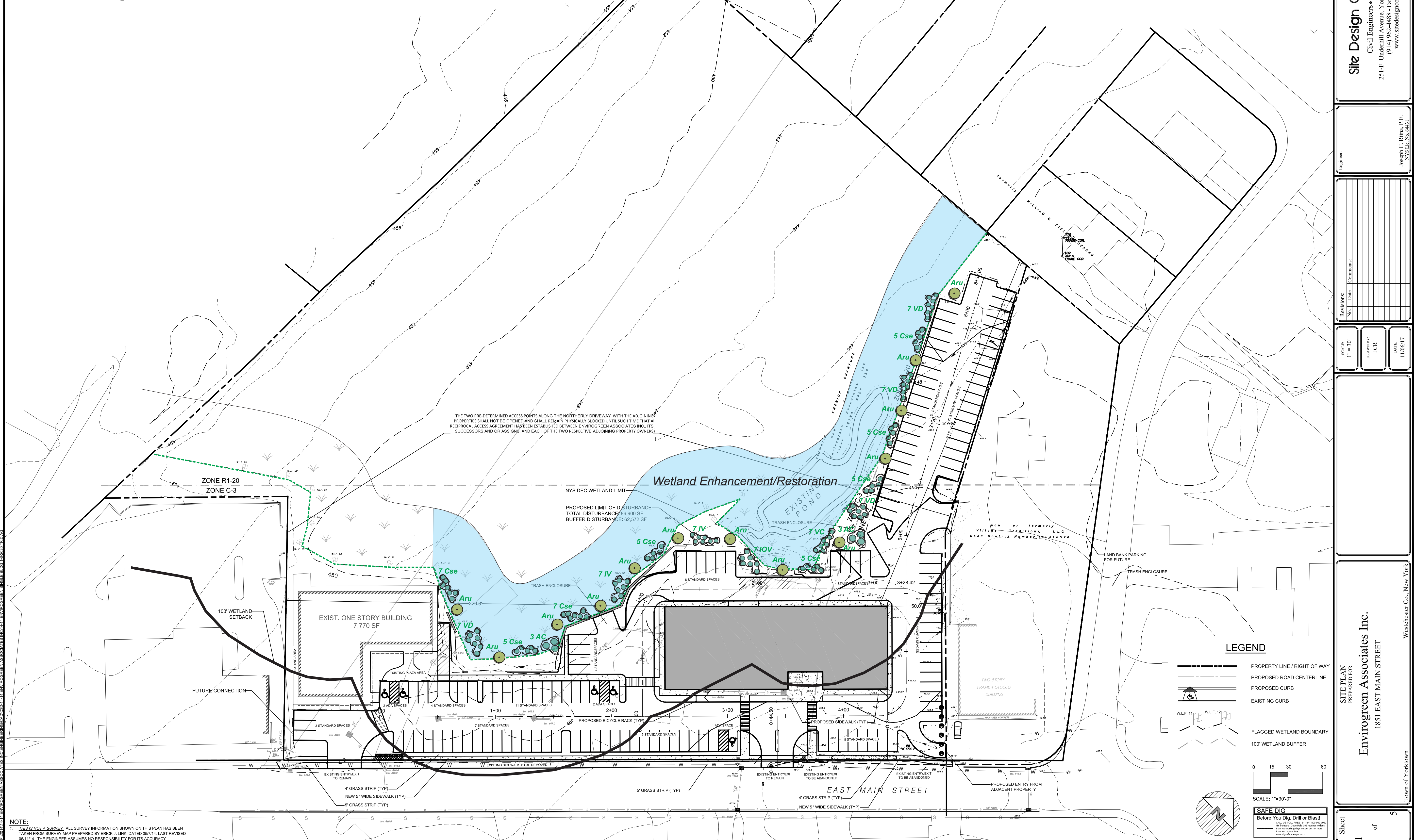


SITE DATA:

OWNER / DEVELOPER: ENVIROGREEN ASSOCIATES INC.
 11 HAGEMAN CT
 KATONAH, N.Y. 10536
 185 EAST MAIN STREET
 MOHESAN LANE, N.Y. 10547
 PROJECT LOCATION:
 EXISTING TOWN ZONING: C-3 LIMITED COMMERCIAL - R1-20 RESIDENTIAL
 PROPOSED USE: RETAIL / COMMERCIAL
 TOWN TAX MAP DATA: SECTION 15.16, BLOCK 1, LOT 30 & LOT 31
 SITE AREA: 8.795 ACRES (383,114.7 SF)
 SEWAGE FACILITIES: PUBLIC SEWERS
 WATER FACILITIES: PUBLIC WATER FACILITIES

WETLAND DISTURBANCE:

WETLAND	EXISTING		PROPOSED		NET INCREASE		PROPOSED MITIGATION CREATED WETLAND
	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	
100' WETLAND ADJACENT AREA	61,570 SF	34,920 SF	73,228 SF	66,818 SF	11,658 SF	30,898 SF	- 541 SF



NOTE: THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY ERICK J. LUK, DATED 05/24, LAST REVISED 06/11/16. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY.
 NOTE: UNAUTHORIZED REVISIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2209(2)(3) OF THE NEW YORK STATE EDUCATION LAW.

Site Design Consultants
 Civil Engineers & Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 Tel: 914.361.1100
 www.sitedesignconsultants.com

PROJECT # 1614

ENVIROGREEN ASSOCIATES INC.
 11 HAGEMAN CT
 KATONAH, NY 10536

DATE: 11/06/17

SCALE: 1" = 30'

REVISIONS:

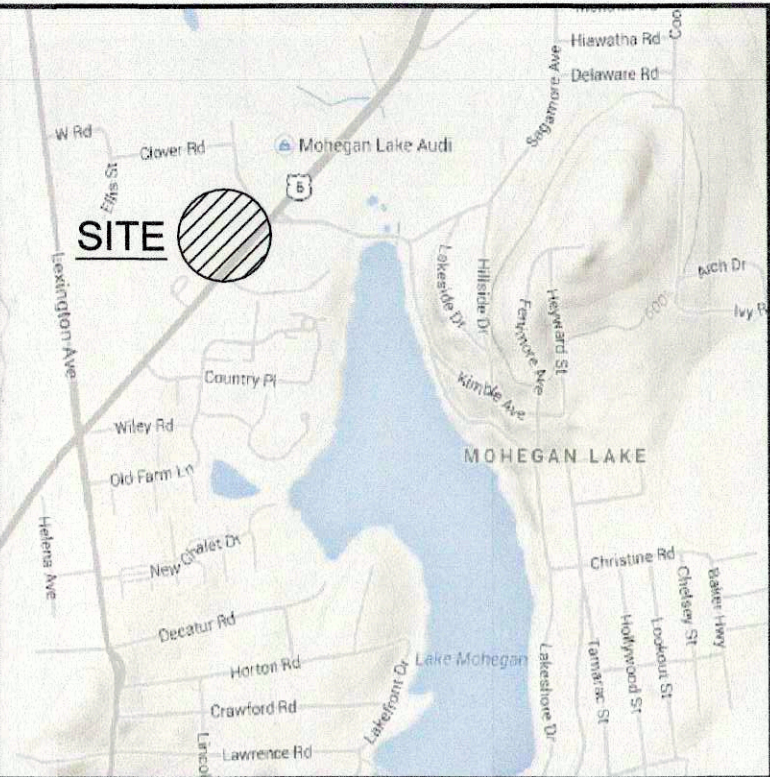
No.	Date	Description
1	11/06/17	ISSUED FOR PERMIT

PREPARED FOR:
Envirogreen Associates Inc.
 1851 EAST MAIN STREET
 Yorktown, NY 10598

Sheet 1 of 5



Wetland Enhancement/Restoration Area
 Envirogreen Associates
 Town of Yorktown, Westchester County
 Source: Site Design Consultants



SITE DATA:

OWNER / DEVELOPER: ENVIROGREEN ASSOCIATES INC.
 11 HAGEMAN CT.
 KATONAH, N.Y. 10536
 PROJECT LOCATION: 1851 EAST MAIN STREET
 MOHEGAN LAKE, N.Y. 10547
 EXISTING TOWN ZONING: C-3 LIMITED COMMERCIAL - R1-20 RESIDENTIAL
 PROPOSED USE: RETAIL / COMMERCIAL
 TOWN TAX MAP DATA: SECTION 15.16, BLOCK 1, LOT 30 & LOT 31
 SITE AREA: 8.795 ACRES (383,114.7 SF)
 SEWAGE FACILITIES: PUBLIC SEWERS
 WATER FACILITIES: PUBLIC WATER FACILITIES

WETLAND DISTURBANCE:

	EXISTING		PROPOSED		NET INCREASE		PROPOSED MITIGATION CREATED WETLAND
	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	
WETLAND	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	- 1bd SF
100' WETLAND ADJACENT AREA	61,570 SF	34,920 SF	73,228 SF	65,815 SF	11,658 SF	30,895 SF	

PARKING SCHEDULE

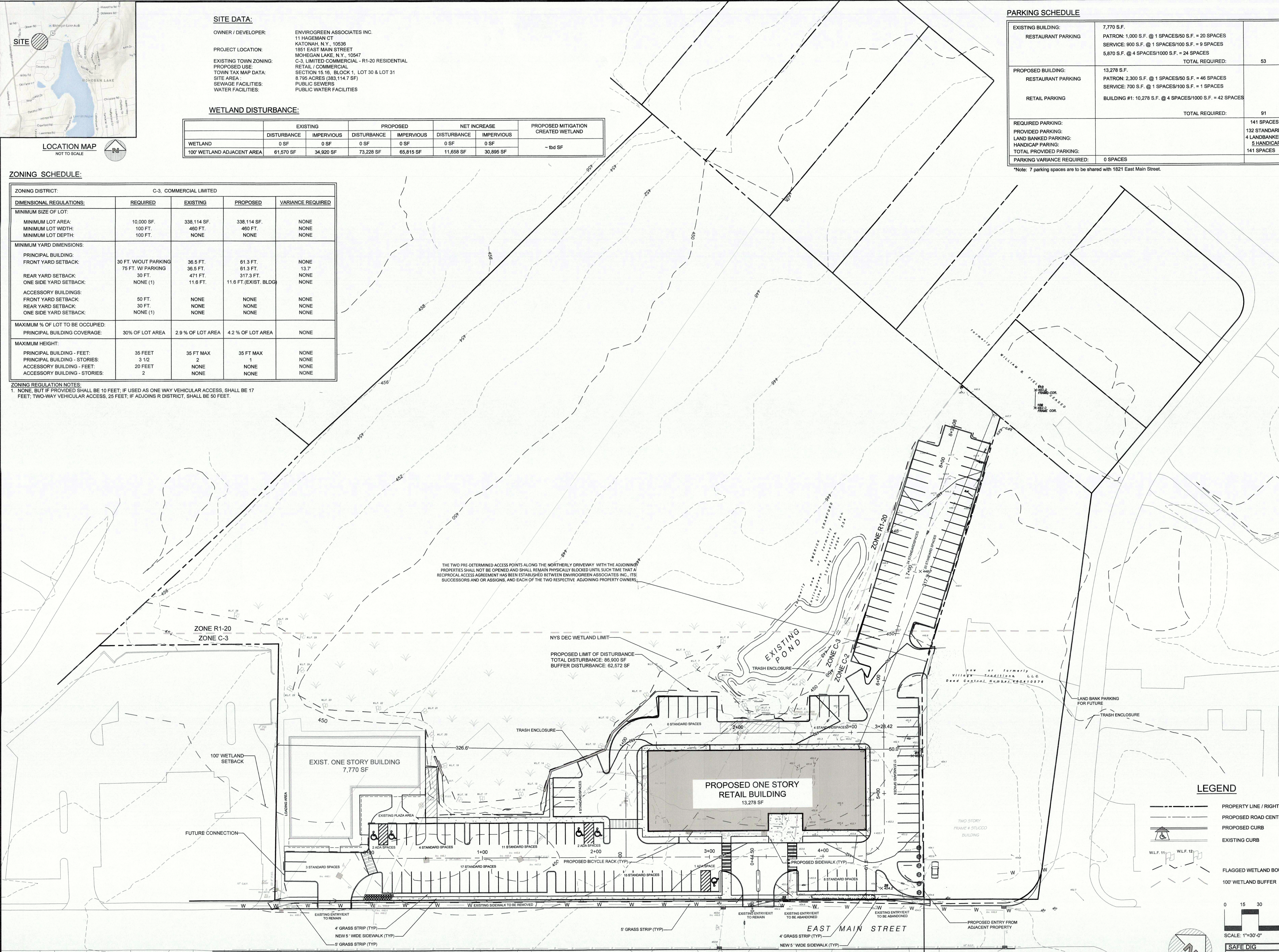
EXISTING BUILDING:	7,770 S.F.	
RESTAURANT PARKING	PATRON: 1,000 S.F. @ 1 SPACES/50 S.F. = 20 SPACES SERVICE: 900 S.F. @ 1 SPACES/100 S.F. = 9 SPACES 5,870 S.F. @ 4 SPACES/1000 S.F. = 24 SPACES	TOTAL REQUIRED: 53
PROPOSED BUILDING:	13,278 S.F.	
RESTAURANT PARKING	PATRON: 2,300 S.F. @ 1 SPACES/50 S.F. = 46 SPACES SERVICE: 700 S.F. @ 1 SPACES/100 S.F. = 7 SPACES	
RETAIL PARKING	BUILDING #1: 10,278 S.F. @ 4 SPACES/1000 S.F. = 42 SPACES	TOTAL REQUIRED: 91
REQUIRED PARKING:		141 SPACES
PROVIDED PARKING:		132 STANDARD 4 LANDBANKED 5 HANDICAP
HANDICAP PARKING:		141 SPACES
TOTAL PROVIDED PARKING:		
PARKING VARIANCE REQUIRED:	0 SPACES	

*Note: 7 parking spaces are to be shared with 1821 East Main Street.

ZONING SCHEDULE:

DIMENSIONAL REGULATIONS:	C-3, COMMERCIAL LIMITED			
	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:				
MINIMUM LOT AREA:	10,000 SF	338,114 SF	338,114 SF	NONE
MINIMUM LOT WIDTH:	100 FT.	460 FT.	460 FT.	NONE
MINIMUM LOT DEPTH:	100 FT.	NONE	NONE	NONE
MINIMUM YARD DIMENSIONS:				
PRINCIPAL BUILDING:	30 FT. W/O/PARKING	36.5 FT.	61.3 FT.	NONE
FRONT YARD SETBACK:	75 FT. W/PARKING	36.5 FT.	61.3 FT.	13.7'
REAR YARD SETBACK:	30 FT.	471 FT.	317.3 FT.	NONE
ONE SIDE YARD SETBACK:	NONE (1)	11.6 FT.	11.6 FT. (EXIST. BLDG)	NONE
ACCESSORY BUILDINGS:				
FRONT YARD SETBACK:	50 FT.	NONE	NONE	NONE
REAR YARD SETBACK:	30 FT.	NONE	NONE	NONE
ONE SIDE YARD SETBACK:	NONE (1)	NONE	NONE	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:				
PRINCIPAL BUILDING COVERAGE:	30% OF LOT AREA	2.9 % OF LOT AREA	4.2 % OF LOT AREA	NONE
MAXIMUM HEIGHT:				
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT MAX	35 FT MAX	NONE
PRINCIPAL BUILDING - STORIES:	3 1/2	2	1	NONE
ACCESSORY BUILDING - FEET:	20 FEET	NONE	NONE	NONE
ACCESSORY BUILDING - STORIES:	2	NONE	NONE	NONE

ZONING REGULATION NOTES:
 1. NONE, BUT IF PROVIDED SHALL BE 10 FEET; IF USED AS ONE WAY VEHICULAR ACCESS, SHALL BE 17 FEET; TWO-WAY VEHICULAR ACCESS, 25 FEET; IF ADJOINS R DISTRICT, SHALL BE 50 FEET.



THE TWO PRE-DETERMINED ACCESS POINTS ALONG THE NORTHERLY DRIVEWAY WITH THE ADJOINING PROPERTIES SHALL NOT BE OPENED AND SHALL REMAIN PHYSICALLY BLOCKED UNTIL SUCH TIME THAT A RECIPROCAL ACCESS AGREEMENT HAS BEEN ESTABLISHED BETWEEN ENVIROGREEN ASSOCIATES INC., ITS SUCCESSORS AND OR ASSIGNS, AND EACH OF THE TWO RESPECTIVE ADJOINING PROPERTY OWNERS.

PROPOSED LIMIT OF DISTURBANCE
 TOTAL DISTURBANCE: 85,900 SF
 BUFFER DISTURBANCE: 62,572 SF

LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EXISTING CURB
- FLAGGED WETLAND BOUNDARY
- 100' WETLAND BUFFER

SCALE: 1"=30'-0"

SAFE DIG
 Before You Dig, Drill or Blast!

NOTE:
 THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY ERICK J. LINK, DATED 05/11/14, LAST REVISED 06/11/14. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

Site Design Consultants
 Civil Engineers • Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 (914) 962-4488 - Fax: (914) 962-7386
 www.sitedesignconsultants.com

Project # 14-14

Engineer: Joseph C. Krima, P.E.
 NYS Lic. No. 14451

SCALE: 1"=30'-0"

DRAWN BY: JCR

DATE: 2/10/21

OVERALL SITE PLAN

Envirogreen Associates Inc.
 1851 EAST MAIN STREET
 Yorktown, New York

Sheet 1 of 2

TB Referral

1496 Old Logging Rd


TOWN OF YORKTOWN PLANNING DEPARTMENT

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

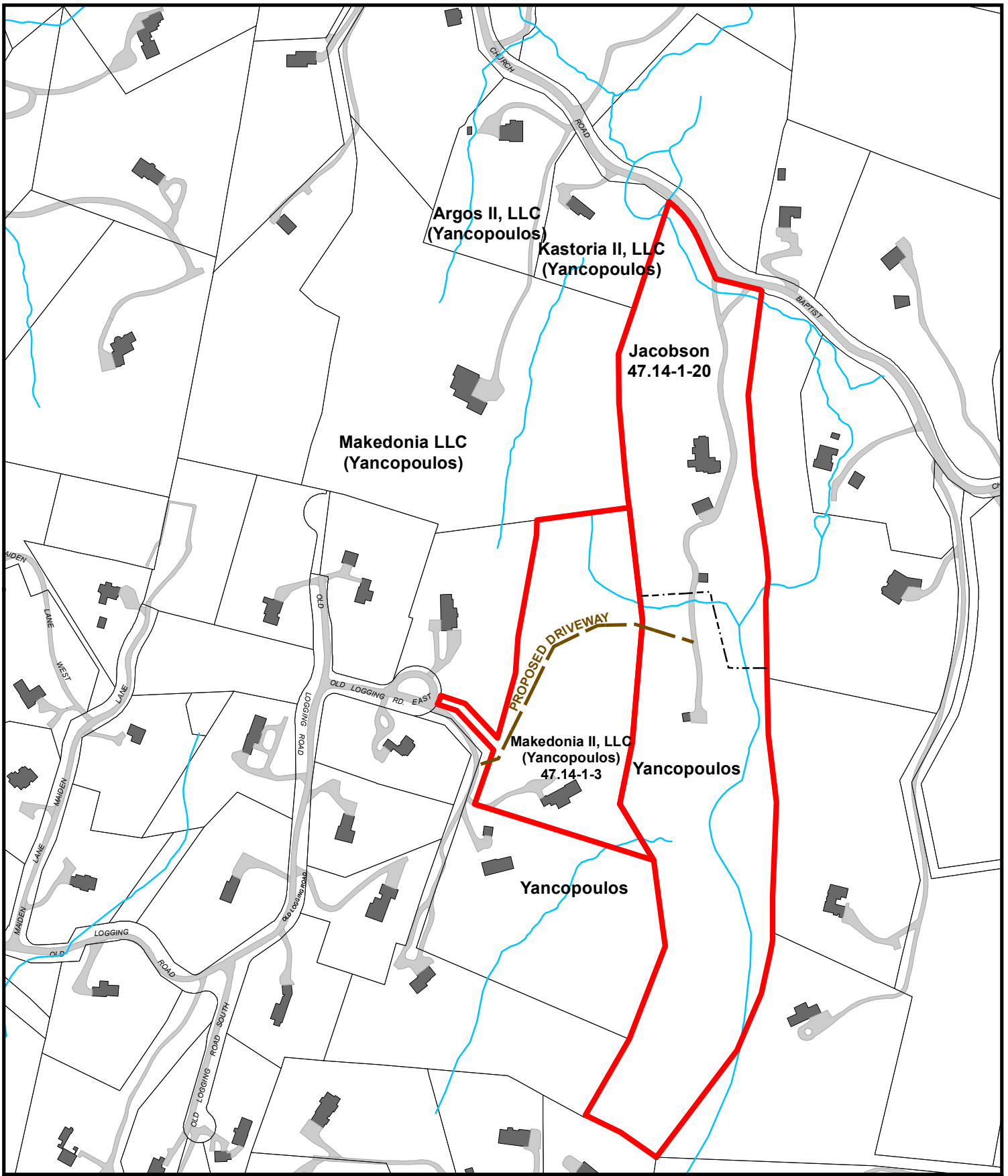
To: Town Board
From: Planning Department
Date: April 5, 2021
Subject: 1496 Old Logging Road - #T/WP/FSWPPP#066-20
Yancopoulos Residence
SBL: 47.14-1-3 & 20.1

The Planning Department has reviewed the subject application and determined a subdivision was required to create the lot the applicant is requesting to access. The Town tax maps do not show this new 10.4 acre lot as a separate lot because it was created by a deed filed between the two adjacent property owners on January 6, 2021. Although a survey obtained by the Town Assessor notes the 10.4 acres will be added to Lot 47.14-1-3, no request has been made for a lot line adjustment. The new lot has an existing frame house structure on it thereby creating a new building lot that did not exist before the transfer of ownership, which requires a subdivision. In addition, the applicant is proposing to construct a 15 foot wide asphalt driveway requiring tree cutting and extensive grading through a wetland buffer to access the existing cottage from Old Logging Road. This seems a significant amount of work to access the existing small frame house without the eventual purpose constructing a new home on this lot.

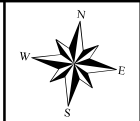
Respectfully submitted,


Robyn A. Steinberg, AICP, CPESC
Town Planner

cc: Town Clerk
Town Assessor



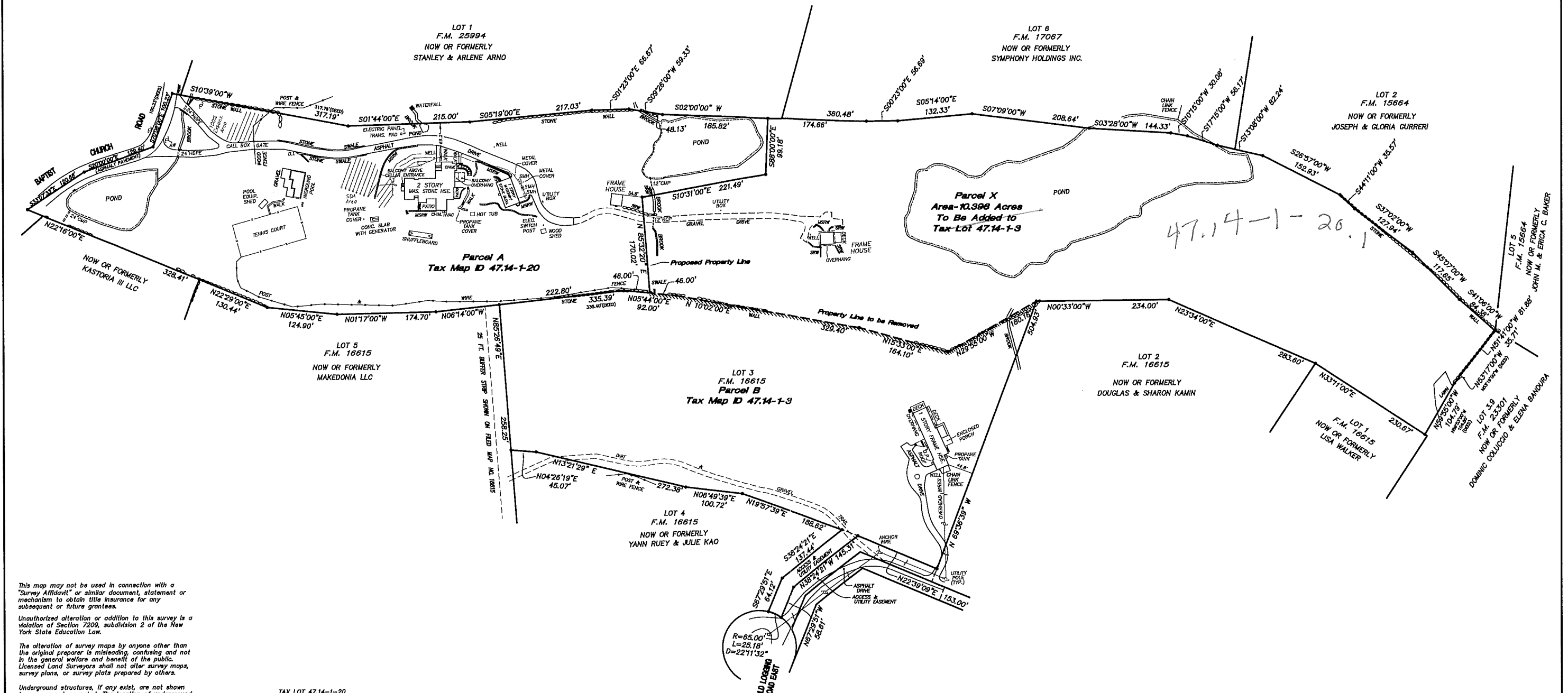
TOWN OF YORKTOWN PLANNING DEPARTMENT
 Albert A. Capellini Community & Cultural Center
 1974 Commerce Street, Yorktown Heights, NY 10598
 (914) 962-6565, www.yorktownny.org/planning



TITLE: 1496 Old Logging Road
 DATE: April 5, 2021

FILE: F:\ArcGIS\PROJECTS\Yancopoulos Properties.mxd
 BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2018.



This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain title insurance for any subsequent or future grantees.

Unauthorized alteration or addition to this survey is a violation of Section 7209, subdivision 2 of the New York State Education Law.

The alteration of survey maps by anyone other than the original preparer is misleading, confusing and not in the general welfare and benefit of the public. Licensed Land Surveyors shall not alter survey maps, survey plans, or survey plats prepared by others.

Underground structures, if any exist, are not shown hereon, except as noted. The location of underground improvements or encroachments are not always known and often must be estimated. If underground improvements, easements, or encroachments exist and are neither visible during normal field survey operations nor described in instruments provided to this surveyor, they may not be shown on this map and are not certified.

This property may be affected by instruments which have not been provided to this surveyor. Users of this map should verify title with their attorney or a qualified title examiner.

Only copies from the original of this survey marked with the surveyor's embossed seal are genuine, true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed seal should be assumed to be an unauthorized copy.

TAX LOT 47.14-1-20
DEED REFERENCE:
 Control No. 993430101
 Recorded: December 16, 1999
 Grantor: Benjamin R. Jacobson & Carlotta Jackson
 Grantee: Benjamin R. Jacobson

TAX LOT 47.14-1-3
DEED REFERENCE:
 Control No. 942383159
 Recorded: September 18, 2014
 Grantor: Salvador & Mary A C Rodriguez
 Grantee: George D. Yancopoulos

FILED MAP REFERENCE:
 Subdivision Map Entitled, "Amended Map of Subdivision No. One of Orstein-Schwenk Property", Filed February 27, 1969 as Map No. 16615

Area Table

Tax Lot No.	Parcel	Existing	Change ±	Proposed
47.14-1-20	A	18.117 Acres	-10.396 Ac.	7.721 Ac.
47.14-1-3	B	6.714 Acres	+10.396 Ac.	17.110 Ac.
	Total	24.831 Ac.		24.831 Ac.

County Sheet No. 225 County Block No. 10124

Survey Map
 Showing Proposed Apportionment of Property
 Prepared for
Benjamin Jacobson
 and
George D. Yancopoulos
 Situate in the
 Town of Yorktown
 Westchester County, New York
 Scale 1" = 80' Date: February 5, 2020



APR 20 2021

TOWN OF YORKTOWN

To: Yorktown Town Board
From: Tree Conservation Advisory Commission (TCAC)
cc: Diana Quast, Town Clerk; Maura Weissleder, Deputy Town Clerk; Nancy Calicchia, Planning Dept.; Kim Hughes, Conservation Board; Louise Kobiliak, Engineering Dept.; TCAC members

Date: April 19, 2021

Re: TCAC comments on referral of 1496 Old Logging Rd. driveway proposal

Dear Supervisor Slater and members of the Town Board:

1. To better evaluate proposed tree removals, the TCAC is requesting a modification of the Tree Removal Protection Plan map to show the outline of the proposed driveway and disturbance limits.

2. In the memo from the Town Engineer included with this referral, the Engineer, in his point no. 2, notes that the house at 1515 Baptist Church Rd. currently has driveway access to Baptist Church Rd. The submitted plans indicate that the house at 1496 Old Logging Rd. currently has driveway access to Old Logging Rd. The Town Engineer also notes (point no. 8) that the proposed driveway crosses lots under separate ownership.

Building the proposed driveway will lead to significant tree removals and disturbance of protected woodlands. Fragmentation of an intact woodland has the potential to degrade wildlife habitat and lead to spreading of invasive plants like Japanese barberry.

Chapter 270 of the Town Code states, "In granting, denying or conditioning any application for a permit required by this chapter, the approval authority shall evaluate the proposed activity, its purpose and available alternatives..." (§270-9.C). The TCAC feels that it is critical that the approval authority resolve the questions raised in the memo from the Town Engineer when considering this application.

3. This application meets Chapter 270's requirement for submission of a mitigation plan per §270-10.B(1) that specifies all non-administrative permits require mitigation. §270-10.D(4) outlines six possible mitigation actions that may be applied "either singly or in combination," including a formula for payment into the Town's Tree Bank Fund in lieu of replacing lost protected trees or disturbance to a protected woodland.

Sincerely,

Bill Kellner, Chair, Tree Conservation Advisory Commission
Lawrence W. Klein, PE, Member
Keith Schepart, ISA, Member
Tom Schmitt, Member

TOWN OF YORKTOWN
ENGINEERING DEPARTMENT

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Town Board

From: Michael Quinn, P.E. 

Date: January 15, 2021

Re: Proposed Construction for a New Access Driveway, Yancopoulos Residence
1496 Old Logging Road, Permit #FSWPPP-T-066-20

We have received your Engineering permit application for construction of a new driveway that will provide access to a single-family residence. The proposed work will require the following permits:

- Wetlands
- MS4 Stormwater Management
- Tree Removal

The following documents were reviewed: Site Plans prepared by Site Design Consultants, dated 11/6/20, 9 sheets.

Be advised a complete application and all supporting documentation must be provided prior to the Engineering Department review. The following must be provided:

1. Provide an up-to-date site survey/plot plan prepared by a licensed land surveyor with all building structures, topographic contours, site utilities and any easements/deed restrictions.
2. There is an existing single-family residence on the lot that has driveway access from 1515 Baptist Church Road, what is the reason for a new access drive? Will the old access driveway be removed?
3. Town records indicate this residence is served by an existing subsurface sewage disposal system (septic system). Must be shown on the engineering plans with the required reserve field. Note: these areas cannot be disturbed by the new access drive or any of the construction activities.
4. The proposed activity will disturb an area greater than 1 acre, therefore a stormwater pollution prevention plan (swppp) must be prepared and submitted for approval.
5. The work includes construction of new retaining walls; the Building Department should be consulted to determine if a building permit will be needed for this proposed activity.

6. Provide a construction detail & cross section for the new driveway. Will there be curbs on both sides?
7. We note that Town Board approval is required for driveway slopes that exceed 10 percent. Does the Applicant wish to obtain Town Board approval at this time?
8. The proposed driveway will be crossing a separately owned tax lot, i.e. 1492 Old Logging Road. Please explain if there is common ownership, written agreement of some type or a private access easement that will be put in place.
9. A significant number of trees will be removed as part of this development site, must provide a tree removal plan that identifies the type, size and location of trees with size of woodland disturbance. Tree mitigation will be required as per Town Code Section 270 Trees.
10. Please confirm the amount of cut and fill required for this project. Will the excess material be removed from the site or placed elsewhere?
11. The project includes construction of catch basins along the driveway that are conveyed to a pocket pond and infiltration basin. Applicant will need to sign a Stormwater Maintenance Agreement with the Town so we can ensure this infrastructure is maintained in the future. The SWPPP report referenced in Item #4 should include a post-construction inspection & maintenance table as per NYSDEC requirements.
12. Applicant will be required to obtain a driveway/curb cut permit from the Highway Department.

Please contact this office if you have any questions regarding the above items. You may also wish to schedule a meeting with this office so that we can review the revised documents and give further guidance if needed.

TOWN OF YORKTOWN TOWN BOARD

Resolved, the Town Clerk is authorized to refer out to appropriate agencies for their review and/or recommendation a Wetlands/Stormwater/Tree Permit Application submitted by George D. Yancopoulos for the purpose of accessing a new driveway for property from adjacent property located at 1496 Old Logging Road East (S/B/L 47.14-1-3&20).

Further Resolved, the Town Board declares its intent to act as Lead Agency. We are transmitting the following referral for your review and recommendation and ask that you respond back to the Town Clerk by Friday, April 16, 2021.

TO:

- | | |
|--|---|
| <input checked="" type="checkbox"/> File | <input checked="" type="checkbox"/> Westchester County |
| <input checked="" type="checkbox"/> Town Clerk | <input checked="" type="checkbox"/> Planning Department / Board |
| <input type="checkbox"/> ABACA | <input type="checkbox"/> Dept. of Public Works |
| <input checked="" type="checkbox"/> Building Inspector | <input type="checkbox"/> Dept. of Health |
| <input type="checkbox"/> Community Housing Board | <input type="checkbox"/> Parks & Recreation |
| <input checked="" type="checkbox"/> Conservation Board | <input type="checkbox"/> Environmental Facilities |
| <input checked="" type="checkbox"/> Fire: | <input type="checkbox"/> Soil & Water |
| <input type="checkbox"/> Lake Mohegan | New York State |
| <input checked="" type="checkbox"/> Yorktown | <input type="checkbox"/> DEC Albany |
| <input checked="" type="checkbox"/> Highway Dept. | <input checked="" type="checkbox"/> DEC New Paltz (Region III) |
| <input type="checkbox"/> Open Space Committee | <input type="checkbox"/> DOT |
| <input checked="" type="checkbox"/> Planning Dept. / Board (6) | <input type="checkbox"/> Parks & Recreation |
| <input checked="" type="checkbox"/> Police Dept. | <input checked="" type="checkbox"/> NYC DEP |
| <input type="checkbox"/> Public Safety Committee | <input checked="" type="checkbox"/> Army Corp. of Engineers |
| <input type="checkbox"/> Recreation Commission | Bordering Municipality |
| <input type="checkbox"/> School District: | <input type="checkbox"/> Town of Cortlandt |
| <input type="checkbox"/> Yorktown | <input type="checkbox"/> Town of Ossining |
| <input type="checkbox"/> Lakeland | <input type="checkbox"/> Town of Somers |
| <input checked="" type="checkbox"/> Town Attorney | <input type="checkbox"/> Town of Putnam Valley |
| <input checked="" type="checkbox"/> Town Board | <input type="checkbox"/> Homeowner Association, Mohegan Lake |
| <input checked="" type="checkbox"/> Town Engineer | <input type="checkbox"/> Yorktown Chamber of Commerce |
| <input checked="" type="checkbox"/> Water Department | <input checked="" type="checkbox"/> Other – Tree Conservation Advisory Com. |
| <input type="checkbox"/> Wetlands Inspector | |
| <input type="checkbox"/> Yorktown Land Trust | |

FROM: DIANA L. QUAST, YORKTOWN TOWN CLERK, CERTIFIED MUNICIPAL CLERK

SUBJECT: **We are transmitting the following: Application for a Wetlands/Stormwater/Tree Permit for property located at 1496 Old Logging Road East (S/B/L 47.14-1-3&20) in the Town of Yorktown**

DATE: March 11, 2021

- | | |
|--|---|
| <input checked="" type="checkbox"/> Application/Petition | <input type="checkbox"/> Report |
| <input checked="" type="checkbox"/> Drawings | <input checked="" type="checkbox"/> Wetlands Permit Application |
| <input checked="" type="checkbox"/> EAF | <input type="checkbox"/> SEQRA Scope |
| <input type="checkbox"/> EAF Addendum | <input type="checkbox"/> Other – Proposed Local Law |

FOR YOUR: Information Review Comment

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 47.14
Block 1
Lot # 3 & 20

Approval Authority: TE [] PB [] TB []
Application #: T/WP/FSWPPP#066-20
Date Received: 12.29.20
Date Issued: _____
Date Expires: _____
Fee Paid: \$ 3300 -

Job Site Address: 1496 Old Logging Road East

City/State/Zip: Yorktown Heights, NY 10598

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:

YOUR NAME: George D. Yancopoulos
COMPANY: _____
ADDRESS: 1496 Old Logging Road East
Yorktown Heights, NY ZIP 10598
PHONE: (914) 962-4900 x 322
EMAIL: bobmongno@aol.com

OWNER:

YOUR NAME: George D. Yancopoulos
COMPANY: _____
ADDRESS: 1496 Old Logging Road East
Yorktown Heights, NY ZIP 10598
PHONE: (914) 962-4900 x 322
EMAIL: bobmongno@aol.com

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input checked="" type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input checked="" type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input checked="" type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order as per Town Code.

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

- | | | | |
|-----------------------|--------------------------|------------------------------------|-------------------------------------|
| a. Lake/pond | <input type="checkbox"/> | Control area of lake/pond | <input type="checkbox"/> |
| b. Stream/River/Brook | <input type="checkbox"/> | Control area of stream/river/brook | <input type="checkbox"/> |
| c. Wetlands | <input type="checkbox"/> | Control area of wetlands | <input checked="" type="checkbox"/> |

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

A new driveway is proposed to access the residence on lot 3 via access on the adjoining lot 20. An area of 0.814 acres is local wetlands buffer.

2b. Stormwater/Excavation - Description of proposed activity:

The Applicant is proposing to access a new driveway from the adjacent property known as 47.14-1-20. The property owner owns both lots 3 and 20. Stormwater management and details will be established.

3. Tree Removal:

Amount of trees and/or stumps to be removed: TBD

Sizes; approximate DBH: _____

Species of trees to be removed (i.e. Birch, Spruce - if known): _____

Reason for removal: _____

Trees marked in field (trees must be marked prior to inspection): Yes: No:

Tree removal contractor: _____

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, George D. Yancopoulos hereby authorize Joseph C. Riina, P.E. to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: 

Date: 12/23/2020

No application will be processed without the above-mentioned, required information.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
George D. Yancopoulos			
Name of Action or Project: George D. Yancopoulos			
Project Location (describe, and attach a location map): 1496 Old Logging Road East, Yorktown aka SBL 47.14-1-3			
Brief Description of Proposed Action: The Applicant is proposing to access a new driveway from the adjacent property known as 47.14-1-20. The property owner owns both lots 3 and 20. Stormwater management and details will be established.			
Name of Applicant or Sponsor: Joseph C. Riina, P.E., Site Design Consultants		Telephone: 914-962-4488	
		E-Mail: jriina@sitedesignconsultants.com	
Address: 251-F Underhill Avenue			
City/PO: Yorktown Heights		State: NY	Zip Code: 10598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Yorktown MS4; Town Board		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		6.715 acres	
b. Total acreage to be physically disturbed?		1.252 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		25.20 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="checked" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: N/A	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ N/A	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ N/A	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="checked" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ <u>Local wetlands - wetland area 0.814 acres</u>	NO	YES	
	<input type="checkbox"/>	<input checked="checked" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="checked" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="checked" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="checked" type="checkbox"/> YES <u>Stormwater management will be maintained on-site.</u>	NO	YES	
	<input checked="checked" type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Joseph C. Riina</u> Date: _____		
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT



LOCATION MAP
NOT TO SCALE

SITE DATA:

OWNER / DEVELOPER: YANCOPOULOS - BOB MONGNO
1496 OLD LOGGING ROAD EAST
YORKTOWN, NY, 10598

PROJECT LOCATION: 1496 OLD LOGGING ROAD EAST
YORKTOWN, NY, 10598

EXISTING TOWN ZONING: R1-160, SINGLE FAMILY RESIDENTIAL

PROPOSED USE: R1-160, SINGLE FAMILY RESIDENTIAL

TOWN TAX MAP DATA: SECTION 47.14, BLOCK 1, LOT 3

SITE AREA : 6.71 ACRES (292,489 SF)

CUT FILL ANALYSIS	
CUT VOLUME	3,153.69 CUBIC YD
FILL VOLUME	3,730.80 CUBIC YD
NET VOLUME	577.10 CUB. YD (FILL)

PROPOSED MICRO POOL
BOTTOM ELEVATION = 370'

PROPOSED POCKET WETLAND
BOTTOM OF LOW MARSH = 372.5'
BOTTOM OF HIGH MARSH = 373.5'
TOP OF BERM = 376'

PROPOSED FOREBAY
BOTTOM ELEVATION = 370'

PROPOSED HDPE END SECTION W/ RIP RAP DISSIPATER
INV = 376'

PROPERTY LINE

T.W.: 378.37'
B.W.: 373.17'

T.W.: 375.91'
B.W.: 369.22'

PROPOSED POCKET POND
BOTTOM OF LOW MARSH = 347.5'
BOTTOM OF HIGH MARSH = 351.5'
TOP OF BERM = 354'

PROPOSED 12" Ø HDPE PIPE
L = 37', S = 14.6%

T.W.: 360.90'
B.W.: 356.90'

NOTE: WETLANDS BOUNDARY DELINEATED BY STEVE MARINO OF TIM MILLER ASSOCIATES AUGUST 2020

Flagged Wetlands Boundary

Post & Wire Fence

FRAME HOUSE

POND

LIMIT OF DISTURBANCE
AREA = 1.25 ACRES
AREA WITHIN WETLAND BUFFER = 0.519 ACRES

100' WETLAND BUFFER

PULL OFF AREA

PROPERTY LINE

NOW OR FORMERLY
MAKEDONIA LLC
LOT 3, F.M. 16615

NOW OR FORMERLY
BENJAMIN JACOBSON

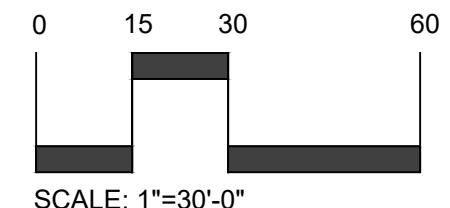
PROPOSED GRADING

PROPOSED 6" ASPHALT CURB

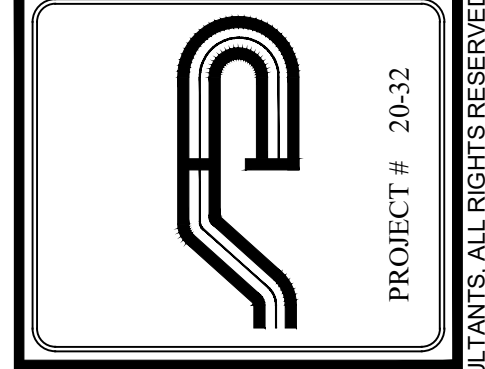
PROPOSED 15' WIDE ASPHALT DRIVEWAY

LEGEND

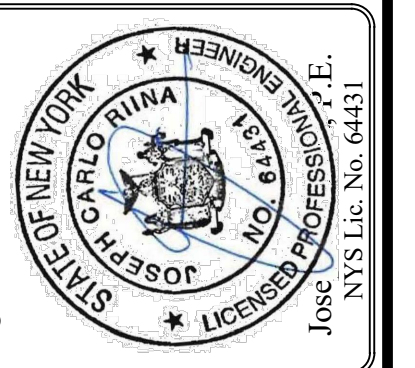
- 222 --- EXISTING GRADING
- X 222.8 EXISTING SPOT GRADE
- 200 --- PROPOSED GRADING
- - - - - PROPERTY LINE / RIGHT OF WAY
- --- PROPOSED ROAD CENTERLINE
- --- PROPOSED CURB
- - - - - EDGE OF WETLAND
- - - - - 100' WETLAND BUFFER
- - - - - EXISTING STONE WALL
- - - - - PROPOSED DRAINAGE LINE
- --- PROPOSED CATCH BASIN
- --- PROPOSED DRAINAGE MANHOLE
- --- PROPOSED OUTLET STRUCTURE
- --- PROPOSED HEADWALL WITH RIP RAP
- --- PROPOSED UTILITY CROSSING
- --- PROPOSED RETAINING WALLS
- --- PROPOSED STONE OR OTHER WALL
- --- PROPOSED SOIL STOCKPILES
- --- PROPOSED SILT FENCE
- --- PROPOSED CRUSHED STONE INLET PROTECTION
- --- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- --- PROPOSED LIMIT OF DISTURBANCE
- --- PROPOSED EROSION BLANKET / PERMANENT SEED



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Revisions:	No.	Date	Comments

SCALE: 1" = 30'	DRAWN BY: KM	DATE: 11/06/20
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PROPOSED DRIVEWAY IMPROVEMENT PLAN

DRIVEWAY SITE PLAN
PREPARED FOR
YANCOPOULOS
1496 OLD LOGGING ROAD EAST
Town of Yorktown
Westchester County, NY

E:\2020\2020\32_YANCOPOULOS - BOB MONGNO - OLD LOGGING ROAD\DWG\2020-32_YANCOPOULOS SITE PLAN.TL; 11.5.20.DWG, 11/6/2017, 3:18:52 PM



ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN
MAP PREPARED BY JEFFREY B. DeROSA, DATED 08/26/20. THE
S NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

PROJECT # 20-32

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NOTE: WETLANDS BOUNDARY DELINEATED BY STEVE MARINO OF TIM MILLER ASSOCIATES AUGUST 2020

PROPERTY LINE

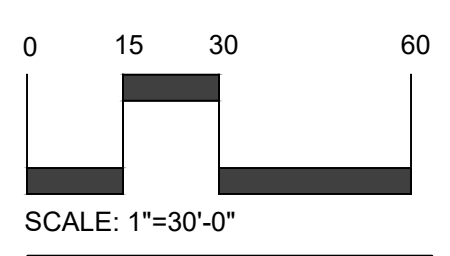
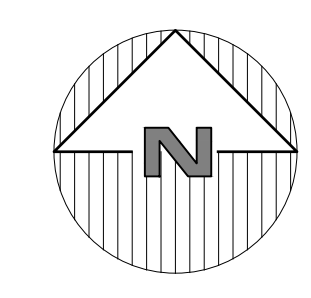
PROPERTY LINE

NOW OR FORMERLY
MAKEDONIA LLC
LOT 3, F.M. 16615

NOW OR FORMERLY
BENJAMIN JACOBSON

LEGEND

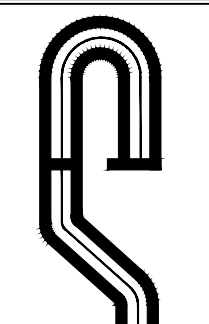
- - - 222 EXISTING GRADING
- x 222.8 EXISTING SPOT GRADE
- 200 PROPOSED GRADING
- - - - - PROPERTY LINE / RIGHT OF WAY
- — — — — PROPOSED ROAD CENTERLINE
- — — — — PROPOSED CURB
- - - - - EDGE OF WETLAND



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NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JEFFREY B. DeROSA, DATED 08/20/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

19/2020/03/23 YANCOPOULOS - BOB MORGANO - OLD LOGGING ROAD ENGINEERING CAD/CIS/20/23 ROBERT MORGANO - OLD LOGGING ROAD DWG/03/23 YANCOPOULOS SITE PLAN A.I.T. 11.5.20 DWG. 11/06/20 2:18:52 PM



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Engineer: Joseph P. Marino, NYS Lic. No. 64431

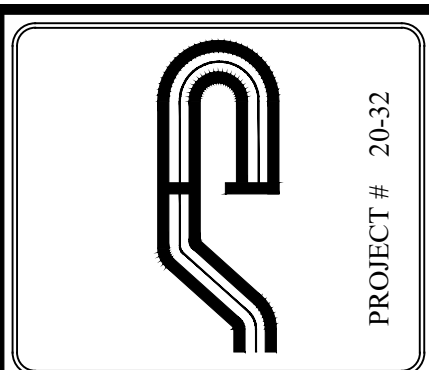
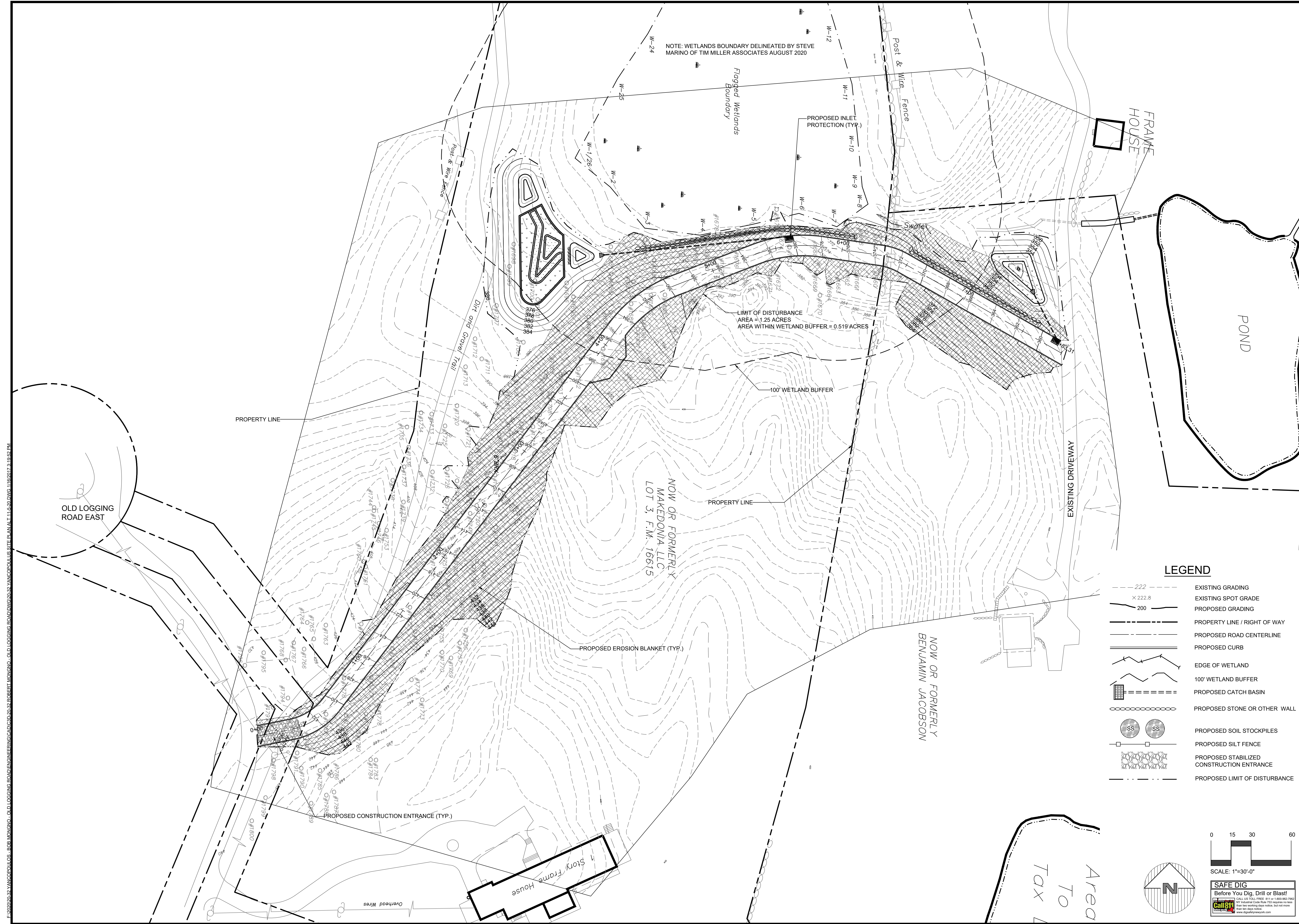
Revisions:	No.	Date	Comments:

SCALE: 1" = 30'	DRAWN BY: KM	DATE: 11/06/20
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EXISTING CONDITIONS

DRIVEWAY SITE PLAN
PREPARED FOR
YANCOPOULOS
1496 OLD LOGGING ROAD EAST
Town of Yorktown
Westchester County, NY

Sheet 2	of 6
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Revisions:	No.	Date	Comments

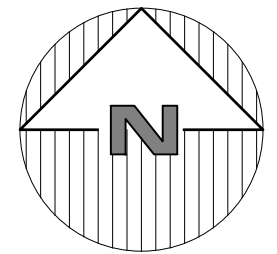
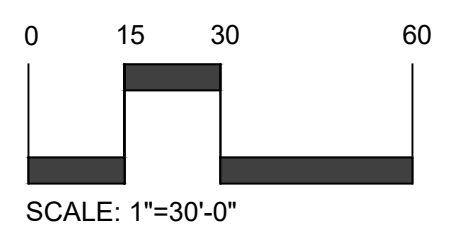
SCALE: 1" = 30'
 DRAWN BY: KM
 DATE: 11/06/20

EROSION & SEDIMENT CONTROL

DRIVEWAY SITE PLAN
 PREPARED FOR
YANCOPOULOS
 1496 OLD LOGGING ROAD EAST
 Town of Yorktown
 Westchester County, NY

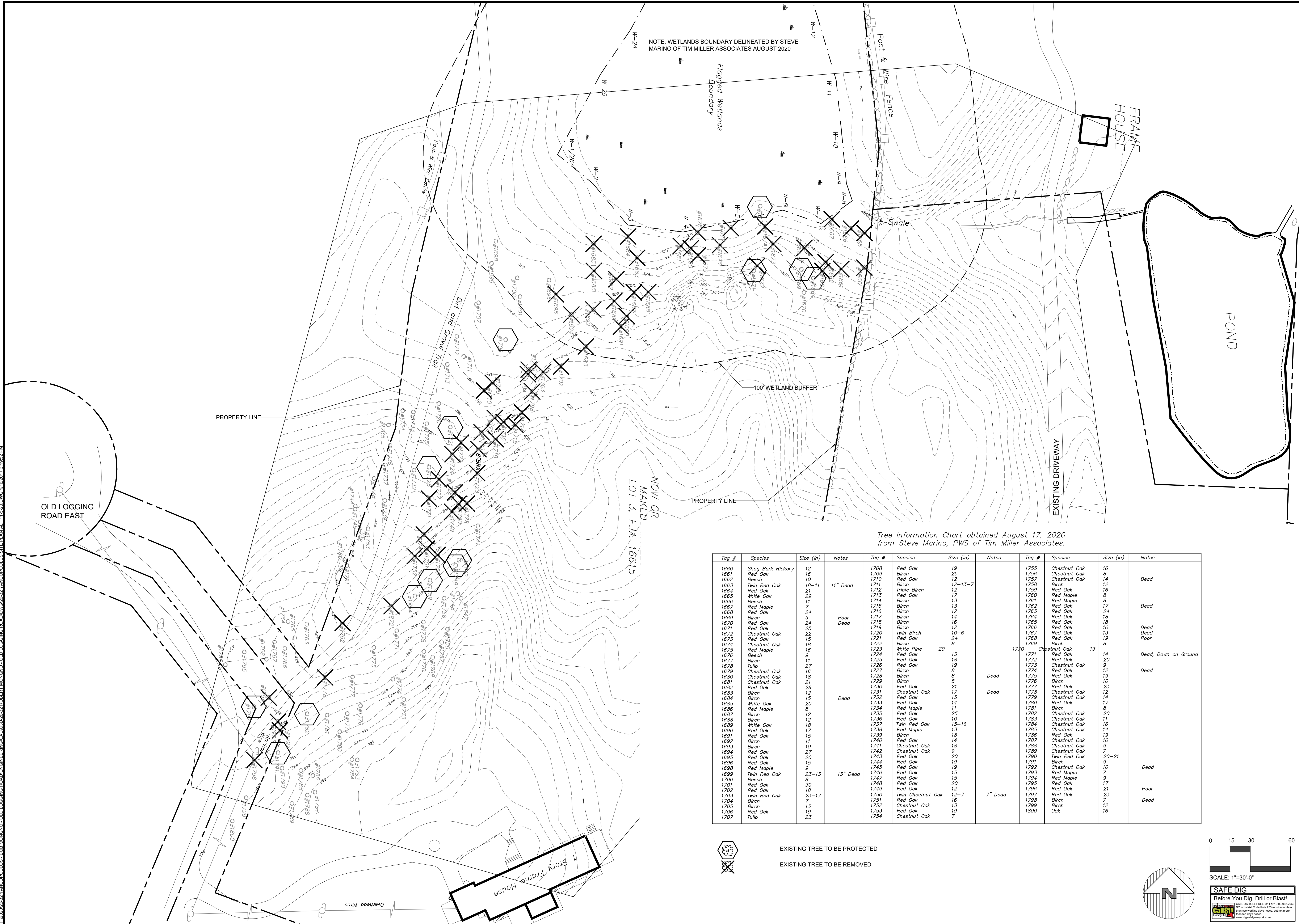
Sheet 3 of 9

- LEGEND**
- 222 --- EXISTING GRADING
 - × 222.8 --- EXISTING SPOT GRADE
 - 200 --- PROPOSED GRADING
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 - — — — — PROPOSED LIMIT OF DISTURBANCE



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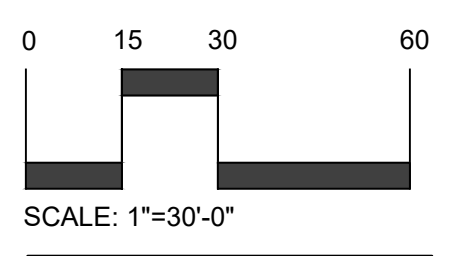


NOTE: WETLANDS BOUNDARY DELINEATED BY STEVE MARINO OF TIM MILLER ASSOCIATES AUGUST 2020

Tree Information Chart obtained August 17, 2020 from Steve Marino, PWS of Tim Miller Associates.

Tag #	Species	Size (in)	Notes	Tag #	Species	Size (in)	Notes	Tag #	Species	Size (in)	Notes
1660	Shag Bark Hickory	12		1708	Red Oak	19		1755	Chestnut Oak	16	
1661	Red Oak	16		1709	Birch	25		1756	Chestnut Oak	8	
1662	Beech	10		1710	Red Oak	12		1757	Chestnut Oak	14	Dead
1663	Twin Red Oak	18-11	11" Dead	1711	Birch	15-13-7		1758	Birch	12	
1664	Red Oak	21		1712	Triple Birch	12		1759	Red Oak	16	
1665	White Oak	29		1713	Red Oak	17		1760	Red Maple	8	
1666	Beech	11		1714	Birch	13		1761	Red Maple	8	
1667	Red Maple	7		1715	Birch	13		1762	Red Oak	17	Dead
1668	Red Oak	24		1716	Birch	12		1763	Red Oak	24	
1669	Birch	9	Poor	1717	Birch	14		1764	Red Oak	18	
1670	Red Oak	24	Dead	1718	Birch	16		1765	Red Oak	18	
1671	Red Oak	25		1719	Birch	12		1766	Red Oak	10	Dead
1672	Chestnut Oak	22		1720	Twin Birch	10-6		1767	Red Oak	13	Dead
1673	Red Oak	15		1721	Red Oak	24		1768	Red Oak	19	Poor
1674	Chestnut Oak	18		1722	Birch	8		1769	Birch	8	
1675	Red Maple	16		1723	White Pine	29		1770	Chestnut Oak	13	
1676	Beech	9		1724	Red Oak	13		1771	Red Oak	14	Dead, Down on Ground
1677	Birch	11		1725	Red Oak	17		1772	Red Oak	20	
1678	Tulip	27		1726	Red Oak	19		1773	Chestnut Oak	9	
1679	Chestnut Oak	16		1727	Birch	8		1774	Red Oak	12	Dead
1680	Chestnut Oak	18		1728	Birch	8	Dead	1775	Red Oak	19	
1681	Chestnut Oak	21		1729	Birch	8		1776	Birch	10	
1682	Red Oak	26		1730	Red Oak	21		1777	Red Oak	23	
1683	Birch	12		1731	Chestnut Oak	17	Dead	1778	Chestnut Oak	12	
1684	Birch	15		1732	Red Oak	15		1779	Chestnut Oak	14	
1685	White Oak	20	Dead	1733	Red Oak	14		1780	Red Oak	17	
1686	Red Maple	8		1734	Red Maple	11		1781	Birch	8	
1687	Birch	12		1735	Red Oak	25		1782	Chestnut Oak	20	
1688	Birch	12		1736	Red Oak	10		1783	Chestnut Oak	11	
1689	White Oak	18		1737	Twin Red Oak	15-16		1784	Chestnut Oak	16	
1690	Red Oak	17		1738	Red Maple	13		1785	Chestnut Oak	14	
1691	Red Oak	15		1739	Birch	18		1786	Red Oak	19	
1692	Birch	11		1740	Red Oak	14		1787	Chestnut Oak	10	
1693	Birch	10		1741	Chestnut Oak	18		1788	Chestnut Oak	9	
1694	Red Oak	27		1742	Chestnut Oak	9		1789	Chestnut Oak	7	
1695	Red Oak	20		1743	Red Oak	20		1790	Twin Red Oak	20-21	
1696	Red Oak	15		1744	Red Oak	19		1791	Red Oak	9	
1698	Red Maple	9		1745	Red Oak	19		1792	Chestnut Oak	10	Dead
1699	Twin Red Oak	23-13	13" Dead	1746	Red Oak	15		1793	Red Maple	7	
1700	Beech	8		1747	Red Oak	15		1794	Red Maple	9	
1701	Red Oak	30		1748	Red Oak	20		1795	Red Oak	17	
1702	Red Oak	18		1749	Red Oak	12		1796	Red Oak	21	Poor
1703	Twin Red Oak	23-17		1750	Chestnut Oak	12-7	7" Dead	1797	Red Oak	23	
1704	Birch	7		1751	Red Oak	16		1798	Birch	7	Dead
1705	Birch	13		1752	Chestnut Oak	13		1799	Birch	12	
1706	Red Oak	19		1753	Red Oak	19		1800	Oak	16	
1707	Tulip	23		1754	Chestnut Oak	7					

- EXISTING TREE TO BE PROTECTED
- EXISTING TREE TO BE REMOVED



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Engineer:

Jose P. Marino, P.E.
NYS Lic. No. 64431

Revisions:	Comments:
No.	Date

SCALE: 1" = 30'
DRAWN BY: KM
DATE: 11/06/20

TREE
REMOVAL -
PROTECTION
PLAN

DRIVEWAY SITE PLAN
PREPARED FOR
YANCOPOULOS
1496 OLD LOGGING ROAD EAST
Westchester County, NY

Town of Yorktown

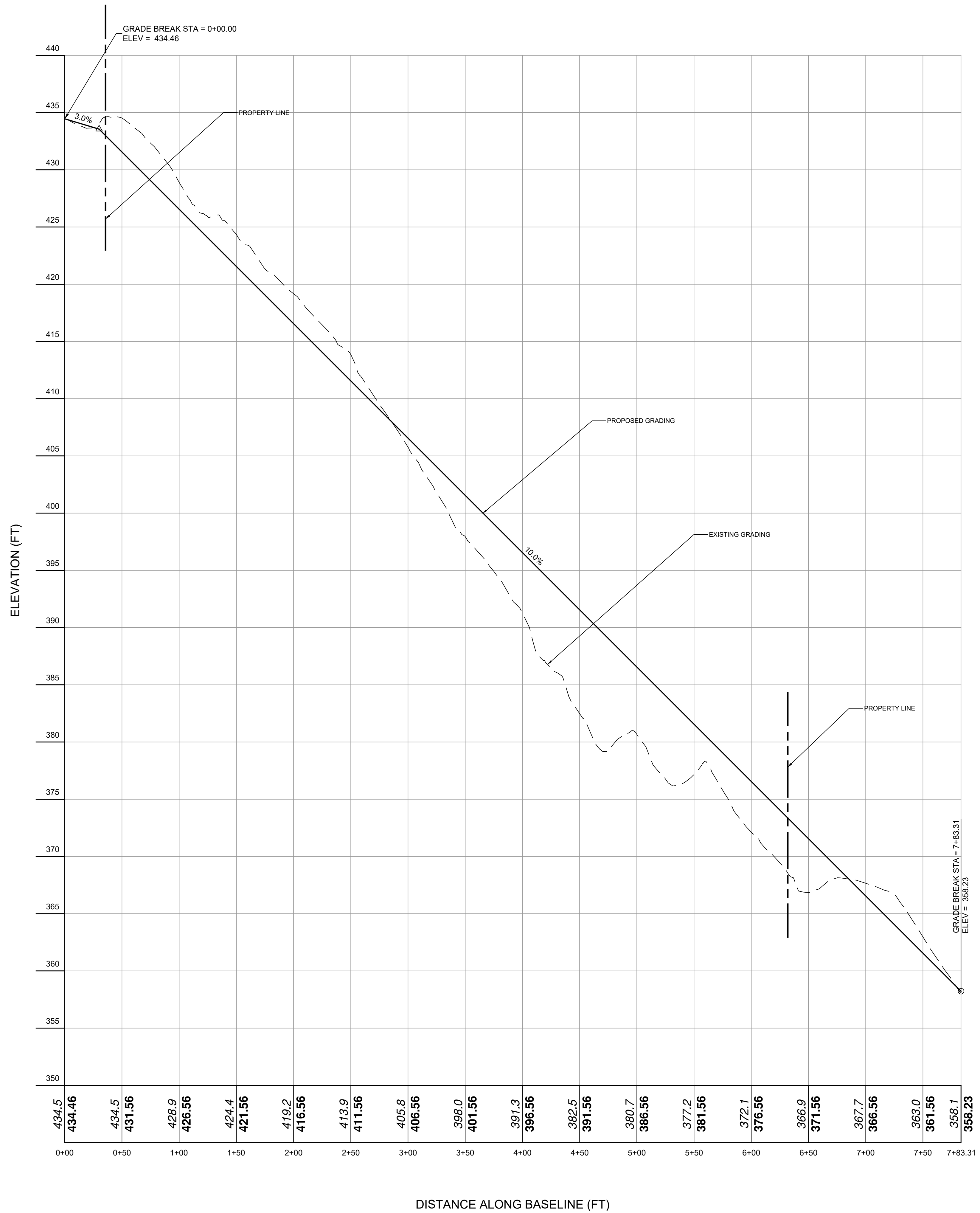
Sheet 4 of 9

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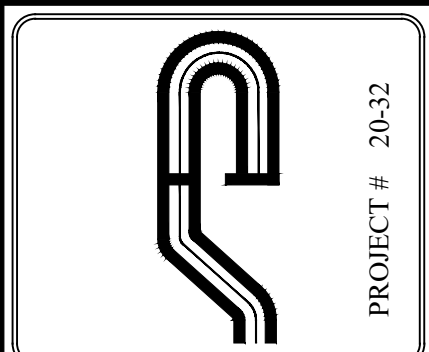


DISTANCE ALONG BASELINE (FT)

PROPOSED DRIVEWAY
 VERT. SCALE: 1" = 3
 HORIZ. SCALE: 1" = 30

NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JEFFREY B. DeROSA, DATED 08/26/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

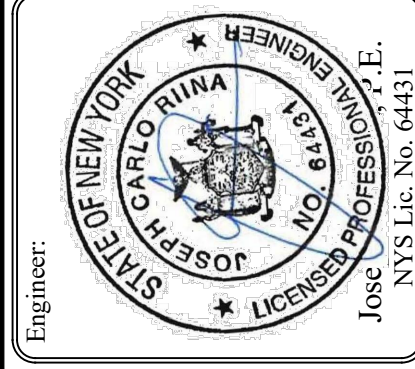
NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



PROJECT # 20-32

Site Design Consultants

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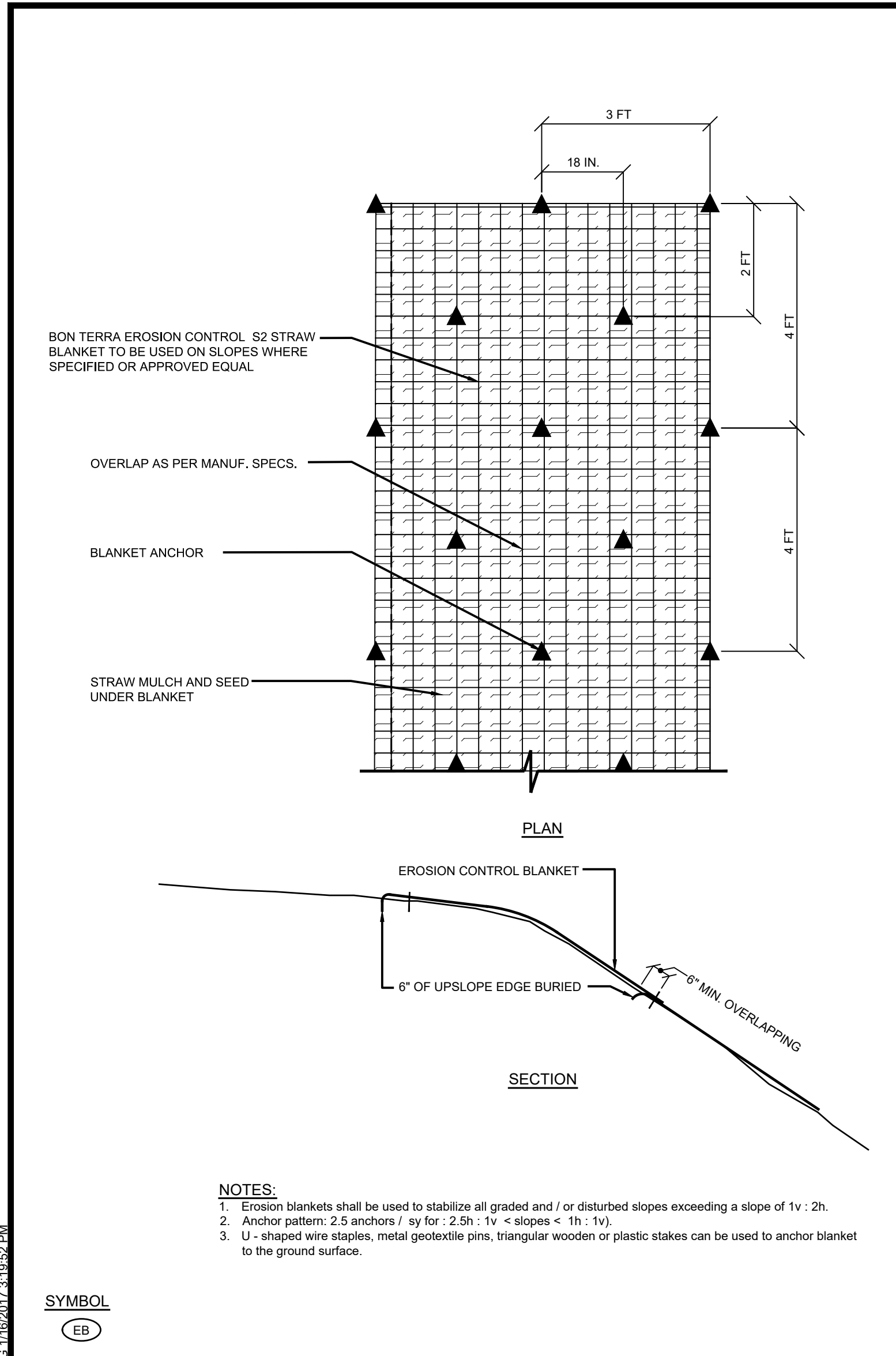


Revisions:	No.	Date	Comments:

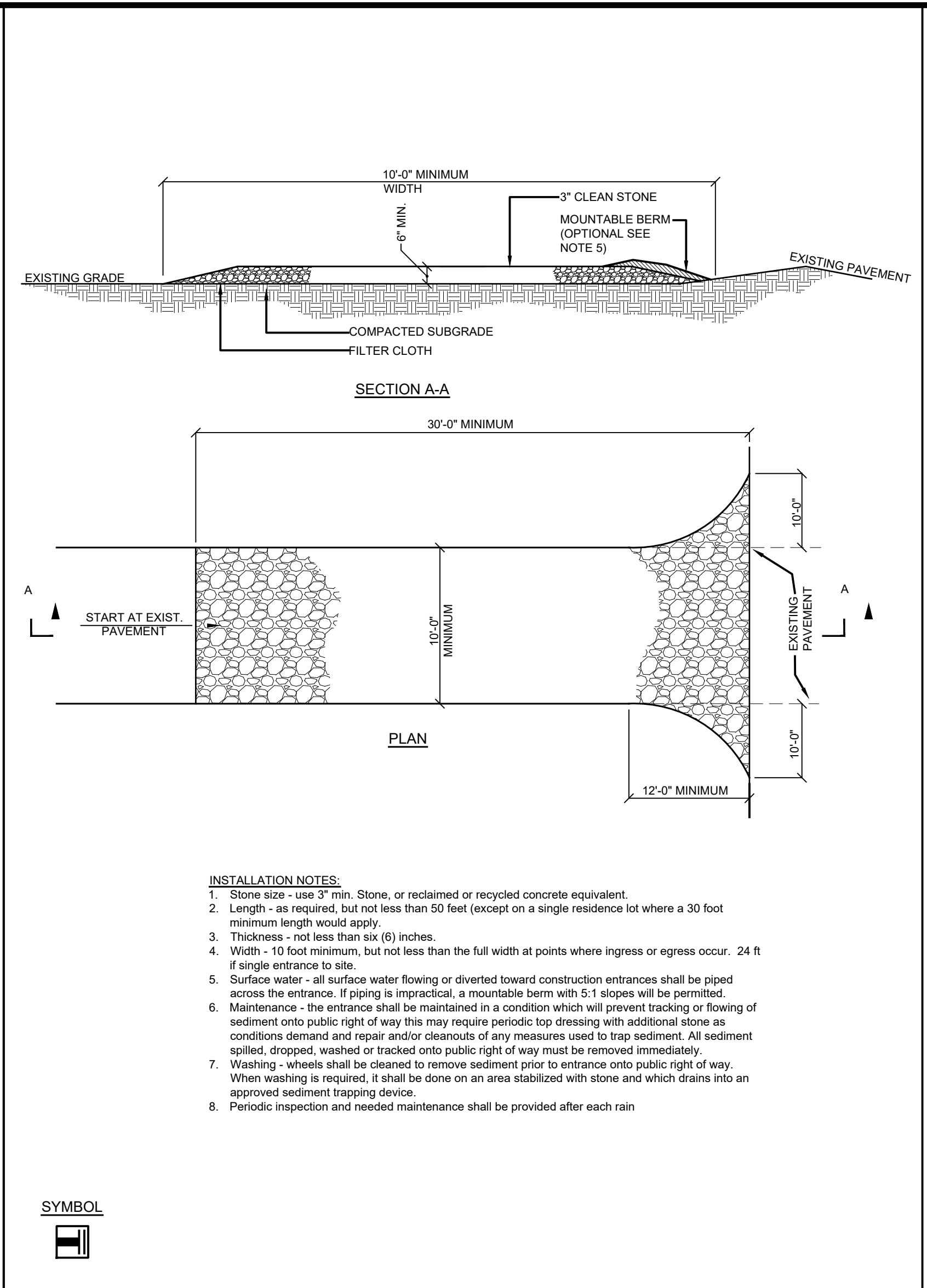
SCALE: AS NOTED	DRAWN BY: KM	DATE: 11/06/20
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PROFILE

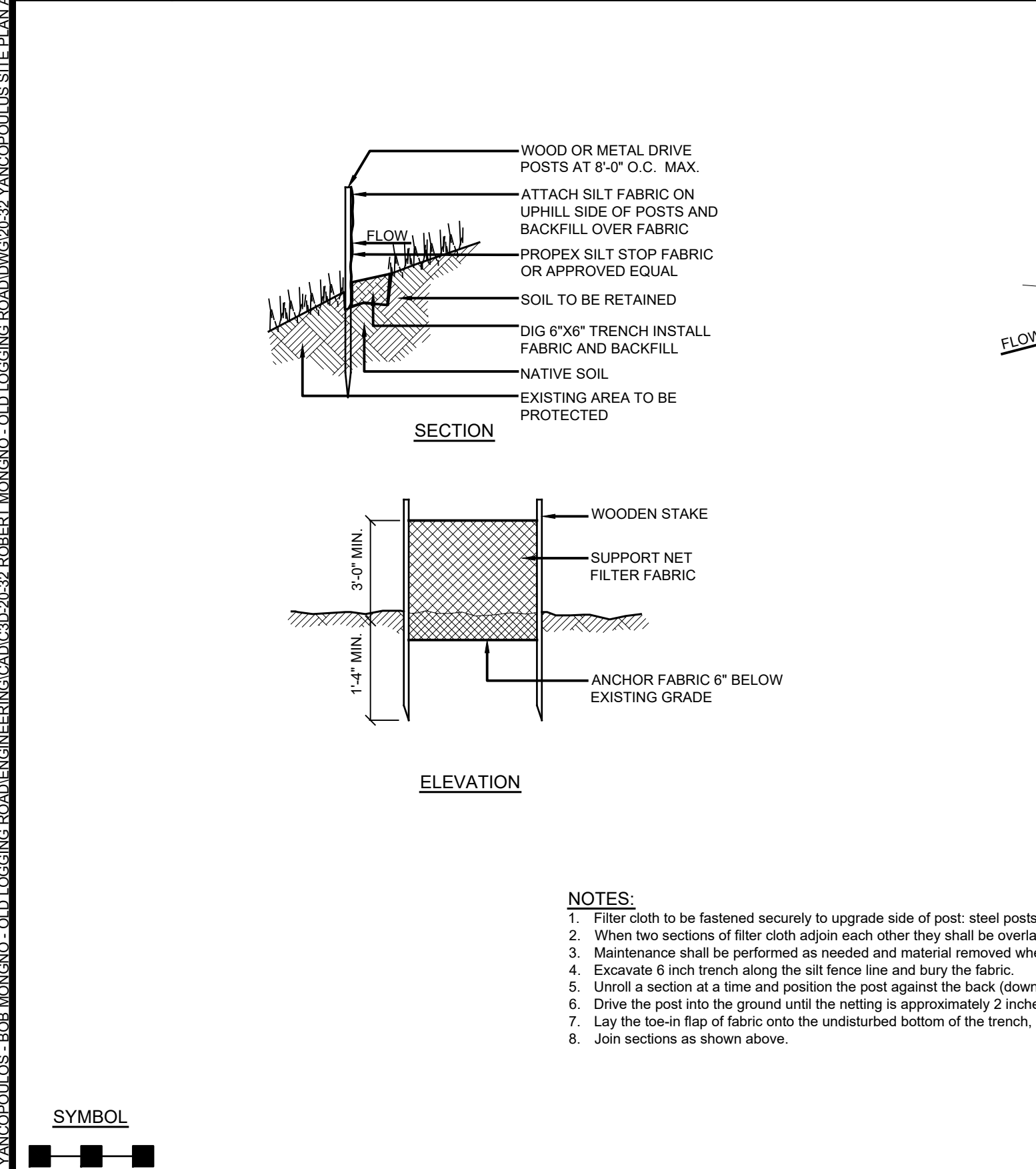
DRIVEWAY SITE PLAN
 PREPARED FOR
YANCOPOULOS
 1496 OLD LOGGING ROAD EAST
 Westchester County, NY
 Town of Yorktown



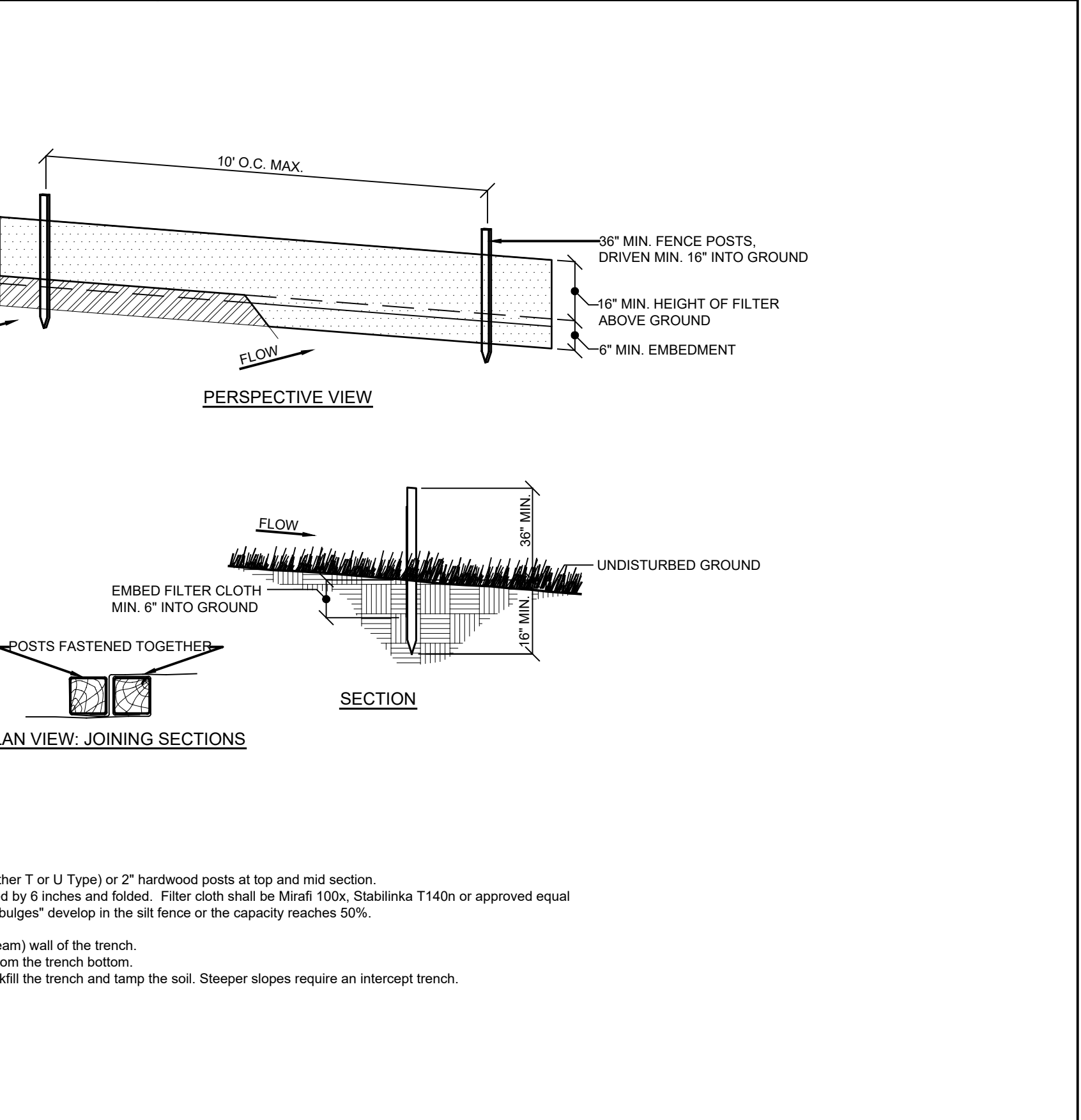
E-1 **EROSION BLANKET AND ANCHOR DETAIL**
NOT TO SCALE



E-2 **STABILIZED CONSTRUCTION ENTRANCE DETAIL**
NOT TO SCALE



E-3 **SILT FENCE DETAIL**
NOT TO SCALE



E-4 **SOIL STOCKPILE DETAIL**
NOT TO SCALE

GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas and basin have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place one half the volume of seed mix prior to laying net, and place the remaining seed after laying the stabilized blanket.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per NYSDEC GP-0-20-001 and Town of Yorktown Code Chapter 248

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- N.Y.S.D.E.C. GP-0-10-001 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.
- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
 - Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
 - Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
 - Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or the sediment pond. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
 - For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
 - All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
 - All sites shall be stabilized with erosion control materials within 7 days of final grading.
 - Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	---	INSP.	---	CLEAN/REPLACE	REMOVE
WHEEL CLEANER	CLEAN	---	---	---	REPLACE	REMOVE
INLET PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to pH 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE		LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS	20
	CREeping RED FESCUE	28
	RYE GRASS OR REDTOP	5
ALT. B	CREeping RED FESCUE	20
	REDTOP	2
	TALL FESCUE/SMOOTH BLOOMGRASS	20

SEEDING

- Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
- Apply soil amendments and integrate into soil.
- Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
- Stabilize seeded areas in drainage swales.
- Irrigate to fully saturate soil layer, but not to dislodge planting soil.
- Seed between April 1st and May 15th or August 15th and October 15th.
- Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

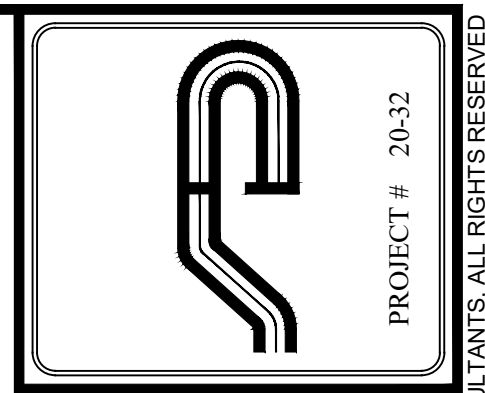
- Install erosion control measures.
- Scarify areas of compacted soil.
- Fertilize with 10-10-10 at 400/acre.
- Lime as required to pH 6.5.

SEED SPECIES:

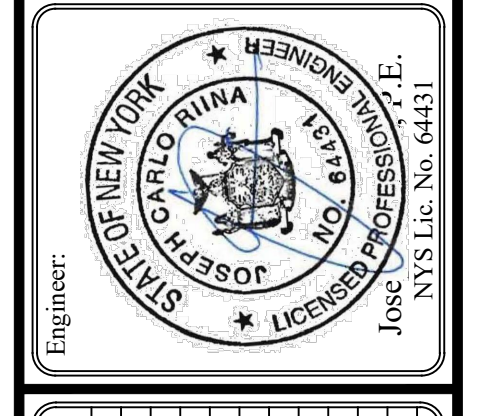
MIXTURE	LBS./ACRE
Rapidly germinating annual ryegrass	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:

Same as permanent vegetative cover



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Revisions:	No.	Date	Comments:

SCALE: _____
DRAWN BY: KM
DATE: 11/06/20

**E&S
DETAILS**

DRIVEWAY SITE PLAN
PREPARED FOR
YANCOPOULOS
1496 OLD LOGGING ROAD EAST
Westchester County, NY
Town of Yorktown

E:\2020\2023\YANCOPOULOS - BOB MONAGNO - OLD LOGGING ROAD\ENGINEERING\CADD\2023\ROBERT MONAGNO - OLD LOGGING ROAD\DWG\30332.YANCOPOULOS SITE PLAN ALT. 11.5.20.DWG. 11/06/2023 3:49:47 PM

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GENERAL NOTES:

1. The Engineer whose seal appears hereon has not been retained for supervision of construction, subsequently, he is not responsible for construction and therefore assumes no responsibility for construction practices, procedures, and results therefrom.
2. The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
3. The Town Engineer's office is to be notified 24 hours before commencing site construction.
4. All work is to be completed in accordance with the Town's Code of Practice and Specifications.
5. All conditions, locations, and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
6. All changes made to the plans shall be approved by the Engineer and any such changes shall be filed as amendments to the original Building Permit.
7. All written dimensions on the drawings shall take precedence over any scaled dimensions.
8. It is the Contractor's responsibility to call in a "CODE 53" at least 2 days but no more than 10 days prior to construction for underground utility locations.
9. Substructures and their encroachments below grade, if any, are not shown.
10. Contractor to verify all substructures encountered during construction.
11. Any proposed electric and/or telephone service lines are to be placed underground.
12. The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
13. The Contractor shall be responsible to the Owner for the acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any of the work under a contract with the Contractor.
14. The Design Engineer disclaims any liability for damage or loss incurred during or after construction.
15. *The contractor shall be responsible for obtaining all necessary permits for any blasting if required.*

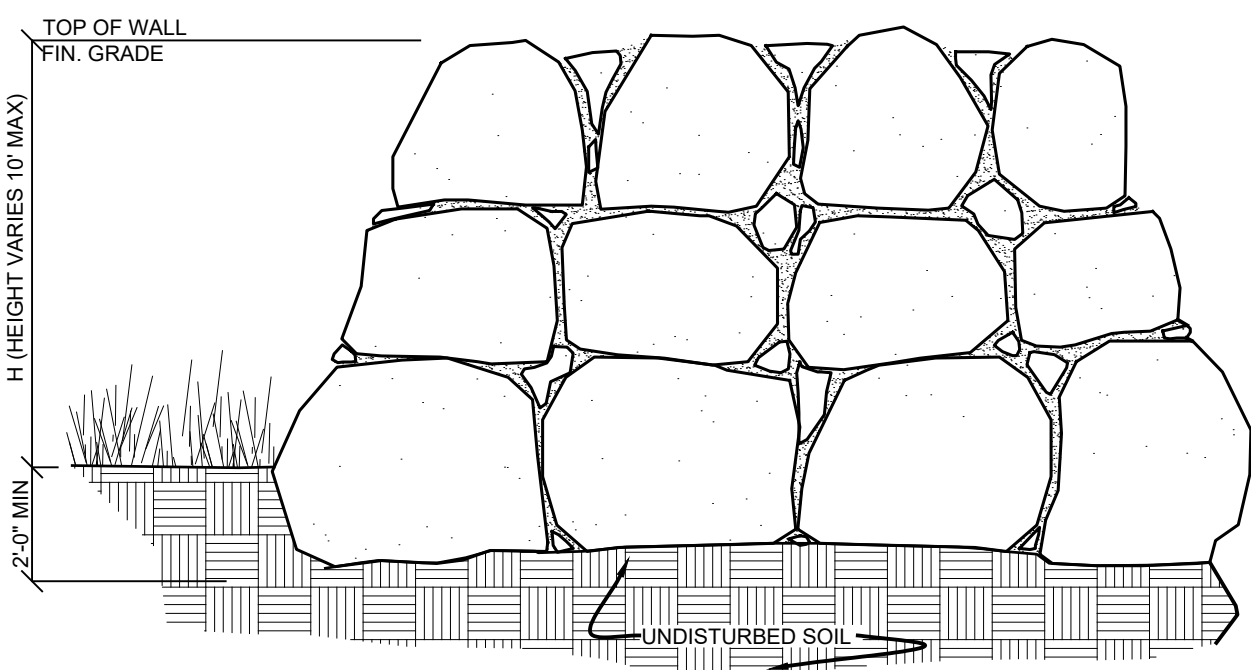
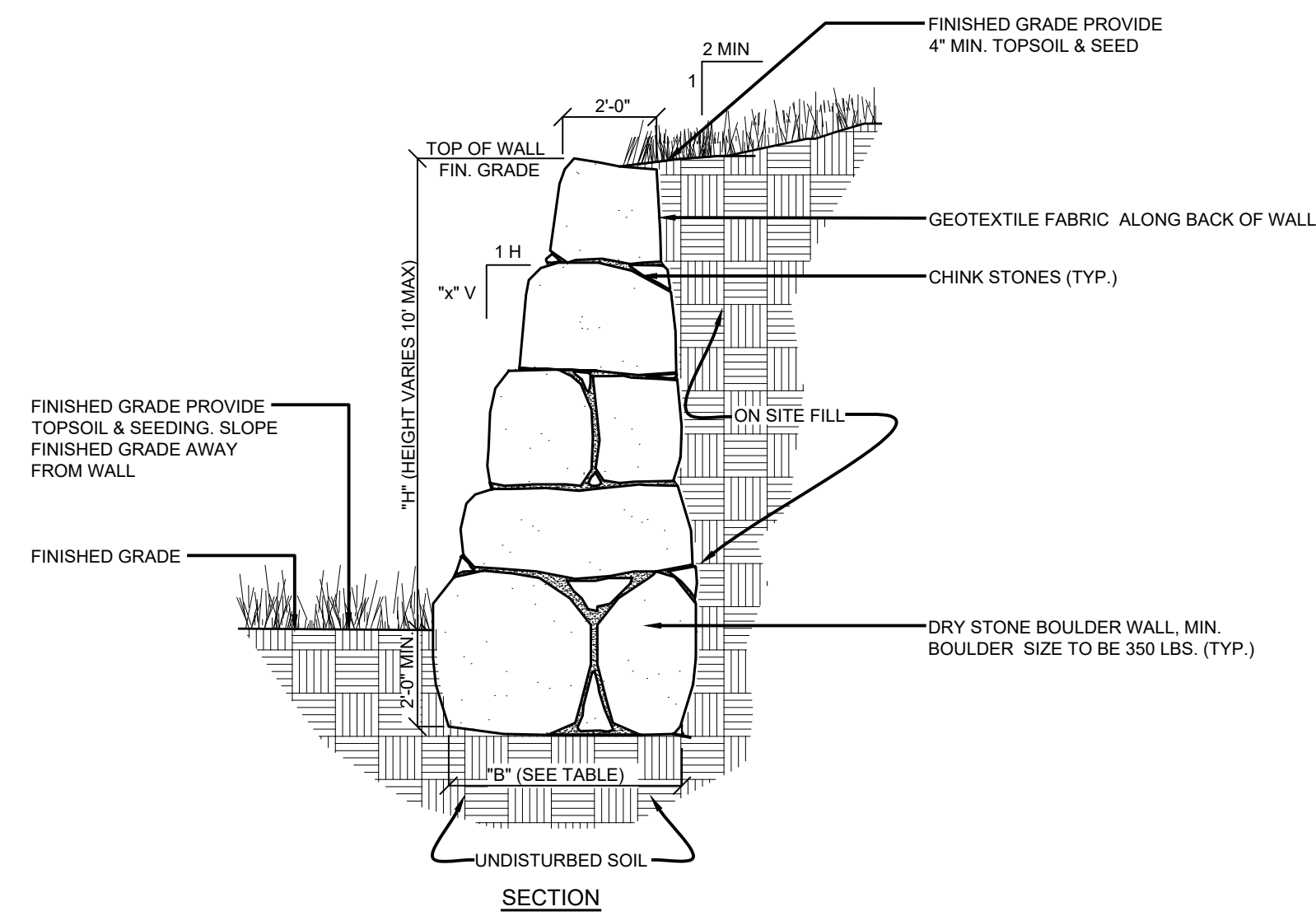
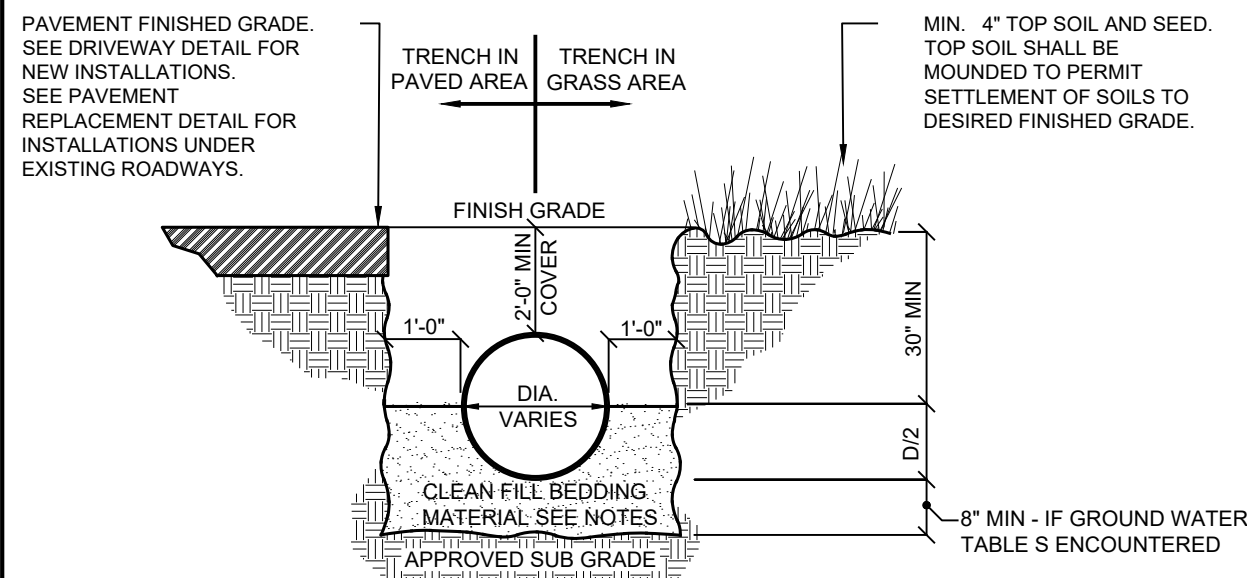


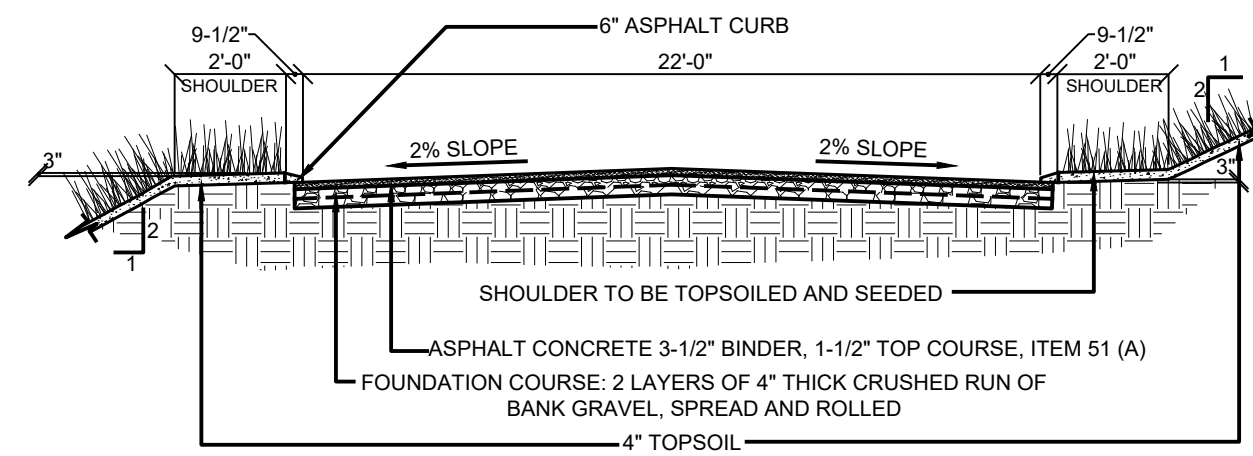
TABLE-1

WALL HEIGHT - "H"	"B" MIN	MIN. BATTER "X"
UP TO 4'-0"	2'-6"	1H : 12V
6'-0"	3'-0"	1H : 7.5V
8'-0"	4'-0"	1H : 4.75V
10'-0"	5'-0"	1H : 3.5V

- NOTES:**
1. Heavy construction equipment shall not be used within 5'-0" of rear of wall.
 2. Boulder wall shall be "chinked" to prevent erosion of the backfill.
 3. On site fill shall be free of deleterious material (organic, roots, building, debris, etc.)



- NOTES:**
1. Pipe shall be laid and connected in the bedding which shall consist of:
 - A. Compacted existing subsoil when laid above ground water or;
 - B. 3/4" crushed stone when laid below ground water.
 2. If subsoil is determined to be unsuitable by the Engineer, all unsuitable material shall be removed for at least 2'-0" below the pipe invert or twice the pipe diameter, whichever is greater, and replaced with compacted bedding material.



ST-1

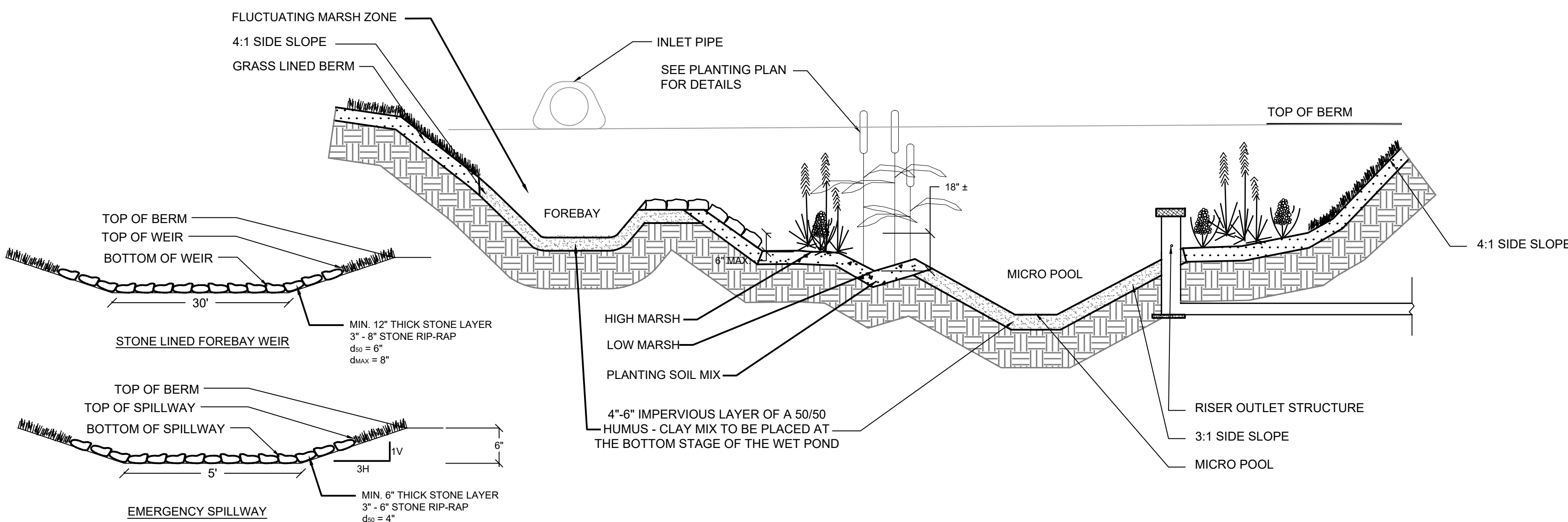
DRY STONE WALL DETAIL
NOT TO SCALE

D-1

STORM PIPE BEDDING DETAIL
NOT TO SCALE

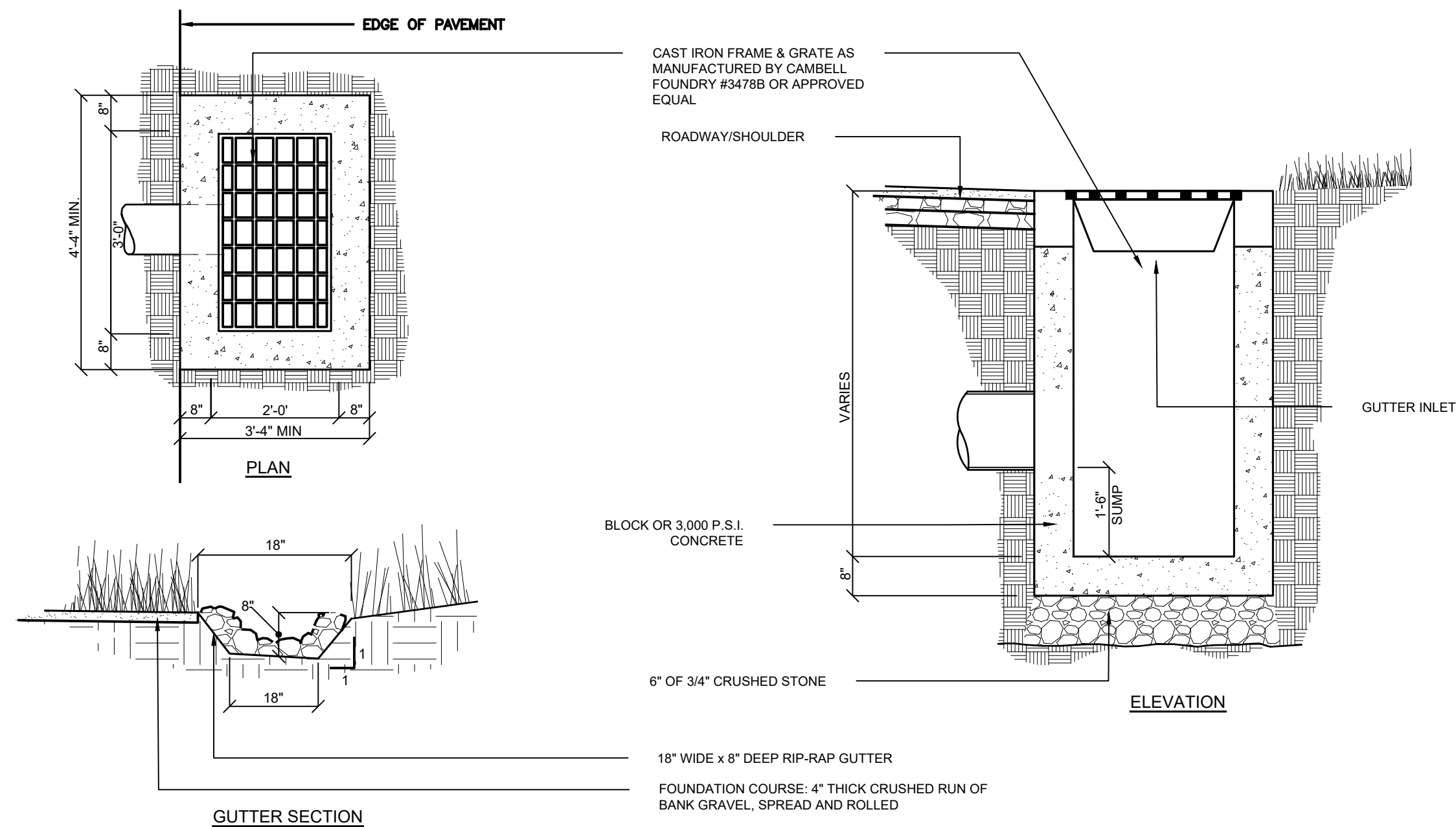
R-1

COMMON DRIVEWAY WITH CURB
NOT TO SCALE



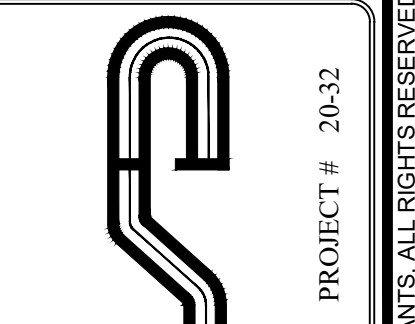
SW-1

POCKET WETLAND (W-5) TYPICAL SECTION
NOT TO SCALE



D-2

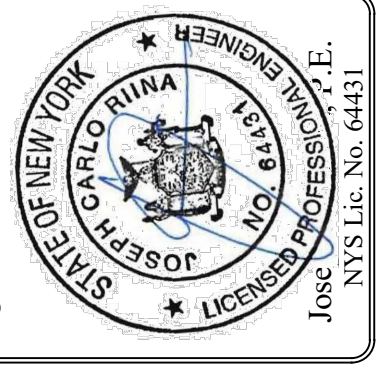
CATCH BASIN DETAIL TYPE A
NOT TO SCALE



PROJECT # 20-32

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Revisions:		Comments:	
No.	Date		

SCALE:	DRAWN BY: KM	DATE: 11/06/20
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DETAILS

DRIVEWAY SITE PLAN
PREPARED FOR
YANCOPOULOS
1496 OLD LOGGING ROAD EAST
Westchester County, NY
Town of Yorktown

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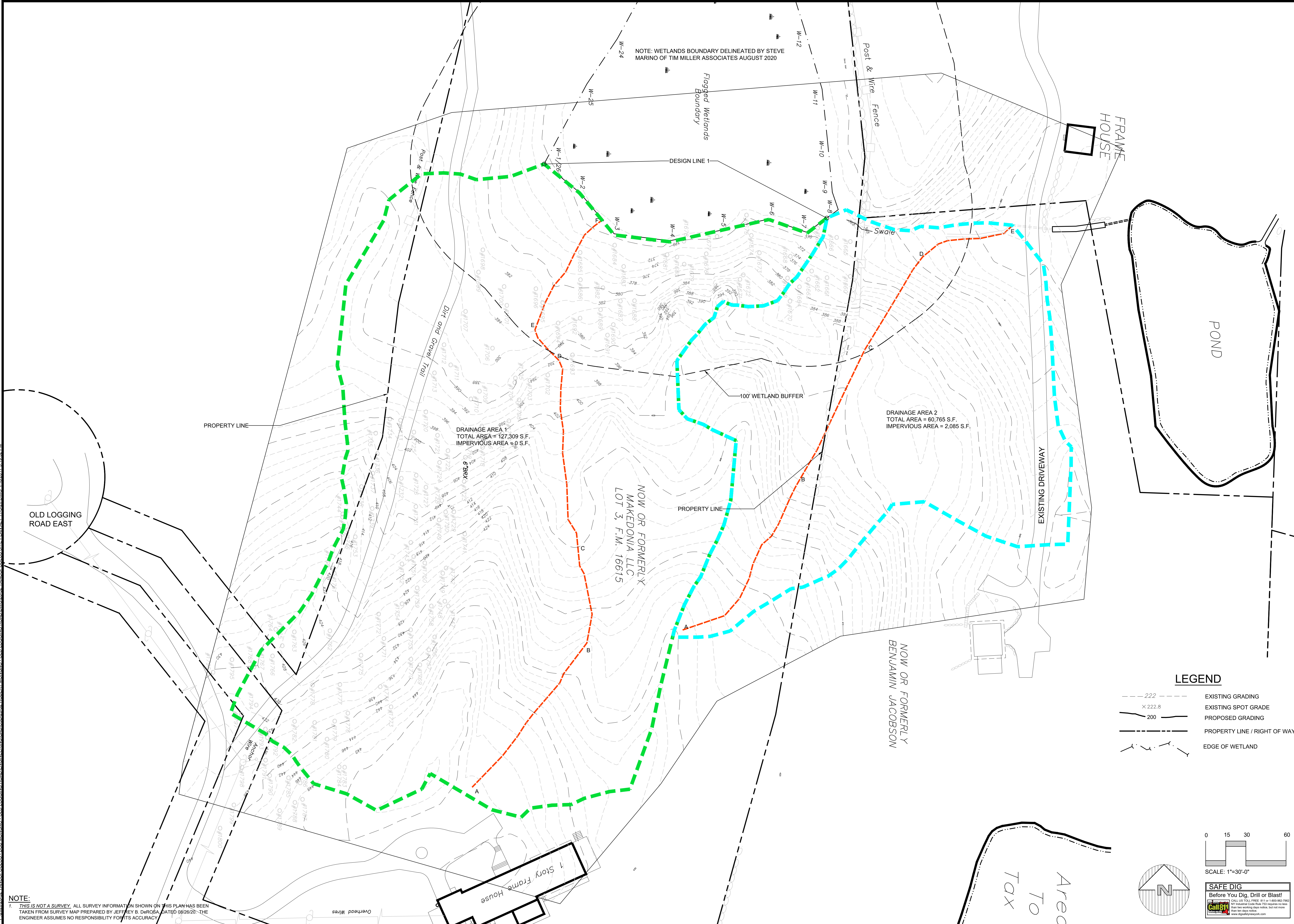
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1496 OLD LOGGING ROAD EAST, YANCOPOULOS, WESTCHESTER COUNTY, NY 10598
DATE: 11/06/20
SCALE: 1" = 30'
DRAWN BY: KM
DATE: 11/06/20

NOTE:
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NOTE: WETLANDS BOUNDARY DELINEATED BY STEVE MARINO OF TIM MILLER ASSOCIATES AUGUST 2020

DRAINAGE AREA 1
TOTAL AREA = 127,309 S.F.
IMPERVIOUS AREA = 0 S.F.

DRAINAGE AREA 2
TOTAL AREA = 60,765 S.F.
IMPERVIOUS AREA = 2,085 S.F.

NOW OR FORMERLY
MAKEDONIA LLC
LOT 3, F.M. 16615

NOW OR FORMERLY
BENJAMIN JACOBSON

OLD LOGGING ROAD EAST

FRAME HOUSE

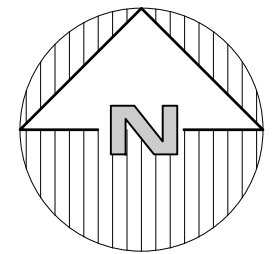
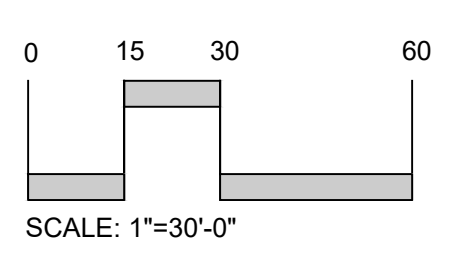
POND

1 Story Frame House

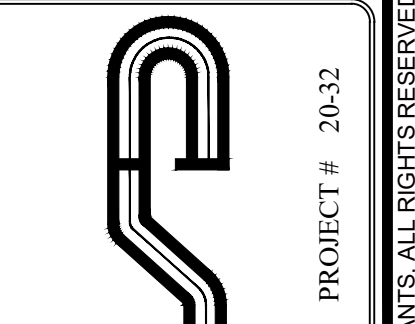
Area TO TAX

LEGEND

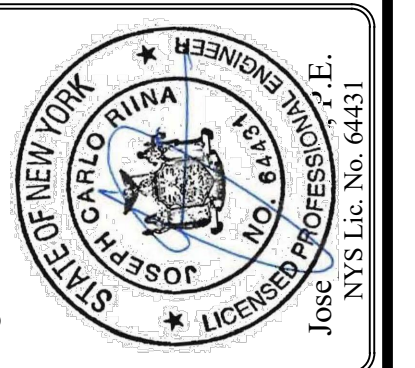
- 222 --- EXISTING GRADING
- x 222.8 EXISTING SPOT GRADE
- 200 — PROPOSED GRADING
- - - - - PROPERTY LINE / RIGHT OF WAY
- - - - - EDGE OF WETLAND



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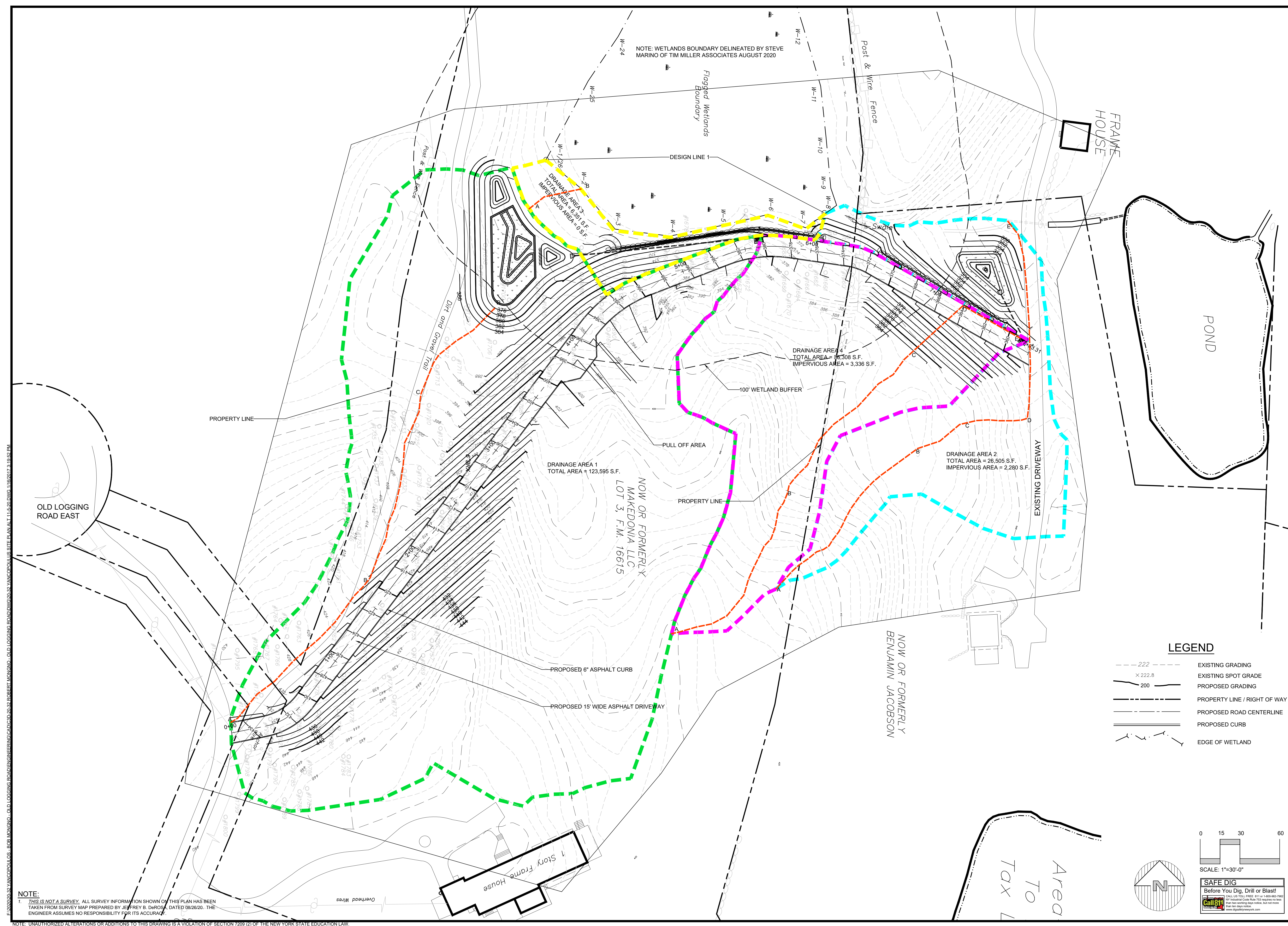
SCALE: 1" = 30'
DRAWN BY: KM
DATE: 11/06/20

PRE - DEVELOPED

DRIVEWAY SITE PLAN
PREPARED FOR
YANCOPOULOS
1496 OLD LOGGING ROAD EAST
Westchester County, NY
Town of Yorktown

Sheet 8 of 9

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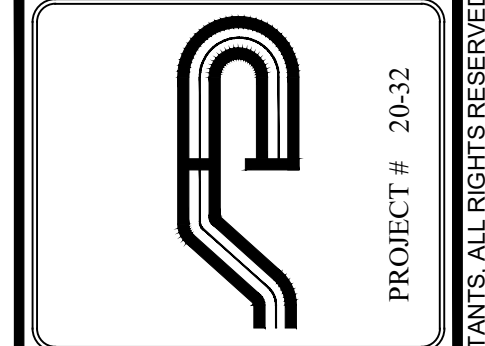


NOTE: WETLANDS BOUNDARY DELINEATED BY STEVE MARINO OF TIM MILLER ASSOCIATES AUGUST 2020

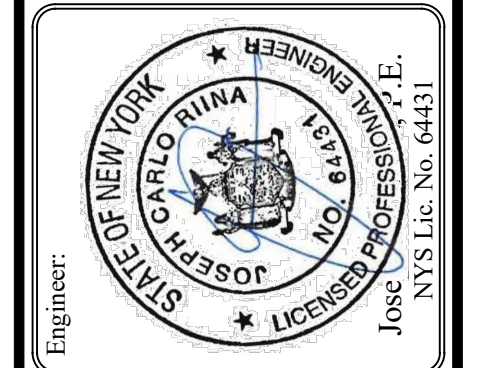
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Revisions:	No.	Date	Comments

SCALE: 1" = 30'
DRAWN BY: KM
DATE: 11/06/20

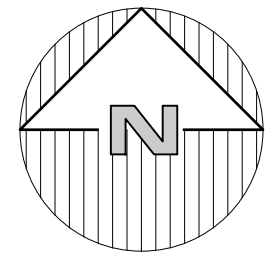
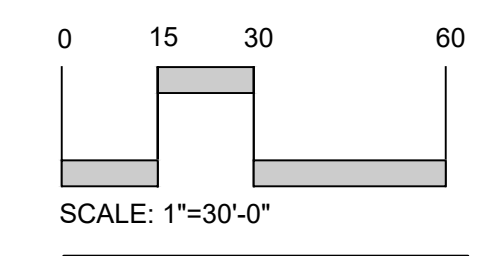
POST - DEVELOPED

DRIVEWAY SITE PLAN
PREPARED FOR
YANCOPOULOS
1496 OLD LOGGING ROAD EAST
Westchester County, NY
Town of Yorktown

Sheet 9 of 9

LEGEND

- 222 --- EXISTING GRADING
- x 222.8 EXISTING SPOT GRADE
- 200 --- PROPOSED GRADING
- --- PROPERTY LINE / RIGHT OF WAY
- --- PROPOSED ROAD CENTERLINE
- --- PROPOSED CURB
- --- EDGE OF WETLAND



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**Dell Avenue
Solar Farm
(Croton Overlook)**



RECEIVED
PLANNING DEPARTMENT

APR 20 2021

TOWN OF YORKTOWN

Jody T. Cross •
jcross@zarin-steinmetz.com

• Also admitted in CT

April 14, 2021

Via Electronic Mail

Hon. Matthew Slater, Supervisor
And Members of the Town Board
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598

**Re: Croton Overlook Project
Application for Change of Zone
Tax Map Parcels 70.15-1-2 and 70.11-1-16 ("Property")**

Dear Supervisor Slater and Members of the Town Board:

As you know, B & M Management Company, Inc. ("B&M") presently has an Application for Change of Zone ("Application") pending before your Board. As your Board also knows, subsequent to our filing of the Application, an opportunity arose for B&M to entertain a different use of the property, specifically, a solar farm. B&M has since entered into a lease with SCS Dell 017136 Yorktown, LLC, which intends to pursue Site Plan and Special Permit Approval from the Town Planning Board for a fixed tilt ground mount solar array on the Property. Accordingly, **please be advised that B&M hereby withdraws, without prejudice, its Application.**


The B&M team appreciates your Board's time, and looks forward to bringing a new and laudable renewable energy project to the Town.

Please do not hesitate to contact either of the undersigned if you have any questions. Thank you for your consideration.

Respectfully submitted,

ZARIN & STEINMETZ

By:


David S. Steinmetz
Jody T. Cross

cc: Diana L. Quast, Town Clerk
John Tegeder, R.A., Director of Planning
Matt Matthews, B & M Management Company, Inc.



Jody T. Cross •
jcross@zarin-steinmetz.com

• Also admitted in CT

April 14, 2021

RECEIVED
PLANNING DEPARTMENT

APR 20 2021

TOWN OF YORKTOWN

Via Electronic Mail & Overnight Mail

Hon. Richard Fon, Chairman
And Members of the Planning Board
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598

**Re: Dell Ave. Solar Farm
Application for Site Plan and Special Use Permit
Tax Map Parcel 70.15-1-2 ("Property")**

Dear Chairman Fon and members of the Planning Board:

We represent B & M Management Company, Inc. ("B&M"), the owner of the above-referenced Property, and SCS Dell 01436 Yorktown, LLC ("Applicant"), in connection with the above-referenced Solar Project. More specifically, the Applicant is seeking Site Plan and Special Use Permit approval for a 3,625kWac fixed-tilt ground-mounted solar array, plus 3.743MW / ~15MWh (4hr) energy storage system ("Solar Project"). The Applicant respectfully requests to be placed on your Board's April 26, 2021 agenda to commence consideration of the Solar Project.

In connection with the Application, enclosed please find the following documents:

1. Preliminary Concept Site Plan, dated March 15, 2021, illustrating the approximate locations of proposed Solar Project improvements on the Property;
2. Short Environmental Assessment Form;
3. Application for Site Plan Approval;
4. Special Use Permit Application;

5. Large Scale Solar Power Generation Systems & Facilities Special Permit Application Addendum; and

6. Tier 2 Battery Energy Storage Systems Special Permit Application Addendum.

We are also enclosing for your information a copy of the letter sent to the Town Board formally withdrawing, without prejudice, B&M's Application for a Zoning Change from R1-160 to RSP-1.

As noted above, the Applicant is providing conceptual drawings at this time for initial consideration by your Board, and in order to commence the review and SEQRA process. The Applicant is presently conducting the necessary studies and analyses to prepare formal Site Plan drawings for the Solar Project, as well as to provide any additional information required under the Town Zoning Code for the Project.

The Applicant respectfully requests that the Solar Project be placed on your Board's April 26, 2021 Agenda for introduction and discussion. The Applicant further requests that at that time, the Board declare its intent to serve as Lead Agency for the review of the Solar Project, and circulate same to any potential involved agencies.


The Applicant's Team looks forward to answering any questions your Board may have, and to working with your Board and Staff to bring this laudable Solar Project to the Town.

If you require any additional information in the interim, please do not hesitate to contact either of the undersigned. Thank you for your consideration.

Respectfully submitted,

ZARIN & STEINMETZ

By:



David S. Steinmetz
Jody T. Cross

cc: John Tegeder, R.A., Director of Planning
Robyn A. Steinberg, AICP, Town Planner
Matt Matthews, B & M Management Company, Inc.
SCS Dell 017136 Yorktown, LLC

APR 20 2021

TOWN OF YORKTOWN

Short Environmental Assessment Form

Part 1 - Project Information

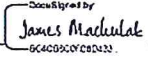
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

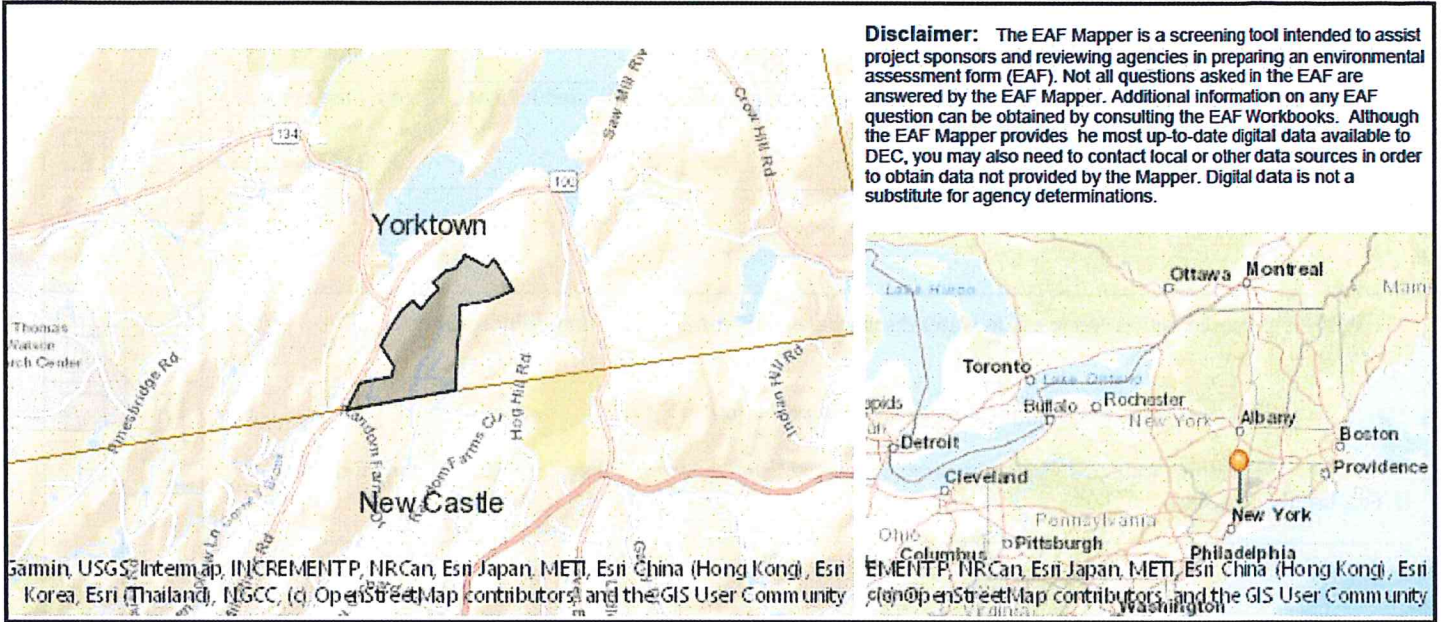
Part 1 – Project and Sponsor Information			
Name of Action or Project: Dell Ave Solar Farm			
Project Location (describe, and attach a location map): Dell Ave., Yorktown, Westchester County, New York, Tax Parcel: 70.15-1-2			
Brief Description of Proposed Action: SCS Dell 01436 Yorktown, LLC is seeking site plan approval from the Town Planning Board for a 3,625kWac fixed-tilt ground-mounted solar array, plus 3.743MW / ~15MWh (4hr) energy storage system. The area is currently zoned R1-160.			
Name of Applicant or Sponsor: SCS Dell 01436 Yorktown, LLC		Telephone: 202-748-8198 E-Mail: nick.mento@solsystems.com	
Address: 1101 Connecticut Ave., Floor 2			
City/PO: Washington		State: DC	Zip Code: 20036
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYSDEC, NYCDEP, Yorktown Planning Board			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		59.35 acres	
b. Total acreage to be physically disturbed?		16.23 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		59.35 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

<p>5. Is the proposed action.</p> <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>	<p>NO</p> <p><input type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>N/A</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</p> <p>If Yes, identify: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?</p> <p>b. Are public transportation services available at or near the site of the proposed action?</p> <p>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p>	
<p>9. Does the proposed action meet or exceed the state energy code requirements?</p> <p>If the proposed action will exceed requirements, describe design features and technologies:</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>10. Will the proposed action connect to an existing public/private water supply?</p> <p>If No, describe method for providing potable water: _____</p> <p>Activity requires no permanent water source.</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>11. Will the proposed action connect to existing wastewater utilities?</p> <p>If No, describe method for providing wastewater treatment: _____</p> <p>Activity requires no permanent wastewater treatment.</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?</p> <p>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</p> <p>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?</p> <p>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Bald Eagle	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
_____ To be determined.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>James Machulak</u> Date: <u>2021-04-13 13:49:51</u> EDT		
Signature:  Title: <u>Authorized Signatory</u>		

EAF Mapper Summary Report

Wednesday, April 7, 2021 3:03 PM



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Bald Eagle
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

RECEIVED
PLANNING DEPARTMENT

TOWN OF YORKTOWN PLANNING BOARD

APR 20 2021

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

TOWN OF YORKTOWN

APPLICATION FOR SITE PLAN APPROVAL

Date 04/14/21

1. Name of Project: Dell Ave Solar Farm

2. Tax Map Designation (Section, Block, Lot) 70.15-1-2

3. Zone: R1-160 Total Acreage: 59.35

4. Is a statement of easements relating to property attached? Yes None exist

5. Project narrative (brief description of proposed development):

A 3,625kWac fixed tilt ground mount solar array plus 3.743MW / ~15MWh (4hr) energy storage system.

6. Contact Person - CHOOSE ONLY ONE:

- | | | | |
|---|-----------------------------------|------------------------------------|--|
| <input checked="" type="checkbox"/> Applicant | <input type="checkbox"/> Owner | <input type="checkbox"/> Architect | <input type="checkbox"/> Wetland Scientist |
| <input type="checkbox"/> Attorney | <input type="checkbox"/> Engineer | <input type="checkbox"/> Surveyor | <input type="checkbox"/> Landscape Architect |

7. Applicant

Name SCS Dell 014136 Yorktown, LLC

Firm Sol Customer Solutions, LLC

Address 1101 Connecticut Avenue, Floor 2, Washington, D.C. 20036

Phone 2027488198

Fax _____

Email nick.mento@solsystems.com

8. Owner of Record

Name B&M Management Company, LLC

Firm _____

Address 199 Elm Street, New Canaan, CT 06840

Phone 203-536-2928

Fax _____

Email mattshouses@aol.com

9. Attorney

Name David Steinmetz
Firm Zarin & Steinmetz
Address 81 Main Street, Suite 415, White Plains, New York 10601
Phone 914-682-7800 x123
Fax 914-683-5490
Email david@zarin-steinmetz.com

10. Engineer

Name Steven Meersma, P.E.
Firm TRC Companies, Inc.
Address 1430 Broadway, 10th Floor, New York, NY 10018
Phone 212-221-8374
Fax 212-221-7840
Email smeersma@trccompanies.com
Lic. No. 076572-1

11. Surveyor

Name Robert Brown, L.S.
Firm Land Design
Address 350 Motor Parkway, Suite 206, Hauppauge, NY 11788
Phone 978-228-3965
Fax 978-453-1995
Email _____
Lic. No. _____

12. Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

13. Wetland Scientist/Specialist

Name Colin Duncan
Firm TRC
Address 650 Suffolk Street, Lowell, MA 01854
Phone 978-228-3965
Fax 978-453-1995
Email cduncan@trccompanies.com

14. Landscape Architect

Name Michael Ross
Firm TRC
Address 4900 Ritter Road, Mechanicsburg, PA 17055
Phone 717-671-6430
Fax 717-671-6431
Email mross@trccompanies.com
Lic. No. _____

15. Is this project within 500 feet of the Town line? Yes No

16. Is this project within 500 feet of the Putnam County line? Yes No

17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:

The right-of-way of any existing or proposed state or county road? Yes No

The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No

The boundary of state or county-owned land on which a public building/ institution is located? Yes No

An existing or proposed county drainage line? Yes No

The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

Wetland Permit TBD

Stormwater Permit TBD

Tree Permit

Planning Board special permit: Special Use - Large-Scale Solar addendum, Energy Storage Addendum

Town Board variance or approval: _____

Zoning Board of Appeals variance or special permit: _____

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: _____

22. This parcel is in the following districts:

School District Yorktown Water District _____
 Fire District Yorktown Heights Sewer District _____

A Short or Full EAF with the original signature of the applicant must be attached to this application when submitted.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

Applicant	Owner of Record
James Machulak	<i>Harvey B. Matthews</i>
_____ NAME (PLEASE PRINT)	_____ NAME (PLEASE PRINT)
<small>DocuSigned by:</small> <i>James Machulak</i> _____ SIGNATURE	<i>Harvey B. Matthews</i> _____ SIGNATURE
2021-04-13 13:49:51 EDT	<i>4/13/21</i>
_____ DATE	_____ DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

_____, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20__

Notary Public

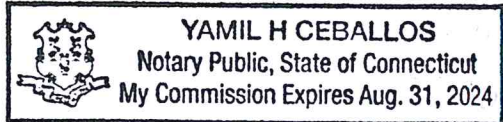
AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF Connecticut; COUNTY OF Fairfield SS. :

Harvey B Matthews, being duly sworn, deposes and says that he ^{has offices} resides at 199 Elm St, New Canaan in the County of Fairfield and State of CT. That he is the President of B+M Management Co. Inc the corporation which is owner in fee of the property described in the foregoing application for site plan approval and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this 13th day of April, 2021

[Signature]
Notary Public



AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

_____, being duly sworn, deposes and says that he is the agent named in the foregoing application for _____ and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20__

Notary Public

F:\Office\WordPerfect\APPLICATION FORMS\APPSITEPLAN.wpd
Last updated: December 2011

RECEIVED
PLANNING DEPARTMENT

TOWN OF YORKTOWN PLANNING BOARD

APR 20 2021

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

SPECIAL USE PERMIT APPLICATION

If this application is not being made in conjunction with a request for site plan approval from the Planning Board, a site plan/plot plan and Short EAF must also be submitted with this application. The required fee is \$625.00 for new applications and \$312.00 for requests to renew an existing permit.

Date 04/14/21

1. Tax Map Designation (Section, Block, Lot) 70.15-1-2

2. Property Address 200 Dell Avenue, Yorktown, NY 10562

3. Zone: R1-160 Total Acreage: 59.35

4. Indicate requested special use permit:

- §300-21(8)(a)[1] Outdoor service in commercial districts.
- §300-40 Bus passenger shelters.
- §300-54 Religious institutions, social, cultural, charitable and recreational nonprofit uses.
- §300-55 Parochial, private elementary and high schools, colleges and seminaries.
- §300-69 Valet parking at banquet halls.
- §300-71 New and/or used car automobile sales.
- §300-73.1(A)(2) Permanent seasonal outdoor sales in commercial districts.
- §300-75 Warehouse or storage in retail shopping centers.
- §300-78 Cemeteries.
- §300-79 Self-storage centers.
- §300-80 Sidewalk cafes. (outdoor dining for more than 12 seats)
- §300-81.1 Helistops.
- §300-81.2 Accessory recycling facilities.
- §300-81.4 Large-Scale Solar Power Generation Systems and Facilities
- §300-81.5 Tier 2 Battery Energy Storage Systems
- §300-238.1 Multifamily dwelling units in the Country Commercial Zone.

5. Description of proposed use (if applying for outdoor dining, indicate proposed dining area square footage and number of seats):

A 3,625kWac fixed tilt ground mount solar array plus ~3.75MW / 15MWh energy storage system.

6. Applicant

Name SCS Dell 014136 Yorktown, LLC

Firm Sol Customer Solutions, LLC

Address 1101 Connecticut Ave, Floor 2, Washington, D.C. 20036

Phone 202-748-8198

Email nick.mento@solsystems.com

7. Owner of Record

Name B&M Management Company, LLC

Firm _____

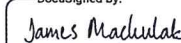
Address 199 Elm Street, New Canaan, CT 06840

Phone 203-536-2928

Email mattshouses@aol.com

In the event the permit is issued, the undersigned applicant will comply with all provisions of the Code of the Town of Yorktown and all other applicable laws, codes, rules and regulations of any Federal, State or County Government, bureau or department thereof, having jurisdiction over said premises and the use to be conducted thereat.

Applicant


DocuSigned by:


 SIGNATURE
 James Machulak

 PRINT NAME
 2021-04-13 | 13:49:51 EDT

 DATE

Owner of Record



 SIGNATURE
 Harry B. Matthews

 PRINT NAME
 4/13/21

 DATE

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

APR 20 2021

TOWN OF YORKTOWN

TOWN OF YORKTOWN PLANNING BOARD

Large Scale Solar Power Generation Systems & Facilities

Special Permit Application Addendum

GENERAL PROJECT INFORMATION

Project Name: Dell Ave Solar Farm
Section, Block, Lot: 70.15-1-2
Existing Site Use: Residential Commercial Zone: R1-160
Is Applicant? Property Owner Lessee
Proposed Lot Coverage: _____

PROVIDE THE TOTAL SYSTEM CAPACITY RATING

A Large Scale Solar Energy system is a Solar Energy System that exceeds 20 kW DC as rated by its nameplate capacity. The maximum system capacity and the maximum area of land upon which the system shall be erected are as follows:

- (1) Up to one megawatt AC on an area of land no larger than 10 acres, excluding any easement for accessing the parcel; or over 1 but not to exceed 5 Megawatt AC on an area of land no larger than 20 acres, excluding any easement for accessing the parcel.

Total System Capacity Rating: _____ kWh Power Rating 3,625 kW (Select One) AC or DC

SELECT INSTALLATION TYPE

Ground Rooftop

PROPOSED SOLAR ENERGY SYSTEM INSTALLATION INFORMATION

Sponsor Company
Contact Name Nick Mento
Business Name SCS Dell 014136 Yorktown, LLC
Address 1101 Connecticut Avenue, Floor 2, Washington, D.C. 20036
Phone 202-748-8198
Email nick.mento@solsystems.com

Contractor/Installation Company

Contact Name TBD
Business Name _____
Address _____
Phone _____
Email _____

PROPOSED OWNER AND/OR OPERATOR (IF DIFFERENT FROM ABOVE)

Name _____
Firm SCS Dell 014136 Yorktown, LLC
Address 1101 Connecticut Avenue, Floor 2, Washington, D.C. 20036
Phone 202-748-8198
Email nick.mento@solsystems.com

SUBMITTAL REQUIREMENTS

In order to submit a complete permit application for a new large-scale solar power generation system, the applicant must include:

- a) Completed Planning Board Special Use Permit Application with this Large Scale Solar Power Generation System Addendum.
- b) A special permit application fee of \$625.00 paid by check made payable to the Town of Yorktown.
- c) Required documents as listed in Section 300-84.1(F):
 - Equipment specification sheets shall be submitted for all photovoltaic panels, significant components, mounting systems, and inverters that are to be installed.
 - A property Operation and Maintenance Plan shall be submitted.
 - A carbon sequestration for tree loss calculation.
 - Proposed tree loss mitigation, if applicable.
 - A Decommissioning Plan
- d) All site plan application requirements pursuant to Section 300-85/1(I) of the Town of Yorktown Town Code.

APR 20 2021

TOWN OF YORKTOWN

TOWN OF YORKTOWN PLANNING BOARD

Tier 2 Battery Energy Storage Systems Special Permit Application Addendum

GENERAL PROJECT INFORMATION

Project Name: Dell Ave Solar Farm
Section, Block, Lot: 70.15-1-2
Existing Site Use: Residential Commercial Zone: R1-160

PROVIDE THE TOTAL SYSTEM CAPACITY RATING

Total System Capacity Rating: 14,973 kWh Power Rating 3473 kW (Select One) AC or DC

SELECT SYSTEM CONFIGURATION

AC Coupled DC Coupled Standalone

SELECT BATTERY TYPE

Lithium-ion, all types Lead-acid, all types Nickel-cadmium (Ni-Cd) Flow batteries
 Other: _____

SELECT INSTALLATION TYPE

Indoor Outdoor
 Attached/Detached/Open Garage Rooftop Dedicated Use Building

PROPOSED BATTERY ENERGY STORAGE SYSTEM INSTALLATION CONTRACTOR INFORMATION

Contractor
Contact Name TBD
Business Name _____
Address _____
Phone _____
Email _____
License #(s) _____

Electrician

Contact Name TBD
Business Name _____
Address _____
Phone _____
Email _____
License #(s) _____

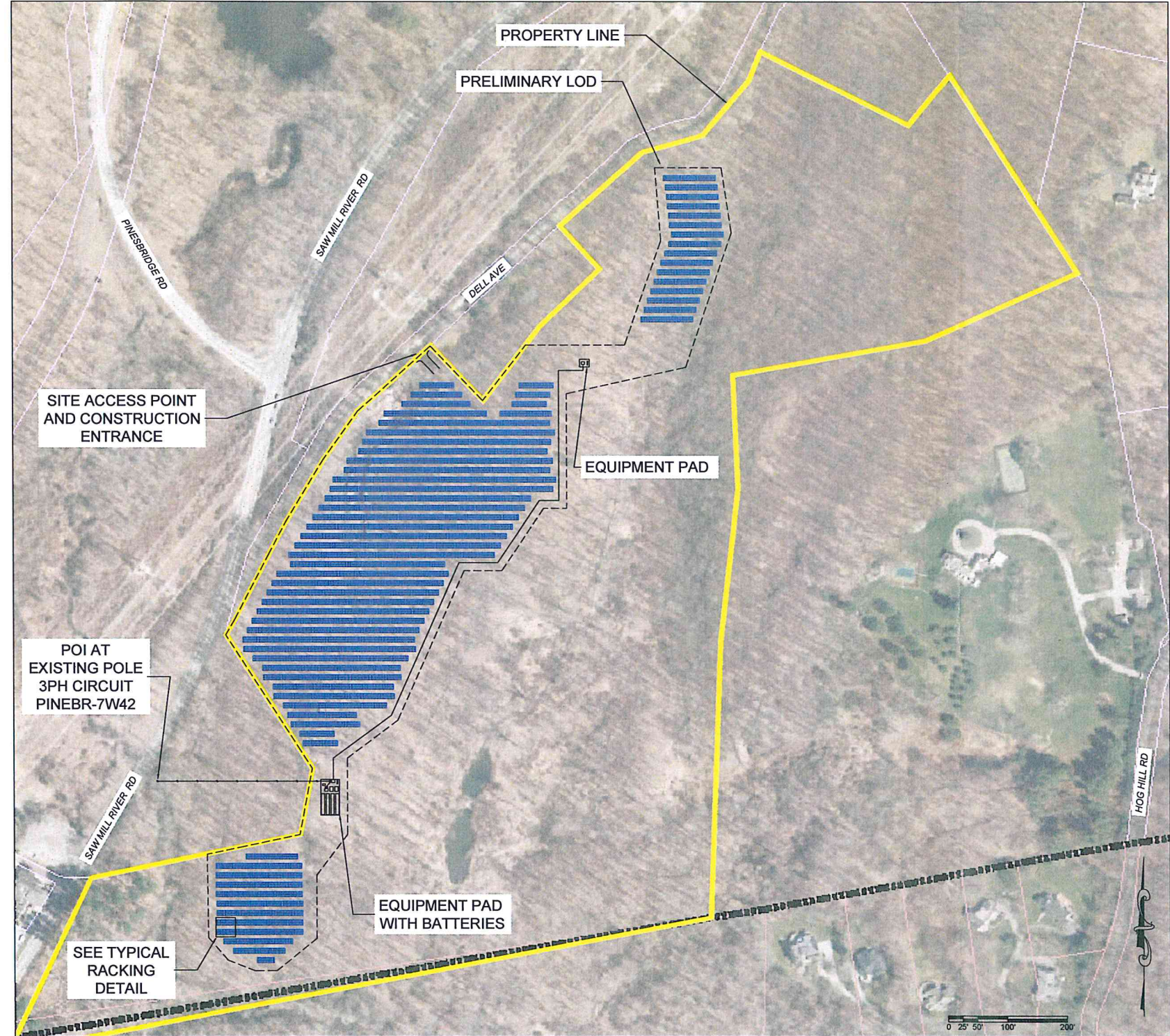
PROPOSED OWNER AND/OR OPERATOR

Name SCS Dell 014136 Yorktown, LLC
Firm Sol Customer Solutions, LLC
Address 1101 Connecticut Avenue, Floor 2, Washington, D.C. 20036
Phone 202-748-8198
Email nick.mento@solsystems.com

SUBMITTAL REQUIREMENTS

In order to submit a complete permit application for a new battery energy storage system, the applicant must include:

- a) Completed Planning Board Special Use Permit Application with this Tier 2 Battery Energy Storage System Addendum.
- b) A special permit application fee of \$625.00 paid by check made payable to the Town of Yorktown.
- c) All site plan application requirements pursuant to Section 300-85.1(I) of the Town of Yorktown Town Code.

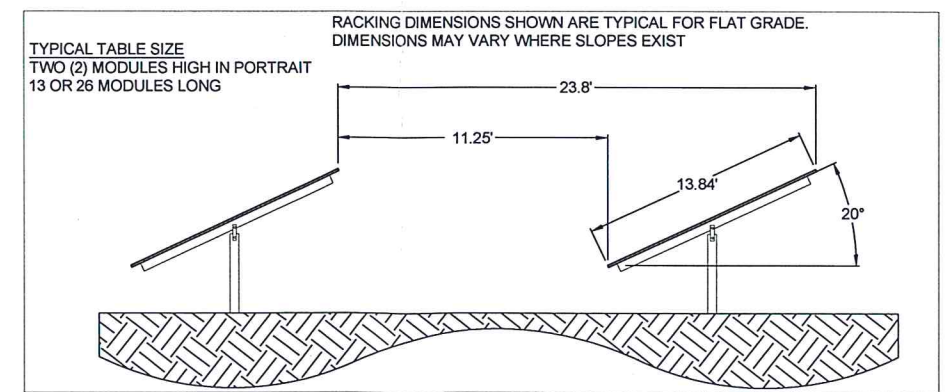


WESTCHESTER COUNTY GIS, WESTCHESTER COUNTY LOCAL MUNICIPALITIES

SYSTEM DETAILS			
DESIGN CRITERIA		PHOTOVOLTAIC MODULES	
DESIGN WIND SPEED	105 MPH	MANUFACTURER	TBD
SNOW LOAD	30 PSF (GROUND)	MODEL	TBD
RISK CATEGORY	I	DC POWER @ STC	400W
HIGH TEMP	32 C	MODULES PER STRING	26
LOW TEMP	-17 C	TOTAL MODULE QTY	11,856
ELEVATION	320 FT	INVERTERS	
SOURCE	hazards.atcouncil.org	MANUFACTURER	CHINT POWER SYSTEMS
SYSTEM METRICS		MODEL	SCH125KTL-DO/US-600
DC SYSTEM SIZE	4,742.4 KW-DC	AC POWER RATING	125 KW
AC SYSTEM SIZE	3,625 KW	TOTAL INVERTER QTY	29
DC:AC RATIO	1.31	RACKING CONFIGURATION	
DC SYSTEM VOLTAGE	1500 V	MFR / MODEL	TBD
POCC / POI VOLTAGE	13.2 KV	ROW SPACING	12 FT
ESTIMATED YIELD	1,277 KWH/KW-DC	GCR	54%
YR 1 PRODUCTION	6,056 MWH	RANGE OF MOTION	N/A



LOCATION MAP NOT TO SCALE



TYPICAL RACKING DETAIL DRAWING NOT TO SCALE

DISCLAIMER: ALL NOTED SYSTEM SIZES AND MODULE QUANTITIES ARE PRELIMINARY ESTIMATES.

REV	TITLE	DB	CB	Date



Sol Systems, LLC
1101 Connecticut Avenue NW
2nd Floor
Washington, DC 200036

DELL AVE. YORKTOWN, NY
GROUND MOUNT SOLAR PV AND STORAGE
CONCEPT SITE PLAN
PRELIMINARY AND NOT FOR CONSTRUCTION

DESIGNED BY:	J.C.
DRAWN BY:	J.C.
CHECKED BY:	
APPROVED BY:	
SCALE:	AS SHOWN
DATE:	3/15/2021

DRAWING NUMBER:
E-PV0.1
PROJECT NUMBER:
TBD

Examples of Fixed-Tilt Ground Mount Solar





REMOVE EXISTING PAVEMENT ALONG DELL AVENUE FROM THIS POINT TO PROPOSED NEW ROAD LOCATION NEAR SAW MILL RIVER ROAD

APPROXIMATE LIMITS OF OFF-SITE WETLAND AS DETERMINED BY ANTHONY P. RUSSO OF ENVIRONMENTAL COMPLIANCE SERVICES, INC. AND BRUCE BARBER, TOWN OF YORKTOWN'S ENVIRONMENTAL CONSULTANT, ON APRIL 21, 2011. WETLAND LIES WITHIN 55' OF DELL AVENUE, SOLELY IN THE NEARLY UTILITY RIGHT-OF-WAY.

CON-EDISON HIGH TENSION TRANSMISSION LINES & TOWERS

- LEGEND:**
- PROPOSED HOME SITE & DRIVEWAY
 - FEDERAL WETLAND BOUNDARY
 - EXISTING STONE WALL
 - EXISTING TREE LINE
 - EXISTING WELL
 - EXISTING CATCH BASIN AND CULVERT
 - EXISTING UTILITY POLE
 - EXISTING CHAIN LINK FENCE

LAWRENCE J. PAGGI, PE,PC
 CONSULTING ENGINEERING
 43 BROAD STREET
 FISHKILL, NEW YORK 12524

CROTON OVERLOOK
 SAW MILL RIVER ROAD & DELL AVENUE
 TOWN OF YORKTOWN, WESTCHESTER COUNTY, NEW YORK

Revisions:
 JOB NUMBER: 09-1111-15
 DATE: OCTOBER 13, 2020
 SCALE: 1" = 50'
 SHEET # S1

CONCEPTUAL PLAN

Overlay Districts TB Referral

**TOWN OF YORKTOWN
CONSERVATION BOARD**

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

RECEIVED
PLANNING DEPARTMENT

APR 26 2021

TOWN OF YORKTOWN

To: Town Board

From: Conservation Board

Date: April 26, 2021

**Re: Chapter Amendment to Local Law No. 13 of 2020
(Chapter 300, New Article XXXI - Planned District Overlay Zones)**

The Conservation Board has reviewed the Overlay District legislation and has the following comments:

In both areas of town where these districts are proposed, there is opportunity to consider environmental impacts that can be improved by flexible zoning. In the Heights area the flexibility standards offer opportunities to link separated shopping areas with walkways and green spaces, enhancing the ability for residents to travel from one retail area to another without a car. The Conservation Board sees great benefit in reducing the amount of impervious surfaces with thoughtful planning that incorporates pocket green areas, and walkways that would offer reduction in heat island effects, bring greenery into the middle of town, that encourages residents to gather and shop. In Jefferson Valley, access to Osceola Lake would benefit town residents. Silting of the inflow stream into Osceola Lake and increased impact of invasive plant species in and around the lake are concerns that could be addressed as incentives for development in Jefferson Valley.

Much of the center of the Heights sits on wetlands that were filled in to make way for ill-conceived shopping areas. The Overlay District legislation could work to right some of these problematic areas by day-lighting wetlands and streams that are piped beneath. Imaginative planning can incorporate concepts like these that have benefited other communities. We encourage legislation that provides incentives for the use of greener building practices for new construction and repurposed existing buildings. We are concerned that multi-storied buildings be not more than three stories, to retain a small-town feel with trees that shade buildings, and which are not overshadowed by the buildings themselves.

We also encourage the placement of charging stations throughout town so a resident driving into town can shop, go to a restaurant, visit, and have their car recharge while spending time and money in town.

The overlay district in the Heights should not include the Soundview property. The Conservation Board feels that a full build out of this property will have significant adverse environmental impacts.

Respectfully submitted:

Phyllis Bock

For the Conservation Board

Cc: Planning Department

Nancy Calicchia

From: Maura Weissleder
Sent: Tuesday, March 16, 2021 2:47 PM
To: 'archipose@aol.com'; John Landi; 'Ken Belfer'; 'pbock@teatown.org'; 'dianedri@aol.com'; lbarbieri@LMFD.net; 'Yorktownfire'; David Paganelli; 'wdhikes@gmail.com'; 'wealthmaker10598@yahoo.com'; 'richfon@aol.com'; Robert Noble; John Delulio; 'rrohr@yorktownpd.org'; 'jfalco1057@yahoo.com'; 'jff9@westchestergov.com'; 'rhattar@yorktown.org'; 'blyons@lakelandschools.org'; 'lcosenza@lakelandschools.org'; 'dan@ciarcia.com'; 'Sharon Robinson'; Kenny Rundle; 'com'; 'jes24york@aol.com'; 'Lynn Briggs'; 'Herbert, Lukas'; g.finelaw@verizon.net; 'hjj7@westchestergov.com'; 'kelly.turturro@dec.ny.gov'; 'dec.sm.DEP.R3'; 'cgarcia@dep.nyc.gov'; 'akhter.shareef@dot.ny.gov'; 'cenan.publicnotices@usace.army.mil'; 'laroues@townofcortlandt.com'; 'townclerk@somersny.com'; 'sdonnelly@townofossining.com'; 'showard@putnamvalley.com'; showard13@aol.com; 'info@yorktownchamber.org'; Adam Rodriguez; Adam Rodriguez; Alice Roker; Alice Roker; Ed Lachterman; Ed Lachterman (edlachterman@gmail.com); Matthew Slater; Thomas Diana; Vishnu Patel
Cc: Nancy Calicchia; Kim Hughes; Louise Kobiliak; Diana Quast
Subject: Referral: Amendment to Local Law No. 13 of 2020 (Chapter 300, New Article XXXI - Planned District Overlay Zones)
Attachments: Overlay District LL.pdf; Overlay Districts_EAF (Signed).pdf; Yorktown Heights - Map.pdf; Lake Osceola - Map.pdf

Attached please find documents regarding the above-referenced referral. We respectfully request that you review the attached and send any comment/recommendations to Town Clerk Diana Quast, dquast@yorktownny.org, by April 15, 2021.

Thank you for your review.

Regards,

Maura Weissleder

Deputy Town Clerk
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598
Ph: (914)962-5722, ext. 210
Fax: (914)962-6591

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A LOCAL LAW to amend Chapter 300 of the Code of the Town of Yorktown entitled "ZONING"

Be it enacted by the Town Board of the Town of Yorktown as follows:

Section I. Statement of Authority.

This local law is authorized by the New York State Constitution, the provisions of the New York Municipal Home Rule Law, the relevant provisions of the Town Law of the State of New York, the laws of the Town of Yorktown and the general police power vested with the Town of Yorktown to promote the health, safety and welfare of all residents and property owners in the Town.

Section II. Article XXXI of Section 300 of the Code of the Town of Yorktown, entitled Planned Design District Overlay Zones. is hereby replaced in its entirety with the following:

§ 300-248 Purpose and Intent.

- A. It is found and determined that there is a need throughout the Town of Yorktown to encourage and establish further economic development. To stimulate that growth and provide for revitalization, the Town requires the use of smart-growth techniques capable of creating smarter, less wasteful, and more economically efficient development patterns. Specifically, the Town needs flexibility in land uses which bolster economic development by providing not only a diverse array of commercial businesses, but mixed-use residential and commercial parcels to both provide abundant job opportunities and contribute to the local tax base.
- B. This Article regulates the location, design, occupancy, and use of structures and the use of land within the areas known as the "Planned Design District Overlay Zones" (hereinafter "PDDOZ") within the Town of Yorktown. The primary purpose of this Article is to institute a legally enforceable zoning code for each unique Planned Design District ("PDD") adopted herein or prospectively, based upon and in furtherance of the goals established Chapter 4 of the Town of Yorktown Comprehensive Plan adopted on July 15, 2010 (hereinafter "the Comprehensive Plan") and as hereinafter amended. The applicability of the provisions of this Article shall only apply to the specific overlay zones duly adopted and set forth herein and to those properties within said zones that the Town Board has determined granting the flexibility allowed by the Planned Design District will result in a significantly better site plan that still protects the health, safety, and welfare of Yorktown's businesses and residents.
- C. This Article is intended to promote the health, safety and general welfare of the Town by creating a holistic and comprehensive economic development strategy that utilizes the principles of social, economic, and environmental responsibility to encourage the

economic development within a mixed-use setting. This Article is intended to create an opportunity for a more economically successful and environmentally responsible Town by enabling a hamlet with a more harmonious and pedestrian-oriented public realm than can be achieved under the regulations in the underlying zoning in effect at the time of adoption of this Article. Specifically, this Article will promote Complete Streets approach and practices as one of many mechanisms to fulfill the purpose and intention herein.

- D. It is also the intent of this legislation to further the economic development goals of the town's Comprehensive Plan to invigorate the hamlet business centers as hubs of civic life and community identity, and promote a mix of retail, professional office, park/civic uses, and compatible residential uses that create a special sense of place. The intent of the overlay zones is to promote flexibility in design, allowed uses, and bulk requirements to make infill and redevelopment of the hamlets both desirable for residents and economically feasible for investors. It is also the intent of this legislation to provide for suitable mixed-use developments within the PDDs, blending the surrounding commercial and residential zones.
- E. This Article will assist in achieving preservation and retention of the remaining historic and architecturally significant buildings and encourage the renovation and construction of other buildings consistent with architectural designs of buildings constructed during the early history of the Town.

§ 300-249 Definitions.

As used in this article, the following terms shall have the meanings indicated:

FAR (Floor Area Ratio)

Floor Area Ratio as defined in §300-3, "Definitions; word usage."

INCENTIVE

A zoning benefit that is granted, pursuant to §261-b of the Town Law, to adjust provisions of Chapter 300, Zoning, of the Town Code of the Town of Yorktown for the purpose of bringing about revitalization in a Planned Design District.

LIVE-WORK UNIT/SPACE

Live-work unit or Live-work space. A building or space within a building used jointly for commercial and residential purposes where the residential use of the space is secondary or accessory to the primary use as a place of work. The residential space must be occupied by the owner of the commercial business to which it is accessory.

MIXED-USE BUILDING

A building that houses varied uses normally segregated from one another by zoning classification within the Yorktown Zoning Code such as residential uses and retail uses, but not limited thereto.

PLANNED DESIGN DISTRICT

For the purposes of this chapter, an independent zoning district identified by the Town Board as ideal to promote development in accordance with the Comprehensive Plan, wherein the zoning regulations need not be uniform for each class or type of land use, but where the use of land shall be in accordance with a set of criteria and smart growth techniques as established by the Town Board herein.

UNIQUE BUILDINGS

Existing buildings that should be retained because of their distinctive cultural, architectural, or historical references to the Town's history as decided by the Town Board and listed herein

§ 300-250 Applicability.

The provisions of this Article XXI shall apply to all parcels, lots or properties lying within each Planned Design Districts and may be applied to new development, redevelopment, exterior alterations, changes of use, site plan alteration, commercial signs and exterior lighting within the Planned Design District Overlay Zones.

When the provisions of this Chapter are applied by the Planning Board, in any Planned Design District, no buildings or premises shall be used, and no buildings or part of a building or structure shall be erected, constructed, enlarged, altered, arranged or designed to be used, in whole or in part, except for one or more of the uses herein cited in §300-255 through §300-259, or the underlying zoning, provided that a site plan of development in accordance with Chapter 195 of the Yorktown Town Code is approved by the Planning Board, after public notice and hearing, as being in conformity with this Chapter.

§ 300-251 Authorization to approve plans; Procedures.

- A. Authorization is hereby granted to the Planning Board of the Town of Yorktown, as herein set forth, to simultaneously with the approval of a site plan or subdivision map, pursuant with this article, modify applicable provisions of Chapter 300 subject to the conditions set forth in this article and such other reasonable conditions as the Town Board of the Town of Yorktown may, in its discretion, add thereto.
- B. An applicant desiring to use the standards set forth in this article shall file with the Town Board a written request for authorization for consideration and review under the overlay district, which shall include a detailed statement setting forth the nature of modifications, changes or supplementation of existing underlying zoning provisions and the reasons in support of those changes or modifications. Said statement shall include the manner in which such modifications, changes or supplementations of existing zoning provisions will benefit the Town and will further the economic development, public health, safety, or welfare of the community. The applicant shall also file plans and other drawings, sketches, or renderings necessary to understand and consider the proposed project. The town board shall consider the request and evaluate the project for such authorization. The Town Board, at its discretion, may refer the request, plans, and other documentation to other Boards,

departments or agencies for comment and recommendation. The Town Board may hold a public hearing in accordance with Chapter 205 of the Town Code.

The Town Board shall make a determination whether to authorize the project for consideration under the overlay district after making the following determinations:

- 1) That the project is consistent with the general goals of the Comprehensive Plan;
- 2) That the project will not likely be detrimental to the character of its immediate neighboring properties, or the district and town at large;
- 3) That the scope of the project will not likely cause operational difficulties on the site that have potential to negatively affect the health, safety, and welfare of the public;
- 4) That the town's infrastructure is capable of servicing the project or that the impacts or deficiencies of the infrastructure can be appropriately mitigated;
- 5) That the project will eliminate a blight or potential blight within the district;
- 6) That the project is consistent with the goals and intent of the overlay district;
- 7) That the project is consistent with the requirements of the overlay district and does not exceed the limitations or requirements set forth therein;
- 8) That the project is likely to contribute to the economic development of the district and the town at large.

The Town Board need not find all of the foregoing to authorize the project, provided it sets forth a reasoned elaboration of its findings respecting each of the listed attributes. The Town Board shall adopt a resolution authorizing or denying the project to be considered under the overlay district, and shall attach thereto any conditions it finds necessary to maintain the highest standards that are represented by the intent and goals of the overlay district regulations. Projects that are authorized by the Town Board shall be referred, together with the authorizing resolution, to the Planning Board for site plan review and approval.

- C. Once a project has been authorized for review and approval under this Article by the Town Board, the applicant shall file with the Planning Board the application and plans required for site plan or subdivision review and approval as set forth in Chapter 195, Land Development. The Town of Yorktown Signage ordinance manual shall govern all matters relating to signs within each overlay zone. Such application and plans shall have clearly marked upon their face that said plan is for development in accordance with the standards or this Article. The applicant may be required, at various stages of the planning process, to further justify his request to use the standards and procedures set forth herein.
- D. The Recreation Requirements as set forth within this Chapter and the Town of Yorktown Town Code shall remain applicable to the provisions of this Article.

§ 300-252 Conflicting provisions.

In the event that any provisions of this article shall be inconsistent or in conflict with the other provisions of this Chapter, then the provisions of this article shall prevail and be complied with.

§ 300-253 Development Incentives.

The following list of Development Incentives may be applied by the Planning Board to any project filed under this Article. In the event the Applicant includes “green-building” standards as recognized by the United States Green Building Council (“USGBC”) and the recognized Leadership in Energy and Environmental Design (“LEED”) standards, the Applicant will be granted priority in approval and shall not be limited in its requests for any and all of the incentives set forth below. In addition, an Applicant bringing forth a proposal that would qualify for LEED certification (though no certification is required) shall be entitled to propose additional incentives, not listed below, to be considered as part of the site plan approval process under this Article. The incentives adopted herein are as follows:

1. Priority of application review and agenda placement.
2. Enhanced staff guidance, including additional staff meetings, throughout the approval process.
3. Relief from area and bulk requirements, parking requirements upon demonstration of proximity to downtown pedestrian access and public transportation, or a social, cultural or economic need or benefit.
4. In the event an Applicant agrees to make infrastructure improvements that benefit the Town to an extent greater than what is required by the conditions of this Article, the Planning Board may grant incentives in relation to density, area and bulk requirements and including parking relief.
5. In the event an Applicant provides real-property or rentable square footage to the Town, the Planning Board may grant incentives in relation to density, area and bulk requirements and including parking relief.

§ 300-254 Flexibility Standards; Area and Bulk Requirements

1. The Planning Board, in considering an application for site plan or subdivision approval within any Planned Design District Overlay Zone, shall be guided by but shall not be strictly bound by the considerations and standards within the underlying zone in which a proposed project exists, as amended, and as applicable to each Planned Design District, upon which the Planning Board shall be the approval authority as set forth herein. In general, these standards shall be deemed to be the minimum requirements for the convenience, economic benefit, health, safety and welfare of the Town and in compliance with the Comprehensive Plan.
2. In the course of project site plan review, as required by this article and SEQRA, the Planning Board may, pursuant to its stated purposes, vary the zoning requirements as to open space requirements, lot area, lot frontage, side yard requirements, front and rear yard requirements, maximum allowable coverage, parking regulations, building heights, floor area ratios, unit density per acre, off-street parking and loading spaces, and all bulk regulations in connection with a specific plan of development on a specific parcel of land in any Planned Design District, and other matters related to the siting and construction of

improvements listed in the Schedule of Regulations, provided that the Planning Board shall determine that such variations are in the public interest and necessary in order to foster high-quality development and redevelopment, are in compliance with the general purpose and intent of this Chapter, and will ensure compatibility with uses on adjoining properties. In no case shall the variation of any requirement be greater than 60% of said requirement, unless otherwise stated in §300-255 through §300-259. Such variations shall apply only to the particular site plan and proposals thereon which are under review and shall not apply to the maximum FAR.

3. The Planning Board may adjust the regulations and reduce the procedural requirements in accordance with this Section to implement the Intent and Purpose of this Article so that the public interest is secured, provided that any such adjustment or procedural modification will not have the effect of nullifying the spirit and intent of this Article.

§ 300-255 Yorktown Heights Planned Design District Overlay Zone

Purpose and intent. The Yorktown Heights Planned Design District consists of the parcels and rights-of-way within the boundary shown on as shown on the zoning map of the Town of Yorktown. This area was once the center of commerce in the town, was redeveloped during urban renewal to accommodate automobile centered life with many large commercial buildings and large paved parking areas. Many of these buildings are now vacant as lifestyles and buying habits transition to digital consumerism making this area ripe for other types of redevelopment. The intent of this overlay zone is to encourage a walkable hamlet-style development that is both a commercial and community center that better serves the needs of its residents and surrounding neighborhoods. Further, the Town Board notes that the Yorktown Heights hamlet supports several developments such as the Underhill Apartments the Kear Street Apartments and the Beaver Ridge Apartments, which were built with densities exceeding the multi-family R-3 zoning district regulations, and these developments do not exhibit adverse impacts related to their density. The Yorktown Heights hamlet business center is able to support appropriate density above that shown in the R-3 zone. It is the intent of this legislation to promote development of appropriate densities that will support the downtown, promote economic development, and increase housing types within town, while also improving the walkability and quality of open spaces. Specifically, the following objectives are encouraged:

1. Phase out of incompatible, nonconforming uses and signs.
2. Construction of attractive building facades along Commerce Street, Downing Drive, Veterans Road, Kear Street, and Underhill Avenue with off-street rear parking lots.
3. Transportation design that emphasizes Complete Street design methods and practices and that includes the pedestrian and bicycle experience to encourage users of the North County Trailway, connected town trailways, and the disabled to be able to move through the overlay zone safely.
4. Creation of off-street parking lots for shared parking between adjoining and neighboring principal uses.

5. Application of enhanced street access, building design, off-street parking, landscaping and buffering controls by the Planning Board to enhance the physical appearance of properties in the Yorktown Heights Planned Design District Overlay Zone.
6. Development of multi-family residential uses not to exceed three stories, unless otherwise stated herein.
7. Creation of mixed-use space that includes live-work space or professional office use in a residence pursuant to §300-76.

A. Permitted Main Uses.

1. The same main uses permitted in the underlying zone in which the subject property lies.
2. Mixed-use development.
3. Multi-family and town-house style residential development.
4. Live-work unit developments
5. Stores or shops for the conduct of retail business, bank, post office, restaurant and other places serving food and beverages, professional and business offices, and personal service establishments, including the grooming of house pets, except that no use shall be permitted where any part of the service is conducted outside the premises unless a special use permit has been issued by the Planning Board after due notice and public hearing.
6. Government buildings and uses.
7. Community based uses for senior citizens.

B. Permitted Uses by Special Permit

1. The same Special uses permitted by the underlying zone in which the subject property lies.
2. Boutique hotels in accordance with the regulations set forth in §300-52

C. Permitted Accessory Uses.

1. The same permitted accessory uses allowed in the underlying zone in which the subject property lies.
2. Signs as approved on the site plan.
3. Outdoor public gathering places.

D. Permitted Accessory Uses by Special Permit.

1. The same permitted accessory uses by special permit allowed in the underlying zone in which the subject property lies.
2. Outdoor dining and sidewalk cafés pursuant to §300-80.

E. Area and Bulk Requirements.

The area and bulk regulations for the Yorktown Heights Planned Design District Overlay Zone shall comply as follows:

1. Any project within a planned design district overlay zone and authorized by the Town Board to be considered under the regulations set forth herein shall remain subject to the discretion of the Planning Board set forth in §300-253 and §300-254 to modify the requirements due to the special circumstances of a particular project. The discretion granted in §300-253 and §300-254 is subject to the following requirements:
 - a. Area and Bulk requirements shall be as set forth in the underlying zone and subject to variations and limitations as set forth herein. For residential or mixed use residential projects the Planning Board may be guided by the area and bulk requirements of the R-3 multi-family zone and may apply variations to those requirements within the limitations set forth herein.
 - b. FAR shall be allowed up to, but may not exceed, 0.55;
 - c. Maximum height of building shall be as set forth in the underlying zone subject to variation of up to 25% and may not exceed three stories. Enclosed space may be allowed at roof level which may not exceed 50% of the area of the area of the roof.
 - d. Maximum height may be increased to 52 feet and a maximum of 4 stories provided that the lot on which a project is proposed is a single contiguous lot that is a minimum of 10 acres in size.
2. [Reserved]
3. [Reserved]

F. Design Requirements.

In addition to any other design regulations provided in this Code, the following design guidelines shall apply to mixed-use buildings in the Yorktown Heights Planned Design District Overlay Zone:

1. Architectural Designs. All applicants shall adhere to the following guidelines for design standards of any renovation or new construction on a property within the Yorktown Heights Planned Design District:
 - a. Exterior renovations or additions to historic buildings shall make every effort to restore the original appearance to the exterior of the building, with modifications only as approved.
 - b. Acceptable architectural forms will include Colonial, Federal, Georgian, and Victorian styles. Exact duplicates of historic buildings are not required; however, designs should reflect a sense of historical styles at an appropriate scale.
 - c. Appropriate use of sheathing (exterior covering) and decorative details. All new construction will be in brick or wood, unless it is demonstrated to the Advisory Board on Architecture & Community Appearance that some other material may be more appropriate given extenuating circumstances of the project, such as an addition on an existing building. Modern sheathing techniques may be used as long as the overall appearance conveys use of traditional building materials.
 - d. The following materials are not preferred for use in the Yorktown Heights Planned Design District:
 - i. Prefabricated metal siding, typical of manufactured commercial buildings.
 - ii. Dryvit-faced buildings or similar stucco-type surfaces.

- iii. Prefabricated rock aggregate faced buildings.
 - iv. Concrete block faced buildings.
 - v. Tilt-up concrete panels.
 - vi. Ribbon glass, tinted glass panels as sheathing, or tinted glass windows, windows that appear to be frameless.
- e. Unique Buildings. All applicants for renovation of a unique building or new construction on a property on which exists a unique building within the Yorktown Heights Planned Design District shall be required to submit plans that respect the precedents and styles that relate to the early history of the Town. All plans must be in keeping with these guidelines for:
- i. Existing unique buildings. For any proposal that includes an existing unique building whether to be modified or not, the applicant shall provide information concerning the original design of the building and the modifications that have taken place to the building. Every effort shall be made to restore the original appearance of the exterior of the building, with modifications only as considered appropriate by the Advisory Board on Architecture and Community Appearance and the Heritage Preservation Commission, should the unique building be a Designated Landmark.
 - ii. Design elements. All proposed improvements to buildings shall be evaluated by the Advisory Board on Architecture and Community Appearance for the appropriateness of the improvement in terms of the following design elements:
 - (a) Overall design and cohesiveness;
 - (b) Appropriate use of exterior sheathing and decorative details;
 - (c) Window and door configuration; and
 - (d) Setbacks and parking areas and site plan considerations.
2. Signage. The following types of signs shall be preferred in the Yorktown Heights Planned Design District Overlay Zone as outlined in the Town of Yorktown Signage ordinance Manual.
- a. Sign designs should utilize historically-referenced styles, colors, and materials to create attractive, functional, legible signs that can further enhance the town's character.
 - b. Freestanding signs should be monument signs. Using brick piers or bases with uplighting is encouraged.
 - c. Building sign designs should enhance and accent the architecture and character of the building. Signs should not block or dominate the building façade.
 - d. Building signs, painted wood signs or awning signs that are coordinated with the style, shape, color, and scale of the building are preferable to internally lit 'box signs'.
3. Site Planning and Design. Every effort shall be made to maintain and encourage designs and layouts that enhance the pedestrian experience of the Town within the Yorktown Heights Planned Design District Overlay Zone:

- a. Loading docks, overhead doors, and other service entries shall be screened and not be located facing primary street facades.
- b. Applicants shall be encouraged to contribute to the public spaces Lighting fixtures and street furniture installed along public rights-of-way shall match the Yorktown Heights streetscape design plan to visually link the overlay zone.
- c. Landscaping. Landscaping shall be provided to create attractive facades and screen views of parking, loading, and refuse areas from the property frontage and from residential uses.
- d. Parking shall not be located in the front yard unless this requirement is waived by the Planning Board due to the special circumstances of a particular site.
- e. Shared parking and conservation parking spaces shall be encouraged wherever possible to reduce unnecessary underutilized parking areas.
- f. Sidewalks. All sidewalks shall be properly maintained in accordance with Town regulations. All new property developments and redevelopments must provide sidewalks along any property lines that front on public streets, unless this requirement is waived by the Planning Board due to the special circumstances of a particular site. Internal sidewalks will be provided as deemed appropriate by the Planning Board.

G. Access to Site; Off-Street Parking.

- 1. The required parking for residential units is 1.5 parking spaces per dwelling unless modified by the Planning Board.
- 2. The required parking for commercial uses shall be as required by §300-182 unless modified by the Planning Board due to special circumstances of a particular site including, but not limited to:
 - a. The use of shared parking between different uses on the same site and/or shared parking between adjacent properties.
 - b. The use of conservation parking spaces.
 - c. The availability of on-street parking or public parking within close proximity to the site.
 - d. Variation in the probable time of maximum use of differing uses on the same site.

H. Recreation.

The required recreation for multi-family units built within mixed use development projects shall be as required in the R-3 zone except that the Planning Board may modify this requirement due to special circumstances of a particular site and the proximity of the site to nearby public recreation.

I. Plan of Development.

No building permit or certificate of occupancy for any building designed for multi-family mixed-use residential developments, town-house style residential developments, stores or shops for the conduct of retail business, or professional and business office developments within the Yorktown Heights Planned Design District Overlay Zone shall be issued, except in accordance with a plan of development or amendment thereof approved by the Planning Board, and after said approved plan of development, signed and certified by the Chairperson of the Planning Board is issued and filed in the records of the Town.

J. Official submission and review of plan.

The Planning Board shall take action within 62 days of the submission to it of the plan of development. The site plan shall be considered officially submitted only when all the required surveys, plans and data in accordance with the requirements of Chapter 195, Land Development described in the above sections have been checked for completeness by the Town Engineer and Director of Planning and filed with the Planning Board.

K. Unique buildings.

The Town Board acknowledges that there are unique buildings holding historical value within the Town and the Board may, in its discretion, designate a building as a unique building upon under its own incentive or referral by the Advisory Board on Architecture and Community Appearance. Modifications necessary to accommodate a new use will be permitted; however, it is the intention to require that all project plans retain original features of the buildings, including window type and configuration, front entries, storefronts (if applicable), and identifying decorative details, including those that provide a historical reference to the original use of the building. This provision shall be in addition to the the requirements of Chapter 198: Heritage Preservation, should a unique building be a Designated Landmark.

The Town Board hereby designates the following buildings in this Yorktown Heights Planned Design District as unique buildings:

322 UNDERHILL AVENUE (Spadaccia Insurance building now Westchester Health)

c. 1890. Wood shingle residence converted to offices. Large center chimney (parged); projecting pedimented gable over 2nd floor bay window; rear 1-story ell; 3 front gable dormers.

360 UNDERHILL AVENUE - Former home of Edward Kear aka The Grace Building
c. 1890. This onetime home of Edward Kear, who served as Town Supervisor for thirteen years, is one of the last of the grand Victorian homes that were built around the town center that the railroad established in the late 19th century, and in January of 2017 was named a Home of Historic Distinction by the Yorktown Landmarks Preservation Commission.

363 UNDERHILL AVENUE – Town Hall

Yorktown's town hall was built in 1935 at the corner of Underhill Avenue and Saw Mill River Road (Route 118) during the administration of Supervisor Theodore Hill. The police department and the town court, once housed here, were moved at different times to other facilities. Additional

wings were built on either side of the original building in [insert date]. The building is colonial revival style with brick faced concrete walls and a slate roof.

366 UNDERHILL AVENUE - Coldwell Banker building

c. 1890. Gothic Revival. Brick center chimney; gabled side ell; Doric columns on front porch; bay window on 1st floor front facade; one-story hipped extension front on left rear corner.

370 UNDERHILL AVENUE - Captain Underhill House

Completed in 1881, the Captain Underhill Manor & Estate. The estate was most recently used by the Soundview Preparatory private school. Prior to the school the farmhouse was used by the Gilbert Beaver conference center.

1803 COMMERCE STREET (Dubovsky)

c. 1870. 2-bay storefront (4 bays deep) addition w/2 sets of triple windows, flat roof (now vacant); house resided w/metal

1807 COMMERCE STREET (Trailside Café)

c.1870. Colonial Revival storefront addition c. 1950; stucco; parapet wall has been covered w/vinyl; upper windows on storefront replaced.

1811 COMMERCE STREET (Wishes)

c. 1930. Tudor Revival. ½ timbering w/half circle design on front attic level; wood shingle pent over store front windows; side ell for stairway to 2nd floor apts.; fully exposed brick side wall chimney; 1-story rear ell; sunburst pattern in side gable peak & on front of side ell stairwell.

1826 COMMERCE STREET – Yorktown Heights Railroad Station

The Yorktown Heights Railroad Station was built around 1878 as part of the Old Putnam Line of the New York & Northern Railroad. By 1914, the New York Central Railroad and its Putnam Division operated the line from High Bridge to Brewster. The last passenger train ran on the Old Put line on Thursday, May 29, 1958 and the last freight movement picked up an empty box car at Creed Brothers lumber yard in Yorktown Heights on September 17, 1962. By spring of 1963, the rails were removed. Since that time, the abandoned railroad bed was sold to New York State and the station building was acquired by the town's urban renewal agency. The station building has been designated a Local (1976), State (1981), and Federal (1981) Landmark. The station became the center of Railroad Park and has gone through several refurbishment attempts. A complete restoration of the building was finally completed in July of 2020. The station building is the last remaining building of its unique design on the Old Putnam Line.

1932 COMMERCE STREET – Conciatori Building/Emilio's Castle aka Starbucks Coffee
c. 1920. Small side ell, left c.2000. False brick endwall chimneys; granite block door & window surrounds; rear extension that once housed service station stalls.

1952 COMMERCE STREET (former Mulvey Realty, corner of Commerce & Veterans) c. 1920. Last remaining wood Victorian era home along Commerce Street.

1974 COMMERCE STREET – Albert A. Capellini Community & Cultural Center
Although not within the planned design district boundaries, the former Central School District #2 building is a Town Designated Landmark that is a significant part of the fabric of Yorktown Heights. Originally built in 1923, the school district added a north wing in 1927 and a south wing and gymnasium was added in 1935. The auditorium/theater was completed in the rear of the school between 1954 and 1955. In 1975 the school was closed due to declining enrollments and new schools built in other parts of the community. In July of 1980, the town acquired the old school building to use for several town offices and a community center. In 2019, the town designated the building as a Local Landmark. The structure has exterior walls of masonry, terracotta block and brick facing, with plaster interior finish.

§ 300-256 Lake Osceola Development Overlay Zone

Purpose and Intent. The Lake Osceola Development Design District shall consist of the parcels and rights-of-way within the boundary shown on the map set forth here as Attachment [TBD]. The purpose of this section shall be to implement the goals of this Article and to promote and ensure that the Jefferson Valley Mall remains a viable economic engine and center of retail and restaurant activity while enhancing the recreational and tourism activities and opportunities provided by the lakefront. The Jefferson Valley Mall has been major regional shopping destination and this Article and specifically this overlay-zone will facilitate the region’s continued success. Additionally, while providing for the continued health of the Mall, this section shall also offer incentives for the transformation of Hill Boulevard into a walkable “main-street” attraction by expanding public transportation options and opening increased access to the recreational and tourism opportunities offered by the lakefront. The consistent goals of this Article are to strengthen the economic health of the hamlets within the Town.

A. Permitted Main Uses.

1. The same main uses permitted in the underlying zone in which the subject property lies.
2. The same main uses permitted in the CR (Commercial Recreation) zone.
3. Mixed-use development.
4. Multi-family residential development.
5. Live-work unit developments
6. Stores or shops for the conduct of retail business, bank, post office, restaurant and other places serving food and beverages, professional and business offices, and personal service establishments, including the grooming of house pets, except that no use shall be permitted where any part of the service is conducted outside the premises unless a special use permit has been issued by the Planning Board after due notice and public hearing.

B. Permitted Main Uses by Special Permit

1. The same Special uses permitted by the underlying zone in which the subject property lies.
- 2.

C. Permitted Accessory Uses.

1. The same permitted accessory uses allowed in the underlying zone in which the subject property lies.
2. Signs as approved on the site plan.
3. Outdoor public gathering places.

D. Permitted Accessory Uses by Special Permit.

1. The same permitted accessory uses by special permit allowed in the underlying zone in which the subject property lies.
- 2.

E. Area and Bulk Requirements.

The area and bulk regulations for the Lake Osceola Planned Design District Overlay Zone shall comply as follows:

1. Any project within a planned design district overlay zone and authorized by the Town Board to be considered under the regulations set forth herein shall remain subject to the discretion of the Planning Board set forth in §300-253 and §300-254 to modify the requirements due to the special circumstances of a particular project. The discretion granted in §300-253 and §300-254 is subject to the following requirements:
 - a. Area and Bulk requirements shall be as set forth in the underlying zone and subject to variations and limitations as set forth herein. For multi-family residential or mixed-use residential projects the Planning Board may be guided by the area and bulk requirements of the R-3 multi-family zone and may apply variations to those requirements within the limitations set forth herein.
 - b. FAR. shall be allowed up to, but may not exceed, 0.55;
 - c. Maximum height of building shall be as set forth in the underlying zone subject to variation of up to 25% and may not exceed three stories.

F. Design Requirements.

In addition to any other design regulations provided in this Code, the following design guidelines shall apply to mixed-use buildings in the Lake Osceola Planned Design District Overlay Zone:

1. Architectural Designs. All applicants shall adhere to the following guidelines for design standards of any renovation or new construction on a property within the Lake Osceola Planned Design District:

- a. Exterior renovations or additions to historic buildings shall make every effort to restore the original appearance to the exterior of the building, with modifications only as approved.
- b. Acceptable architectural forms will include Colonial, Federal, Georgian, and Victorian styles. Exact duplicates of historic buildings are not required; however, designs should reflect a sense of historical styles at an appropriate scale.
- c. Appropriate use of sheathing (exterior covering) and decorative details. All new construction will be in brick or wood, unless it is demonstrated to the Advisory Board on Architecture & Community Appearance that some other material may be more appropriate given extenuating circumstances of the project, such as an addition on an existing building. Modern sheathing techniques may be used as long as the overall appearance conveys use of traditional building materials.
- d. The following materials are not preferred for use in the Lake Osceola Planned Design District:
 - i. Prefabricated metal siding, typical of manufactured commercial buildings.
 - ii. Dryvit-faced buildings or similar stucco-type surfaces.
 - iii. Prefabricated rock aggregate faced buildings.
 - iv. Concrete block faced buildings.
 - v. Tilt-up concrete panels.
 - vi. Ribbon glass, tinted glass panels as sheathing, or tinted glass windows, windows that appear to be frameless.
- e. Unique Buildings. All applicants for renovation of a unique building or new construction on a property on which exists a unique building within the Jefferson Valley Planned Design District shall be required to submit plans that respect the precedents and styles that relate to the early history of the Town. All plans must be in keeping with these guidelines for:
 - iii. Existing unique buildings. For any proposal that includes an existing unique building whether to be modified or not, the applicant shall provide information concerning the original design of the building and the modifications that have taken place to the building. Every effort shall be made to restore the original appearance of the exterior of the building, with modifications only as considered appropriate by the Advisory Board on Architecture and Community Appearance and the Heritage Preservation Commission, should the unique building be a Designated Landmark.
 - iv. Design elements. All proposed improvements to buildings shall be evaluated by the Advisory Board on Architecture and Community Appearance for the appropriateness of the improvement in terms of the following design elements:
 - (a) Overall design and cohesiveness;
 - (b) Appropriate use of exterior sheathing and decorative details;
 - (c) Window and door configuration; and
 - (d) Setbacks and parking areas and site plan considerations.

4. Signage. Sign requirements shall be as required by the underlying zone. The following types of signs shall be preferred in the Lake Osceola Planned Design District Overlay Zone as outlined in the Town of Yorktown Signage ordinance Manual.
 - a. Sign designs should utilize historically-referenced styles, colors, and materials to create attractive, functional, legible signs that can further enhance the town's character.
 - b. Freestanding signs should be monument signs. Using brick piers or bases with uplighting is encouraged.
 - c. Building sign designs should enhance and accent the architecture and character of the building. Signs should not block or dominate the building façade.
 - d. Building signs, painted wood signs or awning signs that are coordinated with the style, shape, color, and scale of the building are preferable to internally lit 'box signs'.

5. Site Planning and Design. Every effort shall be made to maintain and encourage designs and layouts that enhance the pedestrian experience and experience of Lake Osceola, including enhancing views, providing public gathering spaces, and public use of the lake:
 - a. Development shall attempt to offer amenities that include use of or enhanced views of the lake. Lakefront properties should be encouraged to participate in a boardwalk or pedestrian walkway system when feasible.
 - b. Loading docks, overhead doors, and other service entries shall be screened and not be located facing primary street facades.
 - c. Applicants shall be encouraged to contribute to the public spaces. Lighting fixtures and street furniture installed along public rights-of-way shall match to visually link the overlay zone.
 - d. Landscaping. Landscaping shall be provided to create attractive facades and screen views of parking, loading, and refuse areas from the property frontage and from residential uses.
 - e. Parking shall not be located in the front yard unless this requirement is waived by the Planning Board due to the special circumstances of a particular site.
 - f. Shared parking and conservation parking spaces shall be encouraged wherever possible to reduce unnecessary underutilized parking areas.
 - g. Sidewalks. All sidewalks shall be properly maintained in accordance with Town regulations. All new property developments and redevelopments must provide sidewalks along any property lines that front on public streets, unless this requirement is waived by the Planning Board due to the special circumstances of a particular site. Internal sidewalks will be provided as deemed appropriate by the Planning Board.

G. Access to Site; Off-Street Parking.

1. The required parking for residential units is 1.5 parking spaces per dwelling unless modified by the Planning Board.
2. The required parking for commercial uses shall be as required by §300-182 unless modified by the Planning Board due to special circumstances of a particular site including, but not limited to:

- a. The use of shared parking between different uses on the same site and/or shared parking between adjacent properties.
- b. The use of conservation parking spaces.
- c. The availability of on-street parking or public parking within close proximity to the site.
- d. Variation in the probable time of maximum use of differing uses on the same site.

H. Recreation.

The required recreation for multi-family units built within mixed use development projects shall be as required in the R-3 zone except that the Planning Board may modify this requirement due to special circumstances of a particular site and the proximity of the site to nearby public recreation.

I. Plan of Development.

No building permit or certificate of occupancy for any building designed for multi-family mixed-use residential developments, town-house style residential developments, stores or shops for the conduct of retail business, or professional and business office developments within the Jefferson Valley Planned Design District Overlay Zone shall be issued, except in accordance with a plan of development or amendment thereof approved by the Planning Board, and after said approved plan of development, signed and certified by the Chairperson of the Planning Board is issued and filed with the Town Clerk in the records of the Town.

J. Official submission and review of plan.

The Planning Board shall take action within 62 days of the submission to it of the plan of development. The site plan shall be considered officially submitted only when all the required surveys, plans and data in accordance with the requirements of Chapter 195, Land Development described in the above sections have been checked for completeness by the Town Engineer and Director of Planning and filed with the Planning Board.

K. Unique buildings.

The Town Board acknowledges that there are unique buildings holding historical value within the Town and the Town Board may, in its discretion, designate a building as a unique building under its own incentive or upon referral by the Advisory Board on Architecture and Community Appearance. Modifications necessary to accommodate a new use will be permitted; however, it is the intention to require that all project plans retain original features of the buildings, including window type and configuration, front entries, storefronts (if applicable), and identifying decorative details, including those that provide a historical reference to the original use of the building. This provision shall be in addition to the the requirements of Chapter 198: Heritage Preservation, should a unique building be a Designated Landmark.

The Town Board hereby designates the following buildings in this Jefferson Valley Planned Design District as unique buildings:

466 EAST MAIN STREET

A gothic revival style wood frame structure built in 1861 and once known as Bailey’s Lodge.

3642 HILL BOULEVARD – LOURDES BUILDING

Built in 1975, the shopping center with large mansard roof is part of the unique character of the Jefferson Valley hamlet.

§ 300-257 [Reserved]

§ 300-258 [Reserved]

§ 300-259 [Reserved]

§ 300-260 [Reserved]

§ 300-261 [Reserved]

Section III. Severability.

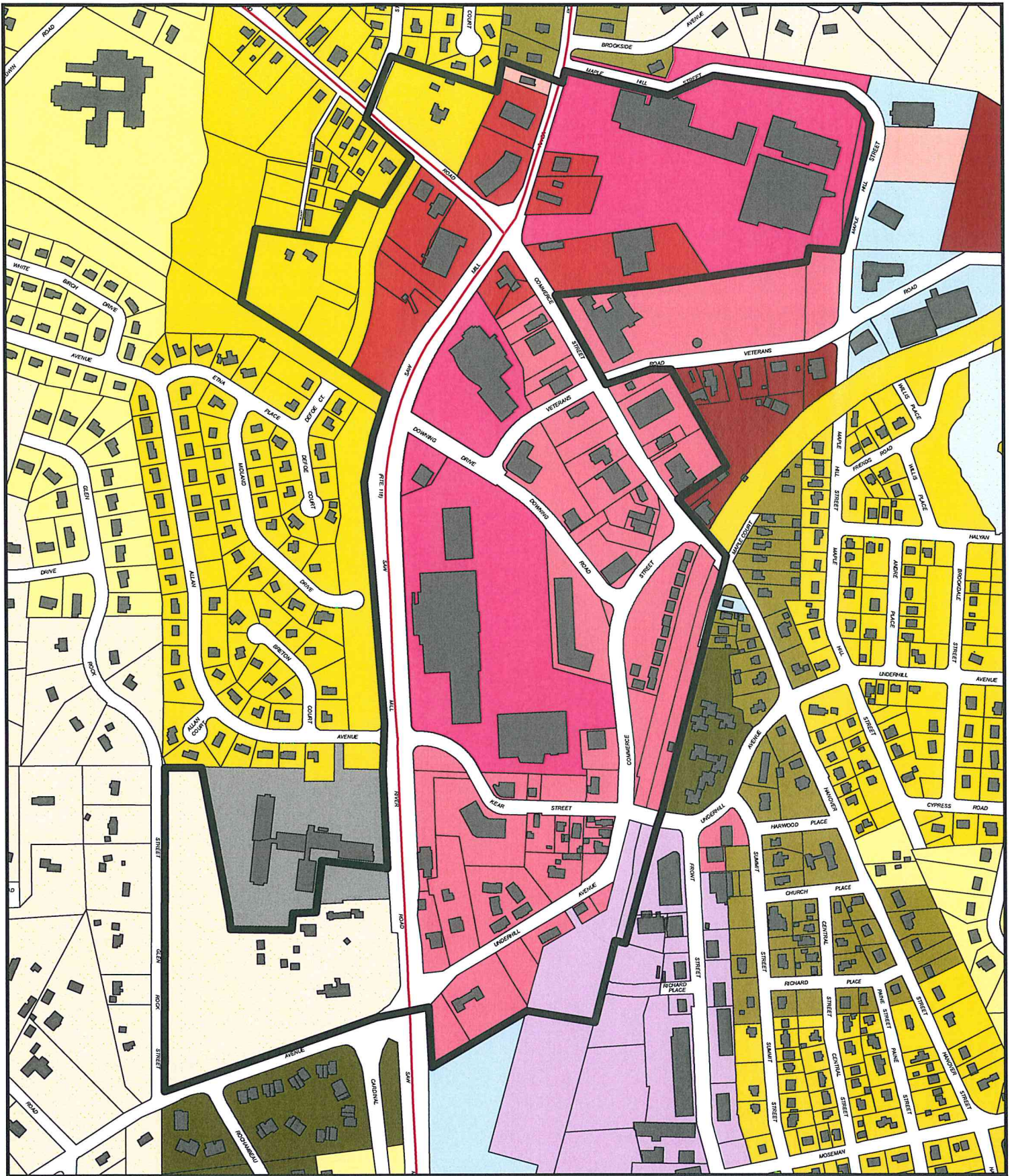
If any clause, sentence, phrase, paragraph or any part of this local law shall for any reason be adjudicated finally by a court of competent jurisdiction to be invalid, such judgment shall not affect, impair or invalidate the remainder of this local law, but shall be confined in its operation and effect to the clause, sentence, phrase, paragraph or part thereof, directly involved in the controversy or action in which such judgment shall have been rendered. It is hereby declared to be the legislative intent that the remainder of this local law would have been adopted had any such provisions been excluded.

Section IV. Repeal

All ordinances, local laws and parts thereof inconsistent with this Local Law are hereby repealed to the extent of such inconsistency.

Section V. Effective Date.

This local law shall become effective upon filing in the office of the Secretary of State in accordance with the provisions of the Municipal Home Rule Law.



TOWN OF YORKTOWN PLANNING DEPARTMENT
 Albert A. Capellini Community & Cultural Center
 1974 Commerce Street, Yorktown Heights, NY 10598
 (914) 962-6565, www.yorktownny.org/planning



0 250 500 Feet



1 inch = 500 feet

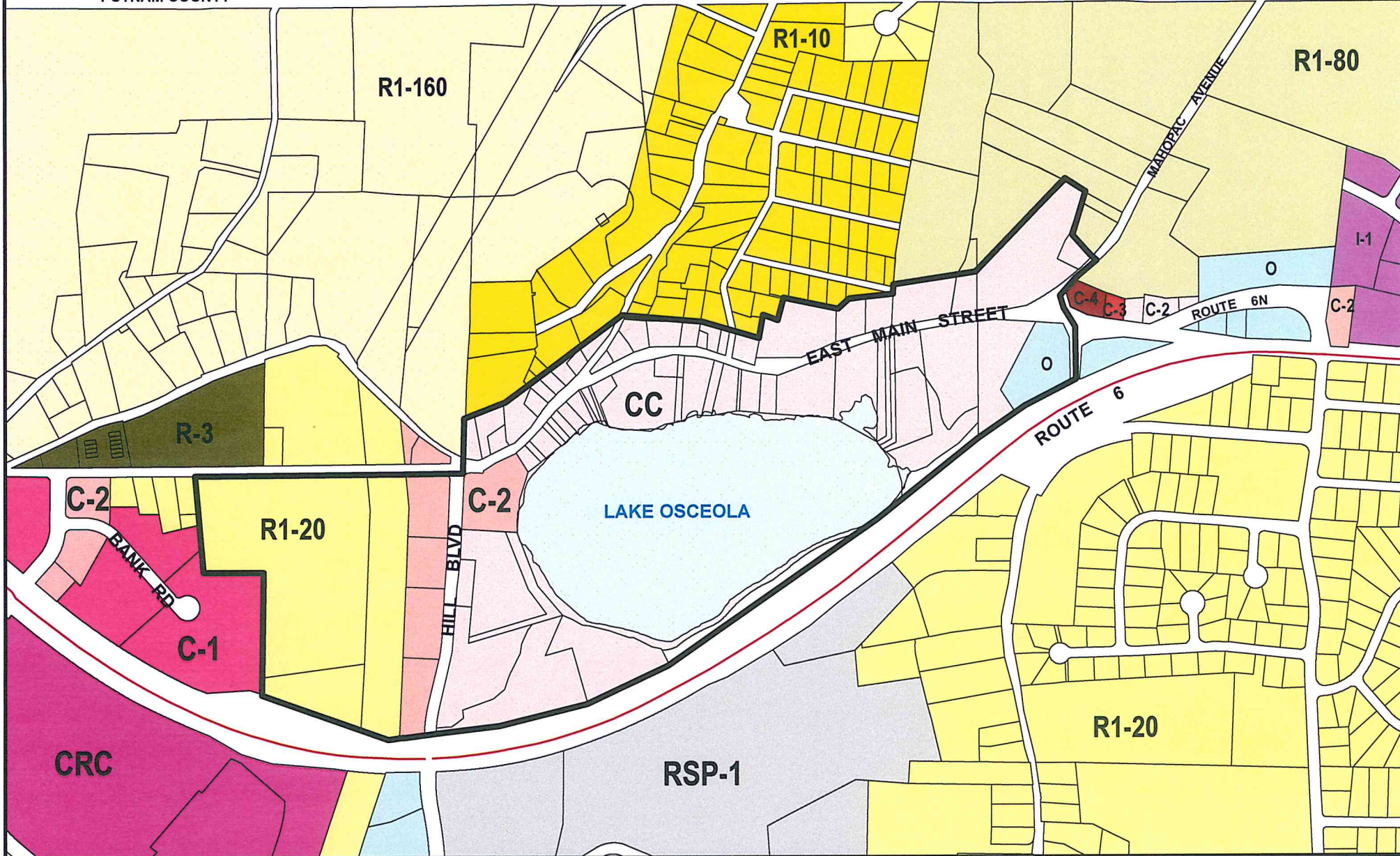
TITLE: Yorktown Heights Planned Design District
 DATE: March 4, 2021

FILE: F:\ArcGIS\PROJECTS\Overlay Districts\Yorktown Heights.mxd
 BY: RAS

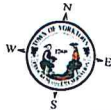


Yorktown Heights Planned Design District Boundary

Source: Town of Yorktown GIS 2020.



TOWN OF YORKTOWN PLANNING DEPARTMENT
 Albert A. Capellini Community & Cultural Center
 1974 Commerce Street, Yorktown Heights, NY 10598
 (914) 962-6565, www.yorktownny.org/planning



0 350 700 1,400 Feet



1 inch = 700 feet

TITLE: Lake Osceola Development Overlay Zone
 DATE: March 4, 2021

FILE: F:\ArcGIS\PROJECTS\Overlay Districts\Lake Osceola.mxd
 BY: RAS

Sources: Town of Yorktown GIS.

*Full Environmental Assessment Form
Part 1 - Project and Setting*

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Proposed Planned Design District Overlay Zones		
Project Location (describe, and attach a general location map): Areas as designated by the Town Board in the Town of Yorktown		
Brief Description of Proposed Action (include purpose or need): The Town Board has determined that there is a need throughout the Town of Yorktown to encourage and establish further economic development. To stimulate that growth and provide for revitalization, the Town requires the use of smart-growth techniques capable of creating smarter, less wasteful, and more economically efficient development patterns. Specifically, the Town needs flexibility in land uses which bolster economic development by providing not only a diverse array of commercial businesses, but mixed-use residential and commercial parcels to both provide abundant job opportunities and contribute to the local tax base. The Proposed Action is to create a new Article XXXI in the Town of Yorktown Town Code entitled Planned Design District Overlay Zones giving the Town Board the authority to designate areas within the Town of Yorktown as Planned Design District Overlay Zones. This article would allow the Town Board to adopt subsequent subsections to regulate the location, design, occupancy, and use of the structures and the use of land within each of the designated districts.		
Name of Applicant/Sponsor: Town of Yorktown Town Board	Telephone: 914-962-5722 x200	E-Mail: supervisor@yorktownny.org
Address: 363 Underhill Avenue		
City/PO: Yorktown Heights	State: NY	Zip Code: 10598
Project Contact (if not same as sponsor; give name and title/role): John Tegeder, Director of Planning	Telephone: 914-962-6565 x326	E-Mail: jtegeder@yorktownny.org
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board	
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
various

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Yorktown, Lakeland

b. What police or other public protection forces serve the project site?
Yorktown

c. Which fire protection and emergency medical services serve the project site?
Mohegan Lake, Yorktown

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Mixed use

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

- ii. If Yes:
- Total number of phases anticipated _____
 - Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 - Anticipated completion date of final phase _____ month _____ year
 - Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No

If Yes,

- i. Total number of structures _____
- ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
- iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No

If Yes,

- i. Purpose of the impoundment: _____
- ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

- iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
- v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No

If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)

ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

- If to surface waters, identify receiving water bodies or wetlands: _____
- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
- _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>		
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>		
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>		
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>		
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ </td> </tr> </table>	<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input type="checkbox"/> No <ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ _____ _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ feet	
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site: _____ % _____ % _____ %	
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input type="checkbox"/> Poorly Drained _____ % of site	
f. Approximate proportion of proposed action site with slopes: <input type="checkbox"/> 0-10%: _____ % of site <input type="checkbox"/> 10-15%: _____ % of site <input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____ _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input type="checkbox"/> No	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
• Streams: Name _____ Classification _____	
• Lakes or Ponds: Name _____ Classification _____	
• Wetlands: Name _____ Approximate Size _____	
• Wetland No. (if regulated by DEC) _____	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input type="checkbox"/> No	
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Name of aquifer: _____	

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
i. Describe the habitat/community (composition, function, and basis for designation): _____ _____	
ii. Source(s) of description or evaluation: _____	
iii. Extent of community/habitat:	
<ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
i. Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No
 If Yes:
 i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District
 ii. Name: _____
 iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No
 If Yes:
 i. Describe possible resource(s): _____
 ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No
 If Yes:
 i. Identify resource: _____
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____
 iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No
 If Yes:
 i. Identify the name of the river and its designation: _____
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

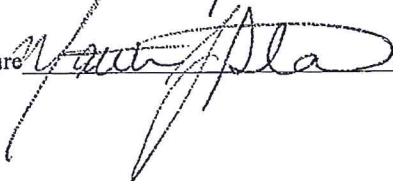
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name MATHEW J. SLATER Date 9/25/2020

Signature  Title TOWN SUPERVISOR

Memo

TO: Planning Board
FROM: Susan Siegel
RE: Proposed Overlay Law
DATE: April 8, 2021

The proposed Overlay Law includes

1. Some major changes to the “framework” law that was adopted in November, 2020
2. Specific language and boundary maps for two overlay districts: Yorktown Heights and Lake Osceola/Jefferson Valley.

This memo and two attachments, a red lined version of the law and excerpts of a Town of Poughkeepsie overlay law, highlight some general issues you might find helpful as you review the proposed law. The memo is coming from me personally.

Framework portion of the law

The proposed law changes the process by which a specific application can be considered for overlay status.

The November law gave the Planning Board the authority to apply the overlay standards to specific applications for properties within a designated overlay district. The proposed law sets up a different, multi-step process. (See comment in redlined version.)

- The Town Board adopts an overlay district with specific boundaries.
- A property owner within the district submits a conceptual plan to the Town Board and requests Town Board authorization to apply overlay standards.
- If Town Board grants overlay designation, application moves to Planning Board for site review and approval.

Issues to consider

- By adopting a district overlay map that includes properties in an overlay district without the need for a specific development plan, the Town Board has effectively already made the decision that overlay status is warranted for those properties. So why is this second “authorization” step needed?
- Under the proposed law, when the Town Board considers authorizing the use of overlay standards,
 - It does not require referral of the conceptual plan to the Planning Board or other advisory boards for review and recommendations.
 - It does not require the Town Board to hold a public hearing before authorizing overlay status
 - The language on what documents/information the Town Board will rely on to make its decision is vague; basically whatever the Town Board says it wants.
- There are other, cleaner approaches, to creating and approving overlay laws, options the Town Board appears never to have considered. Has the train already left the station? Is it too late for the Planning Board to suggest the Town Board consider a simpler approach, e.g., like the Town of Poughkeepsie. See attached.

Overlay or rezoning

- When does an overlay designation become a de facto rezoning? The Planning Director has publicly stated that the overlay designation does constitute a rezoning.
- When the density and uses on a parcel so greatly vary from the underlying zone, does a law that says the underlying zone remains in place make sense?
 - For example, the Soundview property: When 165 residential units and 20,000 sf of commercial space are allowed on a 13.8 acre parcel zoned R1-40, how can the parcel still be considered a R1-40 zone?

SEQRA

- When should there be an initial SEQRA review, e.g., a Full EAF: before or after the Town Board makes a decision based on a conceptual plan, that a property is appropriate for a higher density and/or mixed use?
 - The proposed law would have the Town Board make the density/mixed use decision without a SEQRA review.
- The EAF submitted with the referral was prepared 9/25/2020 for the “framework” overlay law. It does not address the cumulative impacts of probable developments in the Yorktown Heights overlay district, e.g., Soundview, Yorktown Green, Gardena Hotel, Roma Building, and possible changes at the Triangle Shopping Center

PB constraints/flexibility during site plan review

- Although the proposed law gives the Town Board the authority to put conditions on its overlay authorization, (the nature of those conditions is not spelled out in the law), as written, the law still gives the Planning Board the ability to waive zoning regulations in accordance with the parameters of the overlay law.
 - Is this dual responsibility inconsistent and possibly confusing?
 - See §300-251 (Town Board Authority); §300-254 (Planning Board flexibility); §300-255 E (Yorktown Heights section: Planning Board flexibility on area and bulk regs.)
 - Could Town Board conditions limit the Planning Boards flexibility when reviewing the site plan – especially if the Planning Board had no early input on the appropriateness of the conceptual plan?
 - If no Town Board conditions, then what’s the value of having a Town Board review the conceptual plan? Window dressing?

Mixed use

- What exactly does mixed use mean in the context of the law?
 - The definition in the law is basically any non-residential use.
- Where is mixed use appropriate?
 - As used in the Comp Plan, mixed use refers to apartments above stores in the hamlets.
 - Does it mean allowing commercial uses in developments outside the business hamlet that are overwhelming residential?
 - And if so, what mixed uses would be appropriate? Should any be prohibited?

§ 300-255 Yorktown Heights Planned Design District Overlay Zone

Compliance with Comprehensive Plan

- Chapter 4: Economic Development of Comprehensive Plan does not recommend overlay district for the Yorktown Heights hamlet

- Overlay districts were considered for not already developed areas like Bear Mountain Triangle – which has seen several developments already built or approved since the Comp Plan was adopted.
- Map of proposed Yorktown Heights overlay district is inconsistent with Comp Plan map of Yorktown Heights business hamlet (Chapter 4.7)
 - Several boundary decisions appear to be arbitrary and capricious, e.g., why not include Veterans Road to Maple Hill? If promoting mixed use in hamlet, why not include older abutting residential properties north of Brookside or opposite The Weyant?
 - Soundview parcel WAS NOT included in the Plan’s Yorktown Heights business hamlet map.
 - Comp Plan Land Use Chapter 2 keeps Soundview property as R1-40.
 - The proposed area and bulk regulations are inconsistent with Comp Plan recommendations for mixed use PDDO districts (Table 2-18/Mixed Use)

Density

- Table 2-18 of Comp Plan states that in the PDDO-Mixed Use district, “All residential development would not be allowed to exceed the yield permitted by the underlying zone.” But the overlay law sets an FAR of 0.55 which is more than double existing FAR for R-3
- Current R-3 zoning has maximum of 12 units/acre. When was last time Planning Board or Town Board approved 12 units/acre in a non RSP zone?
- What was density in most recent multi-family rezonings: The Weyant, Crompond Terraces, Croton Overlook
- As there’s no FAR in current zoning code for commercially zoned properties, how does 0.55 FAR compare with current bulk regulations for commercial zones?

Mixed use

- With existing vacancies in Yorktown Heights hamlet, as well as the town’s other hamlets, and with changing economic patterns, does Yorktown Heights need 20,000 sf of additional commercial space – and an expansion of the boundaries of the business hamlet?
- Table 2-18 of Comp Plan states that the PDDO-Mixed Use district, “Must have a commercial core with a mix of small-scale shops and professional offices in a "Main Street" or "village center" environment. If present, this commercial core should build off of existing adjacent commercial areas.”
 - The Soundview plan does not meet these criteria.
- To what extent can Town Board or Planning Board limit and/or prohibit certain non-residential uses?

Open Space

- There are no provisions in the law requiring a set aside for open space.
- Should there be one?

Design requirements

- Sections dealing with specific materials and building styles are too specific and should be left to ABACA and eliminated from the law.

Recreation

- There is no requirement for recreation in mixed use plans, e.g., in C2-R zones like the proposed Nantucket Sound plan.

Treatment of historic/unique properties

- In general, this entire section is confusing and inconsistent with town's Landmark Preservation Law (Chapter 198).
- Specific buildings should be eliminated and dealt with under Chapter 198.
- See more detailed concerns from the Heritage Planning Commission.

§ 300-256 Lake Osceola Development Overlay Zone

Note. This section of the law has not been reviewed in detail, but many of the issues raised in the Yorktown Heights section would apply for this overlay district.

Boundary map

Although the initial district was limited to the area around Lake Osceola, the Town Board decided to extend the district boundary to include the "Hill" property that was recently the subject of a rezoning request to multi-family. The Town Board's decision was based on the conclusion that the Hill property and the Soundview property in the proposed Yorktown Heights overlay district should be treated the same way.

As noted in the Yorktown Heights comments above, the Soundview property should not be considered part of the Yorktown Heights overlay district. If the developer wants to develop the site for multi-family, he should file an application to rezone the property to R-3. The Hill property should be treated the same way.

But, if the Town Board wants to keep the Hill property in the overlay zone, then why not also include the 6+ acre parcel to the east of Coach and Four and across the road from the Hill parcel. Wouldn't that be a neater, cleaner boundary line?

If the goal of the overlay law is to strengthen the existing business hamlet, does it make sense to include more competing commercial space on the Hill property which lies between commercially zoned property on Hill and Lee Boulevards?

Note also that the current Town Board rejected the request to rezone the Hill property at a density of about 8 units/per acre. But the 0.55 FAR in the overlay law would allow for a far greater density. And allowing commercial development on the Hill property would compete with the existing businesses on Lee and Hill Boulevards. Does that make sense?

A LOCAL LAW to amend Chapter 300 of the Code of the Town of Yorktown entitled "ZONING"

Be it enacted by the Town Board of the Town of Yorktown as follows:

Section I. Statement of Authority.

This local law is authorized by the New York State Constitution, the provisions of the New York Municipal Home Rule Law, the relevant provisions of the Town Law of the State of New York, the laws of the Town of Yorktown and the general police power vested with the Town of Yorktown to promote the health, safety and welfare of all residents and property owners in the Town.

Section II. Article XXXI of Section 300 of the Code of the Town of Yorktown, entitled Planned Design District Overlay Zones. is hereby replaced in its entirety with the following:

§ 300-248 Purpose and Intent.

- A. It is found and determined that there is a need throughout the Town of Yorktown to encourage and establish further economic development. To stimulate that growth and provide for revitalization, the Town requires the use of smart-growth techniques capable of creating smarter, less wasteful, and more economically efficient development patterns. Specifically, the Town needs flexibility in land uses which bolster economic development by providing not only a diverse array of commercial businesses, but mixed-use residential and commercial parcels to both provide abundant job opportunities and contribute to the local tax base.
- B. This Article regulates the location, design, occupancy, and use of structures and the use of land within the areas known as the "Planned Design District Overlay Zones" (hereinafter "PDDOZ") within the Town of Yorktown. The primary purpose of this Article is to institute a legally enforceable zoning code for each unique Planned Design District ("PDD") adopted herein or prospectively, based upon and in furtherance of the goals established Chapter 4 of the Town of Yorktown Comprehensive Plan adopted on July 15, 2010 (hereinafter "the Comprehensive Plan") and as hereinafter amended. The applicability of the provisions of this Article shall only apply to the specific overlay zones duly adopted and set forth herein and to those properties within said zones that the Town Board has determined granting the flexibility allowed by the Planned Design District will result in a significantly better site plan that still protects the health, safety, and welfare of Yorktown's businesses and residents.

Commented [SS1]: Based on what NEW studies? Are studies used for 2010 comp plan – which were outdated in 2010 – still valid in 2021?

Commented [SS2]: Chapter 4 of comp plan DOES NOT recommend an overlay district for YH – and the map of the business hamlet DOES NOT include the Soundview property. In fact, the proposed YH district is very different from the hamlet map in the 2010 comp plan.

Extra comment: In overlay laws in other towns (see example of Town of Poughkeepsie) the overlay is applicable to one or more different zoning districts and the TB applies the overlay law to a specific property. However, in the Yorktown law, the TB has already designed a specific area (not a zoning class) for overlay status. So this second step of having the TB "determine" if overlay

status shall be granted is redundant. Some history: this section about TB making the determination was added to the initial draft in order to “mollify” critics who said the TB should make key land use decisions. But the key land use decision is made by including a property in the overlay district,

- C. This Article is intended to promote the health, safety and general welfare of the Town by creating a holistic and comprehensive economic development strategy that utilizes the principles of social, economic, and environmental responsibility to encourage the

Commented [SS3]: The overlay law is neither “holistic” or “comprehensive.” It’s not based on any current studies or strategies that reflect the 2021 economy.

economic development within a mixed-use setting. This Article is intended to create an opportunity for a more economically successful and environmentally responsible Town by enabling a hamlet with a more harmonious and pedestrian-oriented public realm than can be achieved under the regulations in the underlying zoning in effect at the time of adoption of this Article. Specifically, this Article will promote Complete Streets approach and practices as one of many mechanisms to fulfill the purpose and intention herein.

Commented [SS4]: No studies or documents have shown that current regulations are preventing economic development or hamlet revitalization. In YH, note approval of new Chase building, Atlantic Appliance, Greenwood Street commercial building, rezoning for The Weyant.

D. It is also the intent of this legislation to further the economic development goals of the town’s Comprehensive Plan to invigorate the hamlet business centers as hubs of civic life and community identity, and promote a mix of retail, professional office, park/civic uses, and compatible residential uses that create a special sense of place. The intent of the overlay zones is to promote flexibility in design, allowed uses, and bulk requirements to make infill and redevelopment of the hamlets both desirable for residents and economically feasible for investors. It is also the intent of this legislation to provide for suitable mixed-use developments within the PDDs, blending the surrounding commercial and residential zones.

Commented [SS5]: Note above comment about comp plan suggestion for YH hamlet. The reference to “mixed use” is for the business center – but Soundview is not in the business center.

Commented [SS6]: What does “blending” mean?

E. This Article will assist in achieving preservation and retention of the remaining historic and architecturally significant buildings and encourage the renovation and construction of other buildings consistent with architectural designs of buildings constructed during the early history of the Town.

Commented [SS7]: This “feel good” section directly conflicts with TB’s support to demolish the building at corner of Commerce & Veterans (listed in later section of law as a “unique building”) in order to make way for Gardena Hotel.

§ 300-249 Definitions.

As used in this article, the following terms shall have the meanings indicated:

FAR (Floor Area Ratio)

Floor Area Ratio as defined in §300-3, “Definitions; word usage.”

INCENTIVE

A zoning benefit that is granted, pursuant to §261-b of the Town Law, to adjust provisions of Chapter 300, Zoning, of the Town Code of the Town of Yorktown for the purpose of bringing about revitalization in a Planned Design District.

LIVE-WORK UNIT/SPACE

Live-work unit or Live-work space. A building or space within a building used jointly for commercial and residential purposes where the residential use of the space is secondary or accessory to the primary use as a place of work. The residential space must be occupied by the owner of the commercial business to which it is accessory.

MIXED-USE BUILDING

A building that houses varied uses normally segregated from one another by zoning classification within the Yorktown Zoning Code such as residential uses and retail uses, but not limited thereto.

Commented [SS8]: Too open ended. Would allow ANY non residential use. Needs to be more tightly defined.

PLANNED DESIGN DISTRICT

For the purposes of this chapter, an independent zoning district identified by the Town Board as ideal to promote development in accordance with the Comprehensive Plan, wherein the zoning regulations need not be uniform for each class or type of land use, but where the use of land shall be in accordance with a set of criteria and smart growth techniques as established by the Town Board herein.

UNIQUE BUILDINGS

Existing buildings that should be retained because of their distinctive cultural, architectural, or historical references to the Town’s history as decided by the Town Board and listed herein

Commented [SS9]: what criteria is used to designate a building unique and how does unique different from landmark status in chapter 198? Also, some development plans may call for demolition of a unique building, e.g., the building at corner of veterans and commerce.

§ 300-250 Applicability.

The provisions of this Article XXI shall apply to all parcels, lots or properties lying within each Planned Design Districts and may be applied to new development, redevelopment, exterior alterations, changes of use, site plan alteration, commercial signs and exterior lighting within the Planned Design District Overlay Zones.

When the provisions of this Chapter are applied by the Planning Board, in any Planned Design District, no buildings or premises shall be used, and no buildings or part of a building or structure shall be erected, constructed, enlarged, altered, arranged or designed to be used, in whole or in part, except for one or more of the uses herein cited in §300-255 through §300-259, or the underlying zoning, provided that a site plan of development in accordance with Chapter 195 of the Yorktown Town Code is approved by the Planning Board, after public notice and hearing, as being in conformity with this Chapter.

§ 300-251 Authorization to approve plans; Procedures.

- A. Authorization is hereby granted to the Planning Board of the Town of Yorktown, as herein set forth, to simultaneously with the approval of a site plan or subdivision map, pursuant with this article, modify applicable provisions of Chapter 300 subject to the conditions set forth in this article and such other reasonable conditions as the Town Board of the Town of Yorktown may, in its discretion, add thereto.
- B. An applicant desiring to use the standards set forth in this article shall file with the Town Board a written request for authorization for consideration and review under the overlay district, which shall include a detailed statement setting forth the nature of modifications, changes or supplementation of existing underlying zoning provisions and the reasons in support of those changes or modifications. Said statement shall include the manner in which such modifications, changes or supplementations of existing zoning provisions will benefit the Town and will further the economic development, public health, safety, or welfare of the community. The applicant shall also file plans and other drawings, sketches, or renderings necessary to understand and consider the proposed project. The town board shall consider the request and evaluate the project for such authorization. The Town Board, at its discretion, may refer the request, plans, and other documentation to other Boards,

Commented [SS10]: What about SEQRA, especially for plans that make major changes in density and/or use, like YGreen or Soundview? Shouldn't impacts be looked at BEFORE major change in density and/or uses are okayed?

Commented [SS11]: Referral should be SHALL

departments or agencies for comment and recommendation. The Town Board may hold a public hearing in accordance with Chapter 205 of the Town Code.

Commented [SS12]: Hearing should be SHALL

The Town Board shall make a determination whether to authorize the project for consideration under the overlay district after making the following determinations:

- 1) That the project is consistent with the general goals of the Comprehensive Plan;
- 2) That the project will not likely be detrimental to the character of its immediate neighboring properties, or the district and town at large;
- 3) That the scope of the project will not likely cause operational difficulties on the site that have potential to negatively affect the health, safety, and welfare of the public;
- 4) That the town’s infrastructure is capable of servicing the project or that the impacts or deficiencies of the infrastructure can be appropriately mitigated;
- 5) That the project will eliminate a blight or potential blight within the district;
- 6) That the project is consistent with the goals and intent of the overlay district;
- 7) That the project is consistent with the requirements of the overlay district and does not exceed the limitations or requirements set forth therein;
- 8) That the project is likely to contribute to the economic development of the district and the town at large.

The Town Board need not find all of the foregoing to authorize the project, provided it sets forth a reasoned elaboration of its findings respecting each of the listed attributes. The Town Board shall adopt a resolution authorizing or denying the project to be considered under the overlay district, and shall attach thereto any conditions it finds necessary to maintain the highest standards that are represented by the intent and goals of the overlay district regulations. Projects that are authorized by the Town Board shall be referred, together with the authorizing resolution, to the Planning Board for site plan review and approval.

Commented [SS13]: What if project meets one criteria, e.g., # 8, but has a negative impact on #1 & 2 and TB hasn't evaluated #4?

Commented [SS14]: Could TB impose density restrictions? If so, would this conflict with PB's role as set forth in YH section?

- C. Once a project has been authorized for review and approval under this Article by the Town Board, the applicant shall file with the Planning Board the application and plans required for site plan or subdivision review and approval as set forth in Chapter 195, Land Development. The Town of Yorktown Signage ordinance manual shall govern all matters relating to signs within each overlay zone. Such application and plans shall have clearly marked upon their face that said plan is for development in accordance with the standards or this Article. The applicant may be required, at various stages of the planning process, to further justify his request to use the standards and procedures set forth herein.
- D. The Recreation Requirements as set forth within this Chapter and the Town of Yorktown Town Code shall remain applicable to the provisions of this Article.

§ 300-252 Conflicting provisions.

In the event that any provisions of this article shall be inconsistent or in conflict with the other provisions of this Chapter, then the provisions of this article shall prevail and be complied with.

§ 300-253 Development Incentives.

The following list of Development Incentives may be applied by the Planning Board to any project filed under this Article. In the event the Applicant includes “green-building” standards as recognized by the United States Green Building Council (“USGBC”) and the recognized Leadership in Energy and Environmental Design (“LEED”) standards, the Applicant will be granted priority in approval and shall not be limited in its requests for any and all of the incentives set forth below. In addition, an Applicant bringing forth a proposal that would qualify for LEED certification (though no certification is required) shall be entitled to propose additional incentives, not listed below, to be considered as part of the site plan approval process under this Article. The incentives adopted herein are as follows:

1. Priority of application review and agenda placement.
2. Enhanced staff guidance, including additional staff meetings, throughout the approval process.
3. Relief from area and bulk requirements, parking requirements upon demonstration of proximity to downtown pedestrian access and public transportation, or a social, cultural or economic need or benefit.
4. In the event an Applicant agrees to make infrastructure improvements that benefit the Town to an extent greater than what is required by the conditions of this Article, the Planning Board may grant incentives in relation to density, area and bulk requirements and including parking relief.
5. In the event an Applicant provides real-property or rentable square footage to the Town, the Planning Board may grant incentives in relation to density, area and bulk requirements and including parking relief.

§ 300-254 Flexibility Standards; Area and Bulk Requirements

1. The Planning Board, in considering an application for site plan or subdivision approval within any Planned Design District Overlay Zone, shall be guided by but shall not be strictly bound by the considerations and standards within the underlying zone in which a proposed project exists, as amended, and as applicable to each Planned Design District, upon which the Planning Board shall be the approval authority as set forth herein. In general, these standards shall be deemed to be the minimum requirements for the convenience, economic benefit, health, safety and welfare of the Town and in compliance with the Comprehensive Plan.
2. In the course of project site plan review, as required by this article and SEQRA, the Planning Board may, pursuant to its stated purposes, vary the zoning requirements as to open space requirements, lot area, lot frontage, side yard requirements, front and rear yard requirements, maximum allowable coverage, parking regulations, building heights, floor area ratios, unit density per acre, off-street parking and loading spaces, and all bulk regulations in connection with a specific plan of development on a specific parcel of land in any Planned Design District, and other matters related to the siting and construction of

improvements listed in the Schedule of Regulations, provided that the Planning Board shall determine that such variations are in the public interest and necessary in order to foster high-quality development and redevelopment, are in compliance with the general purpose and intent of this Chapter, and will ensure compatibility with uses on adjoining properties. In no case shall the variation of any requirement be greater than 60% of said requirement, unless otherwise stated in §300-255 through §300-259. Such variations shall apply only to the particular site plan and proposals thereon which are under review and shall not apply to the maximum FAR.

3. The Planning Board may adjust the regulations and reduce the procedural requirements in accordance with this Section to implement the Intent and Purpose of this Article so that the public interest is secured, provided that any such adjustment or procedural modification will not have the effect of nullifying the spirit and intent of this Article.

§ 300-255 Yorktown Heights Planned Design District Overlay Zone

Purpose and intent. The Yorktown Heights Planned Design District consists of the parcels and rights-of-way within the boundary shown on as shown on the zoning map of the Town of Yorktown. This area was once the center of commerce in the town, was redeveloped during urban renewal to accommodate automobile centered life with many large commercial buildings and large paved parking areas. Many of these buildings are now vacant as lifestyles and buying habits transition to digital consumerism making this area ripe for other types of redevelopment. The intent of this overlay zone is to encourage a walkable hamlet-style development that is both a commercial and community center that better serves the needs of its residents and surrounding neighborhoods. Further, the Town Board notes that the Yorktown Heights hamlet supports several developments such as the Underhill Apartments the Kear Street Apartments and the Beaver Ridge Apartments, which were built with densities exceeding the multi-family R-3 zoning district regulations, and these developments do not exhibit adverse impacts related to their density. The Yorktown Heights hamlet business center is able to support appropriate density above that shown in the R-3 zone. It is the intent of this legislation to promote development of appropriate densities that will support the downtown, promote economic development, and increase housing types within town, while also improving the walkability and quality of open spaces. Specifically, the following objectives are encouraged:

1. Phase out of incompatible, nonconforming uses and signs.
2. Construction of attractive building facades along Commerce Street, Downing Drive, Veterans Road, Kear Street, and Underhill Avenue with off-street rear parking lots.
3. Transportation design that emphasizes Complete Street design methods and practices and that includes the pedestrian and bicycle experience to encourage users of the North County Trailway, connected town trailways, and the disabled to be able to move through the overlay zone safely.
4. Creation of off-street parking lots for shared parking between adjoining and neighboring principal uses.

Commented [SS15]: The soundview property is not part of the business hamlet

Commented [SS16]: This listing serves merely to justify the much higher FAR for the Soundview property and are not relevant to the Soundview property.

5. Application of enhanced street access, building design, off-street parking, landscaping and buffering controls by the Planning Board to enhance the physical appearance of properties in the Yorktown Heights Planned Design District Overlay Zone.
6. Development of multi-family residential uses not to exceed three stories, unless otherwise stated herein.
7. Creation of mixed-use space that includes live-work space or professional office use in a residence pursuant to §300-76.

A. Permitted Main Uses.

1. The same main uses permitted in the underlying zone in which the subject property lies.
2. Mixed-use development.
3. Multi-family and town-house style residential development.
4. Live-work unit developments
5. Stores or shops for the conduct of retail business, bank, post office, restaurant and other places serving food and beverages, professional and business offices, and personal service establishments, including the grooming of house pets, except that no use shall be permitted where any part of the service is conducted outside the premises unless a special use permit has been issued by the Planning Board after due notice and public hearing.
6. Government buildings and uses.
7. Community based uses for senior citizens.

Commented [SS17]: As noted above, this is too broad: allows ANY non-residential use, e.g. warehouse, car dealership

Commented [SS18]: Would some uses be objectionable in a residential development, e.g. odor producing food establishments or barking dogs in a vet clinic?

B. Permitted Uses by Special Permit

1. The same Special uses permitted by the underlying zone in which the subject property lies.
2. Boutique hotels in accordance with the regulations set forth in §300-52

Commented [SS19]: 300-52 does not apply to “boutique” hotels and boutique hotels is not defined. Will TB need to adopt a law that regulates boutique hotels simultaneously with adoption of overlay law

C. Permitted Accessory Uses.

1. The same permitted accessory uses allowed in the underlying zone in which the subject property lies.
2. Signs as approved on the site plan.
3. Outdoor public gathering places.

D. Permitted Accessory Uses by Special Permit.

1. The same permitted accessory uses by special permit allowed in the underlying zone in which the subject property lies.
2. Outdoor dining and sidewalk cafés pursuant to §300-80.

E. Area and Bulk Requirements.

The area and bulk regulations for the Yorktown Heights Planned Design District Overlay Zone shall comply as follows:

1. Any project within a planned design district overlay zone and authorized by the Town Board to be considered under the regulations set forth herein shall remain subject to the discretion of the Planning Board set forth in §300-253 and §300-254 to modify the requirements due to the special circumstances of a particular project. The discretion granted in §300-253 and §300-254 is subject to the following requirements:
 - a. Area and Bulk requirements shall be as set forth in the underlying zone and subject to variations and limitations as set forth herein. For residential or mixed use residential projects the Planning Board may be guided by the area and bulk requirements of the R-3 multi-family zone and may apply variations to those requirements within the limitations set forth herein.
 - b. FAR shall be allowed up to, but may not exceed, 0.55;
 - c. Maximum height of building shall be as set forth in the underlying zone subject to variation of up to 25% and may not exceed three stories. Enclosed space may be allowed at roof level which may not exceed 50% of the area of the area of the roof.
 - d. Maximum height may be increased to 52 feet and a maximum of 4 stories provided that the lot on which a project is proposed is a single contiguous lot that is a minimum of 10 acres in size.
2. [Reserved]
3. [Reserved]

Commented [SS20]: Can PB override any conditions set by TB?

Commented [SS21]: As noted above this is more than double existing FAR of 0.20-0.23 for 9=12 units/acre. See also Comp Plan statement about not exceeding density of underlying district.

Commented [SS22]: Applies to 13.8 acre Soundview and also Triangle Shopping Center as well as Yorktown Green. Any idea with Triangle is considering?

F. Design Requirements.

Commented [SS23]: Too specific. Should be left up to ABACA

In addition to any other design regulations provided in this Code, the following design guidelines shall apply to mixed-use buildings in the Yorktown Heights Planned Design District Overlay Zone:

1. Architectural Designs. All applicants shall adhere to the following guidelines for design standards of any renovation or new construction on a property within the Yorktown Heights Planned Design District:
 - a. Exterior renovations or additions to historic buildings shall make every effort to restore the original appearance to the exterior of the building, with modifications only as approved.
 - b. Acceptable architectural forms will include Colonial, Federal, Georgian, and Victorian styles. Exact duplicates of historic buildings are not required; however, designs should reflect a sense of historical styles at an appropriate scale.
 - c. Appropriate use of sheathing (exterior covering) and decorative details. All new construction will be in brick or wood, unless it is demonstrated to the Advisory Board on Architecture & Community Appearance that some other material may be more appropriate given extenuating circumstances of the project, such as an addition on an existing building. Modern sheathing techniques may be used as long as the overall appearance conveys use of traditional building materials.
 - d. The following materials are not preferred for use in the Yorktown Heights Planned Design District:
 - i. Prefabricated metal siding, typical of manufactured commercial buildings.
 - ii. Dryvit-faced buildings or similar stucco-type surfaces.

- iii. Prefabricated rock aggregate faced buildings.
 - iv. Concrete block faced buildings.
 - v. Tilt-up concrete panels.
 - vi. Ribbon glass, tinted glass panels as sheathing, or tinted glass windows, windows that appear to be frameless.
- e. Unique Buildings. All applicants for renovation of a unique building or new construction on a property on which exists a unique building within the Yorktown Heights Planned Design District shall be required to submit plans that respect the precedents and styles that relate to the early history of the Town. All plans must be in keeping with these guidelines for:
- i. Existing unique buildings. For any proposal that includes an existing unique building whether to be modified or not, the applicant shall provide information concerning the original design of the building and the modifications that have taken place to the building. Every effort shall be made to restore the original appearance of the exterior of the building, with modifications only as considered appropriate by the Advisory Board on Architecture and Community Appearance and the Heritage Preservation Commission, should the unique building be a Designated Landmark.
 - ii. Design elements. All proposed improvements to buildings shall be evaluated by the Advisory Board on Architecture and Community Appearance for the appropriateness of the improvement in terms of the following design elements:
 - (a) Overall design and cohesiveness;
 - (b) Appropriate use of exterior sheathing and decorative details;
 - (c) Window and door configuration; and
 - (d) Setbacks and parking areas and site plan considerations.
2. Signage. The following types of signs shall be preferred in the Yorktown Heights Planned Design District Overlay Zone as outlined in the Town of Yorktown Signage ordinance Manual.
- a. Sign designs should utilize historically-referenced styles, colors, and materials to create attractive, functional, legible signs that can further enhance the town's character.
 - b. Freestanding signs should be monument signs. Using brick piers or bases with uplighting is encouraged.
 - c. Building sign designs should enhance and accent the architecture and character of the building. Signs should not block or dominate the building façade.
 - d. Building signs, painted wood signs or awning signs that are coordinated with the style, shape, color, and scale of the building are preferable to internally lit 'box signs'.
3. Site Planning and Design. Every effort shall be made to maintain and encourage designs and layouts that enhance the pedestrian experience of the Town within the Yorktown Heights Planned Design District Overlay Zone:

Commented [SS24]: See comment above about setting up two possibly conflicting/inconsistent procedures, one here and another in chapter 198

- a. Loading docks, overhead doors, and other service entries shall be screened and not be located facing primary street facades.
- b. Applicants shall be encouraged to contribute to the public spaces Lighting fixtures and street furniture installed along public rights-of-way shall match the Yorktown Heights streetscape design plan to visually link the overlay zone.
- c. Landscaping. Landscaping shall be provided to create attractive facades and screen views of parking, loading, and refuse areas from the property frontage and from residential uses.
- d. Parking shall not be located in the front yard unless this requirement is waived by the Planning Board due to the special circumstances of a particular site.
- e. Shared parking and conservation parking spaces shall be encouraged wherever possible to reduce unnecessary underutilized parking areas.
- f. Sidewalks. All sidewalks shall be properly maintained in accordance with Town regulations. All new property developments and redevelopments must provide sidewalks along any property lines that front on public streets, unless this requirement is waived by the Planning Board due to the special circumstances of a particular site. Internal sidewalks will be provided as deemed appropriate by the Planning Board.

G. Access to Site; Off-Street Parking.

- 1. The required parking for residential units is 1.5 parking spaces per dwelling unless modified by the Planning Board.
- 2. The required parking for commercial uses shall be as required by §300-182 unless modified by the Planning Board due to special circumstances of a particular site including, but not limited to:
 - a. The use of shared parking between different uses on the same site and/or shared parking between adjacent properties.
 - b. The use of conservation parking spaces.
 - c. The availability of on-street parking or public parking within close proximity to the site.
 - d. Variation in the probable time of maximum use of differing uses on the same site.

Commented [SS25]: Has a study been done of parking needs in town house developments with 3-4 bedrooms and allowance for guest parking?

H. Recreation.

The required recreation for multi-family units built within mixed use development projects shall be as required in the R-3 zone except that the Planning Board may modify this requirement due to special circumstances of a particular site and the proximity of the site to nearby public recreation.

Commented [SS26]: Doesn't deal with recreation for apartments in C2-R zone, e.g, Nantucket Sound. And no other R-3 plan waived recreation requirement just because it was "near" an existing recreation facility.

I. Plan of Development.

No building permit or certificate of occupancy for any building designed for multi-family mixed-use residential developments, town-house style residential developments, stores or shops for the conduct of retail business, or professional and business office developments within the Yorktown Heights Planned Design District Overlay Zone shall be issued, except in accordance with a plan of development or amendment thereof approved by the Planning Board, and after said approved plan of development, signed and certified by the Chairperson of the Planning Board is issued and filed in the records of the Town.

J. Official submission and review of plan.

The Planning Board shall take action within 62 days of the submission to it of the plan of development. The site plan shall be considered officially submitted only when all the required surveys, plans and data in accordance with the requirements of Chapter 195, Land Development described in the above sections have been checked for completeness by the Town Engineer and Director of Planning and filed with the Planning Board.

K. Unique buildings.

The Town Board acknowledges that there are unique buildings holding historical value within the Town and the Board may, in its discretion, designate a building as a unique building upon under its own incentive or referral by the Advisory Board on Architecture and Community Appearance. Modifications necessary to accommodate a new use will be permitted; however, it is the intention to require that all project plans retain original features of the buildings, including window type and configuration, front entries, storefronts (if applicable), and identifying decorative details, including those that provide a historical reference to the original use of the building. This provision shall be in addition to the the requirements of Chapter 198: Heritage Preservation, should a unique building be a Designated Landmark.

The Town Board hereby designates the following buildings in this Yorktown Heights Planned Design District as unique buildings:

322 UNDERHILL AVENUE (Spadaccia Insurance building now Westchester Health)

c. 1890. Wood shingle residence converted to offices. Large center chimney (parged); projecting pedimented gable over 2nd floor bay window; rear 1-story ell; 3 front gable dormers.

360 UNDERHILL AVENUE - Former home of Edward Kear aka The Grace Building
c. 1890. This onetime home of Edward Kear, who served as Town Supervisor for thirteen years, is one of the last of the grand Victorian homes that were built around the town center that the railroad established in the late 19th century, and in January of 2017 was named a Home of Historic Distinction by the Yorktown Landmarks Preservation Commission.

363 UNDERHILL AVENUE – Town Hall

Yorktown's town hall was built in 1935 at the corner of Underhill Avenue and Saw Mill River Road (Route 118) during the administration of Supervisor Theodore Hill. The police department and the town court, once housed here, were moved at different times to other facilities. Additional

Commented [SS27]: This section needs to be reviewed to deal with Chapter 198. As written it sets up 2 separate systems for unique or historic buildings.

Commented [SS28]: See above comments. The law should not list specific buildings – what if they are to be demolished, e.g., 1952 Commerce St to make way for the hotel

wings were built on either side of the original building in [insert date].The building is colonial revival style with brick faced concrete walls and a slate roof.

366 UNDERHILL AVENUE - Coldwell Banker building

c. 1890. Gothic Revival. Brick center chimney; gabled side ell; Doric columns on front porch; bay window on 1st floor front facade; one-story hipped extension front on left rear corner.

370 UNDERHILL AVENUE - Captain Underhill House

Completed in 1881, the Captain Underhill Manor & Estate. The estate was most recently used by the Soundview Preparatory private school. Prior to the school the farmhouse was used by the Gilbert Beaver conference center.

1803 COMMERCE STREET (Dubovsky)

c. 1870. 2-bay storefront (4 bays deep) addition w/2 sets of triple windows, flat roof (now vacant); house resided w/metal

1807 COMMERCE STREET (Trailside Café)

c.1870. Colonial Revival storefront addition c. 1950; stucco; parapet wall has been covered w/vinyl; upper windows on storefront replaced.

1811 COMMERCE STREET (Wishes)

c. 1930. Tudor Revival. ½ timbering w/half circle design on front attic level; wood shingle pent over store front windows; side ell for stairway to 2nd floor apts.; fully exposed brick side wall chimney; 1-story rear ell; sunburst pattern in side gable peak & on front of side ell stairwell.

1826 COMMERCE STREET – Yorktown Heights Railroad Station

The Yorktown Heights Railroad Station was built around 1878 as part of the Old Putnam Line of the New York & Northern Railroad. By 1914, the New York Central Railroad and its Putnam Division operated the line from High Bridge to Brewster. The last passenger train ran on the Old Put line on Thursday, May 29, 1958 and the last freight movement picked up an empty box car at Creed Brothers lumber yard in Yorktown Heights on September 17, 1962. By spring of 1963, the rails were removed. Since that time, the abandoned railroad bed was sold to New York State and the station building was acquired by the town's urban renewal agency. The station building has been designated a Local (1976), State (1981), and Federal (1981) Landmark. The station became the center of Railroad Park and has gone through several refurbishment attempts. A complete restoration of the building was finally completed in July of 2020. The station building is the last remaining building of its unique design on the Old Putnam Line.

1932 COMMERCE STREET – Conciatori Building/Emilio's Castle aka Starbucks Coffee
c. 1920. Small side ell, left c.2000. False brick endwall chimneys; granite block door & window surrounds; rear extension that once housed service station stalls.

1952 COMMERCE STREET (former Mulvey Realty, corner of Commerce & Veterans) c. 1920. Last remaining wood Victorian era home along Commerce Street.

1974 COMMERCE STREET – Albert A. Capellini Community & Cultural Center Although not within the planned design district boundaries, the former Central School District #2 building is a Town Designated Landmark that is a significant part of the fabric of Yorktown Heights. Originally built in 1923, the school district added a north wing in 1927 and a south wing and gymnasium was added in 1935. The auditorium/theater was completed in the rear of the school between 1954 and 1955. In 1975 the school was closed due to declining enrollments and new schools built in other parts of the community. In July of 1980, the town acquired the old school building to use for several town offices and a community center. In 2019, the town designated the building as a Local Landmark. The structure has exterior walls of masonry, terracotta block and brick facing, with plaster interior finish.

§ 300-256 Lake Osceola Development Overlay Zone

Purpose and Intent. The Lake Osceola Development Design District shall consist of the parcels and rights-of-way within the boundary shown on the map set forth here as Attachment [TBD]. The purpose of this section shall be to implement the goals of this Article and to promote and ensure that the Jefferson Valley Mall remains a viable economic engine and center of retail and restaurant activity while enhancing the recreational and tourism activities and opportunities provided by the lakefront. The Jefferson Valley Mall has been major regional shopping destination and this Article and specifically this overlay-zone will facilitate the region's continued success. Additionally, while providing for the continued health of the Mall, this section shall also offer incentives for the transformation of Hill Boulevard into a walkable "main-street" attraction by expanding public transportation options and opening increased access to the recreational and tourism opportunities offered by the lakefront. The consistent goals of this Article are to strengthen the economic health of the hamlets within the Town.

A. Permitted Main Uses.

1. The same main uses permitted in the underlying zone in which the subject property lies.
2. The same main uses permitted in the CR (Commercial Recreation) zone.
3. Mixed-use development.
4. Multi-family residential development.
5. Live-work unit developments
6. Stores or shops for the conduct of retail business, bank, post office, restaurant and other places serving food and beverages, professional and business offices, and personal service establishments, including the grooming of house pets, except that no use shall be permitted where any part of the service is conducted outside the premises unless a special use permit has been issued by the Planning Board after due notice and public hearing.

B. Permitted Main Uses by Special Permit

1. The same Special uses permitted by the underlying zone in which the subject property lies.
- 2.

C. Permitted Accessory Uses.

1. The same permitted accessory uses allowed in the underlying zone in which the subject property lies.
2. Signs as approved on the site plan.
3. Outdoor public gathering places.

D. Permitted Accessory Uses by Special Permit.

1. The same permitted accessory uses by special permit allowed in the underlying zone in which the subject property lies.
- 2.

E. Area and Bulk Requirements.

The area and bulk regulations for the Lake Osceola Planned Design District Overlay Zone shall comply as follows:

1. Any project within a planned design district overlay zone and authorized by the Town Board to be considered under the regulations set forth herein shall remain subject to the discretion of the Planning Board set forth in §300-253 and §300-254 to modify the requirements due to the special circumstances of a particular project. The discretion granted in §300-253 and §300-254 is subject to the following requirements:
 - a. Area and Bulk requirements shall be as set forth in the underlying zone and subject to variations and limitations as set forth herein. For multi-family residential or mixed-use residential projects the Planning Board may be guided by the area and bulk requirements of the R-3 multi-family zone and may apply variations to those requirements within the limitations set forth herein.
 - b. FAR. shall be allowed up to, but may not exceed, 0.55;
 - c. Maximum height of building shall be as set forth in the underlying zone subject to variation of up to 25% and may not exceed three stories.

F. Design Requirements.

In addition to any other design regulations provided in this Code, the following design guidelines shall apply to mixed-use buildings in the Lake Osceola Planned Design District Overlay Zone:

1. Architectural Designs. All applicants shall adhere to the following guidelines for design standards of any renovation or new construction on a property within the Lake Osceola Planned Design District:

- a. Exterior renovations or additions to historic buildings shall make every effort to restore the original appearance to the exterior of the building, with modifications only as approved.
- b. Acceptable architectural forms will include Colonial, Federal, Georgian, and Victorian styles. Exact duplicates of historic buildings are not required; however, designs should reflect a sense of historical styles at an appropriate scale.
- c. Appropriate use of sheathing (exterior covering) and decorative details. All new construction will be in brick or wood, unless it is demonstrated to the Advisory Board on Architecture & Community Appearance that some other material may be more appropriate given extenuating circumstances of the project, such as an addition on an existing building. Modern sheathing techniques may be used as long as the overall appearance conveys use of traditional building materials.
- d. The following materials are not preferred for use in the Lake Osceola Planned Design District:
 - i. Prefabricated metal siding, typical of manufactured commercial buildings.
 - ii. Dryvit-faced buildings or similar stucco-type surfaces.
 - iii. Prefabricated rock aggregate faced buildings.
 - iv. Concrete block faced buildings.
 - v. Tilt-up concrete panels.
 - vi. Ribbon glass, tinted glass panels as sheathing, or tinted glass windows, windows that appear to be frameless.
- e. Unique Buildings. All applicants for renovation of a unique building or new construction on a property on which exists a unique building within the Jefferson Valley Planned Design District shall be required to submit plans that respect the precedents and styles that relate to the early history of the Town. All plans must be in keeping with these guidelines for:
 - i. Existing unique buildings. For any proposal that includes an existing unique building whether to be modified or not, the applicant shall provide information concerning the original design of the building and the modifications that have taken place to the building. Every effort shall be made to restore the original appearance of the exterior of the building, with modifications only as considered appropriate by the Advisory Board on Architecture and Community Appearance and the Heritage Preservation Commission, should the unique building be a Designated Landmark.
 - ii. Design elements. All proposed improvements to buildings shall be evaluated by the Advisory Board on Architecture and Community Appearance for the appropriateness of the improvement in terms of the following design elements:
 - (a) Overall design and cohesiveness;
 - (b) Appropriate use of exterior sheathing and decorative details;
 - (c) Window and door configuration; and
 - (d) Setbacks and parking areas and site plan considerations.

4. Signage. Sign requirements shall be as required by the underlying zone. The following types of signs shall be preferred in the Lake Osceola Planned Design District Overlay Zone as outlined in the Town of Yorktown Signage ordinance Manual.
 - a. Sign designs should utilize historically-referenced styles, colors, and materials to create attractive, functional, legible signs that can further enhance the town's character.
 - b. Freestanding signs should be monument signs. Using brick piers or bases with uplighting is encouraged.
 - c. Building sign designs should enhance and accent the architecture and character of the building. Signs should not block or dominate the building façade.
 - d. Building signs, painted wood signs or awning signs that are coordinated with the style, shape, color, and scale of the building are preferable to internally lit 'box signs'.
5. Site Planning and Design. Every effort shall be made to maintain and encourage designs and layouts that enhance the pedestrian experience and experience of Lake Osceola, including enhancing views, providing public gathering spaces, and public use of the lake:
 - a. Development shall attempt to offer amenities that include use of or enhanced views of the lake. Lakefront properties should be encouraged to participate in a boardwalk or pedestrian walkway system when feasible.
 - b. Loading docks, overhead doors, and other service entries shall be screened and not be located facing primary street facades.
 - c. Applicants shall be encouraged to contribute to the public spaces. Lighting fixtures and street furniture installed along public rights-of-way shall match to visually link the overlay zone.
 - d. Landscaping. Landscaping shall be provided to create attractive facades and screen views of parking, loading, and refuse areas from the property frontage and from residential uses.
 - e. Parking shall not be located in the front yard unless this requirement is waived by the Planning Board due to the special circumstances of a particular site.
 - f. Shared parking and conservation parking spaces shall be encouraged wherever possible to reduce unnecessary underutilized parking areas.
 - g. Sidewalks. All sidewalks shall be properly maintained in accordance with Town regulations. All new property developments and redevelopments must provide sidewalks along any property lines that front on public streets, unless this requirement is waived by the Planning Board due to the special circumstances of a particular site. Internal sidewalks will be provided as deemed appropriate by the Planning Board.

G. Access to Site; Off-Street Parking.

1. The required parking for residential units is 1.5 parking spaces per dwelling unless modified by the Planning Board.
2. The required parking for commercial uses shall be as required by §300-182 unless modified by the Planning Board due to special circumstances of a particular site including, but not limited to:

- a. The use of shared parking between different uses on the same site and/or shared parking between adjacent properties.
- b. The use of conservation parking spaces.
- c. The availability of on-street parking or public parking within close proximity to the site.
- d. Variation in the probable time of maximum use of differing uses on the same site.

H. Recreation.

The required recreation for multi-family units built within mixed use development projects shall be as required in the R-3 zone except that the Planning Board may modify this requirement due to special circumstances of a particular site and the proximity of the site to nearby public recreation.

I. Plan of Development.

No building permit or certificate of occupancy for any building designed for multi-family mixed-use residential developments, town-house style residential developments, stores or shops for the conduct of retail business, or professional and business office developments within the Jefferson Valley Planned Design District Overlay Zone shall be issued, except in accordance with a plan of development or amendment thereof approved by the Planning Board, and after said approved plan of development, signed and certified by the Chairperson of the Planning Board is issued and filed with the Town Clerk in the records of the Town.

J. Official submission and review of plan.

The Planning Board shall take action within 62 days of the submission to it of the plan of development. The site plan shall be considered officially submitted only when all the required surveys, plans and data in accordance with the requirements of Chapter 195, Land Development described in the above sections have been checked for completeness by the Town Engineer and Director of Planning and filed with the Planning Board.

K. Unique buildings.

The Town Board acknowledges that there are unique buildings holding historical value within the Town and the Town Board may, in its discretion, designate a building as a unique building under its own incentive or upon referral by the Advisory Board on Architecture and Community Appearance. Modifications necessary to accommodate a new use will be permitted; however, it is the intention to require that all project plans retain original features of the buildings, including window type and configuration, front entries, storefronts (if applicable), and identifying decorative details, including those that provide a historical reference to the original use of the building. This provision shall be in addition to the the requirements of Chapter 198: Heritage Preservation, should a unique building be a Designated Landmark.

The Town Board hereby designates the following buildings in this Jefferson Valley Planned Design District as unique buildings:

466 EAST MAIN STREET

A gothic revival style wood frame structure built in 1861 and once known as Bailey’s Lodge.

3642 HILL BOULEVARD – LOURDES BUILDING

Built in 1975, the shopping center with large mansard roof is part of the unique character of the Jefferson Valley hamlet.

§ 300-257 [Reserved]

§ 300-258 [Reserved]

§ 300-259 [Reserved]

§ 300-260 [Reserved]

§ 300-261 [Reserved]

Section III. Severability.

If any clause, sentence, phrase, paragraph or any part of this local law shall for any reason be adjudicated finally by a court of competent jurisdiction to be invalid, such judgment shall not affect, impair or invalidate the remainder of this local law, but shall be confined in its operation and effect to the clause, sentence, phrase, paragraph or part thereof, directly involved in the controversy or action in which such judgment shall have been rendered. It is hereby declared to be the legislative intent that the remainder of this local law would have been adopted had any such provisions been excluded.

Section IV. Repeal

All ordinances, local laws and parts thereof inconsistent with this Local Law are hereby repealed to the extent of such inconsistency.

Section V. Effective Date.

This local law shall become effective upon filing in the office of the Secretary of State in accordance with the provisions of the Municipal Home Rule Law.

Town of Poughkeepsie

§ 210-20 Senior Housing Overlay District (SHOD).

§ 210-21 Planned Residential Overlay District (PROD).

§ 210-21.1 Waterfront Housing Overlay District (WHOD).

The application and approval process are basically the same for all 3 districts.

1. The Town Board makes the determination after Planning Board review, a SEQRA review and public hearing whether to rezone a specific parcel as an overlay zone.
2. The Senior Housing and Planned Residential Overlay districts list the zoning districts that are eligible for overlay designation, The Waterfront overlay obviously applies to parcels along the Hudson River
3. Each overlay law has specific design requirements

Example: Planned Residential overlay

B. General requirements.

A Planned Residential Overlay District designation may be permitted, at the sole discretion of the Town Board as a Zoning Map amendment subject to such additional terms and conditions as the Town Board may require, on property located within the following zoning districts:

(1)

Residence, Mobile Home (R-MH) District; and

(2)

Fairview Center (FC) District; and

(3)

Salt Point Center (SPC) District; and

(4)

Historic Revitalization Development District (HRDD); and

(5)

Light Industrial (I-L) District; and

(6)

Heavy Industrial (H-L) District.

J. Procedure. The review and approval of an application for a Planned Residential Overlay District designation shall be as follows:

(1)

Town Board review. An application for a Planned Residential Overlay District designation shall be submitted to the Town Board. Upon receipt of an application, the Town Board shall notify the applicant of the place, date, and time of the meeting at which the application is to be considered, and shall refer the application to the Planning Board for review and recommendation. The applicant or the applicant's representatives shall be present at meetings of the Town Board at which the application is to be considered.

(2)

Planning Board review. Within 62 days of receipt of the application from the Town Board, the Planning Board shall make a recommendation to the Town Board as to whether, in the opinion of the Planning

Board, the application supports a Planned Residential Overlay District designation. The applicant or the applicant's representatives shall be present at the meetings of the Planning Board at which the application is to be considered. Failure of the Planning Board to provide a recommendation within the specified time shall be deemed a recommendation to approve the application.

(3)

SEQRA review. No application for a Planned Residential Overlay District designation shall be complete until a lead agency is established, and a negative declaration has been issued or a draft environmental impact statement has been accepted as complete by the lead agency as satisfactory with respect to scope, content and adequacy.

(4)

Town Board action. Within 62 days of receipt of a complete application, the Town Board shall hold a public hearing on the application for a Planned Residential Overlay District designation.The Board may, if it feels necessary to fully protect the public health, safety and welfare of the community, attach to the designation any reasonable conditions or requirements for the applicant to meet. The decision of the Board shall be filed in the office

(5)

Site plan approval. Site plan review and approval by the Planning Board