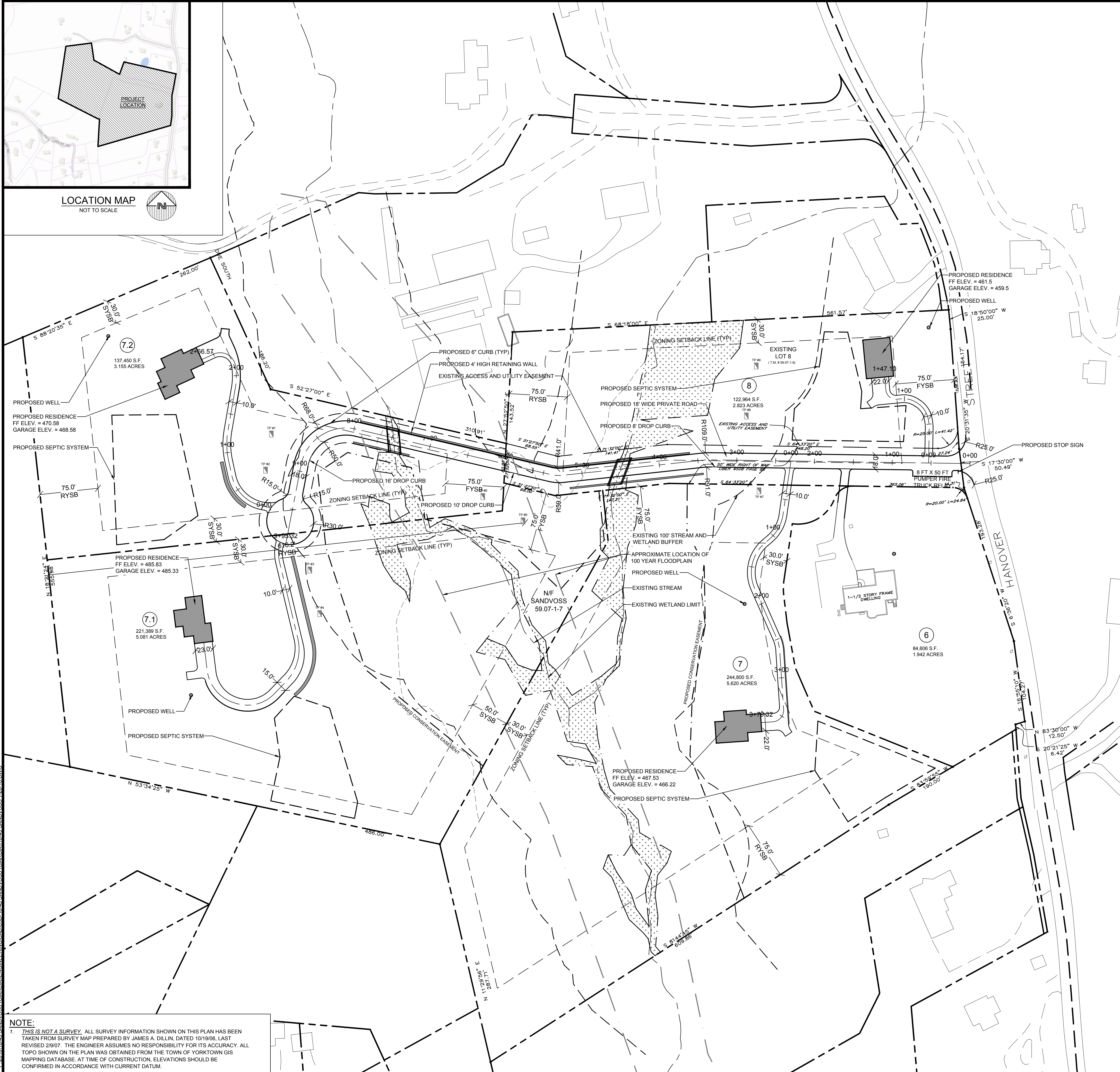
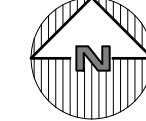


LOCATION MAP  
NOT TO SCALE



**NOTE:**  
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JAMES A. DILLIN, DATED 10/19/06, LAST REVISED 2/9/07. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. ALL TOPO SHOWN ON THE PLAN WAS OBTAINED FROM THE TOWN OF YORKTOWN GIS MAPPING DATABASE. AT TIME OF CONSTRUCTION, ELEVATIONS SHOULD BE CONFIRMED IN ACCORDANCE WITH CURRENT DATUM.

**SITE DATA:**

OWNER / DEVELOPER: JOYCE SANDVOSS  
4165 BROWN MILLS ROAD  
ALEXANDER, NY, 14005

PROJECT LOCATION: YORKTOWN HEIGHTS, NY, 10598  
1005 HANOVER STREET

EXISTING TOWN ZONING: R1-80, RESIDENTIAL

PROPOSED USE: R1-80, RESIDENTIAL

TOWN TAX MAP DATA: SECTION 59.07, BLOCK 1, LOT 6, 7, 8

SITE AREA: 18.62 ACRES (811,261 SF)

SEWAGE FACILITIES: ONSITE SUBSURFACE WASTEWATER DISPOSAL

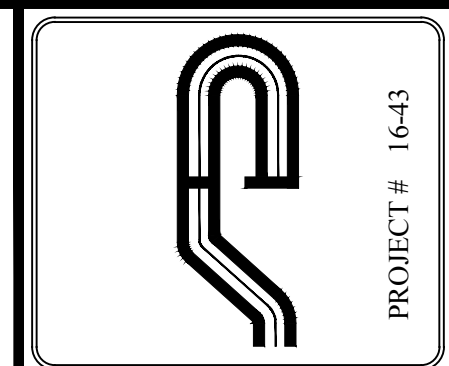
WATER FACILITIES: INDIVIDUAL DRILLED WELLS

**ZONING SCHEDULE:**

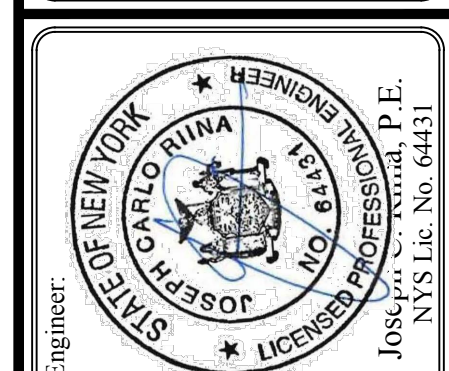
ZONING DISTRICT: R1-80, RESIDENCE DISTRICT					
DIMENSIONAL REGULATIONS:	REQUIRED	LOT 7	LOT 7.1	LOT 7.2	LOT 8
<b>MINIMUM SIZE OF LOT:</b>					
MINIMUM LOT AREA:	80,000 SF.	244,800 SF.	221,389 SF.	137,450 SF.	122,964 SF.
MINIMUM LOT WIDTH:	200 FT.	231 FT.	267 FT.	317 FT.	576.3 FT.
MINIMUM LOT DEPTH:	200 FT.	899 FT.	719.8 FT.	1,000 FT.	576.3 FT.
<b>MINIMUM YARD DIMENSIONS:</b>					
PRINCIPAL BUILDING:	75 FT.	290 FT.	381 FT.	410 FT.	77 FT.
FRONT YARD SETBACK:	75 FT.	166 FT.	154 FT.	166 FT.	457 FT.
REAR YARD SETBACK:	30 FT.	84 FT.	70 FT.	64 FT.	31 FT.
ONE SIDE YARD SETBACK:	80 FT.	297 FT.	278 FT.	253 FT.	169 FT.
COMBINED SIDE YARD SETBACK:	200 FT.	0 FT.*	0 FT.*	0 FT.*	229 FT.
<b>MAXIMUM % OF LOT TO BE OCCUPIED:</b>					
BUILDING COVERAGE:	10% OF LOT AREA	0.8%	0.8%	1.6%	1.4%
<b>MAXIMUM HEIGHT:</b>					
PRINCIPAL BUILDING - FEET:	35 FEET	35 FEET	35 FEET	35 FEET	35 FEET
PRINCIPAL BUILDING - STORIES:	2 1/2	2 1/2	2 1/2	2 1/2	2 1/2
<b>REQUIRED PARKING SPACES PER DWELLING UNIT:</b>					
	1 SPACE	2	2	2	2

\*A VARIANCE WAS ISSUED BY THE ZONING BOARD OF APPEALS TO CREATE 3 BUILDING LOTS WITH 0 FEET FRONTAGE, RESOLUTION NUMBER 8-09, FILED 7/23/2009

**NOTE:**  
1. WETLAND DELINEATION UPDATED BY STEVE MARINO OF TIM MILLER ASSOCIATES ON 12/18/15 AND 1/15/16 AND WAS CONFIRMED BY THE TOWN'S ENVIRONMENTAL CONSULTANT BRUCE BARBER.



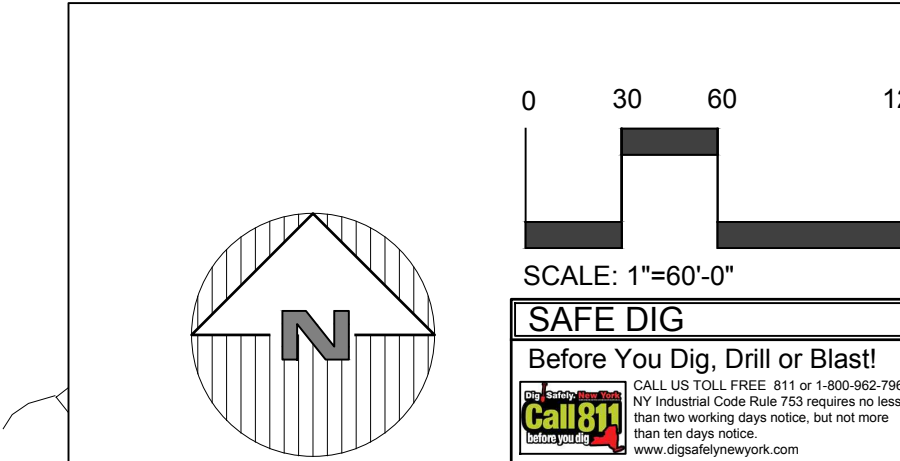
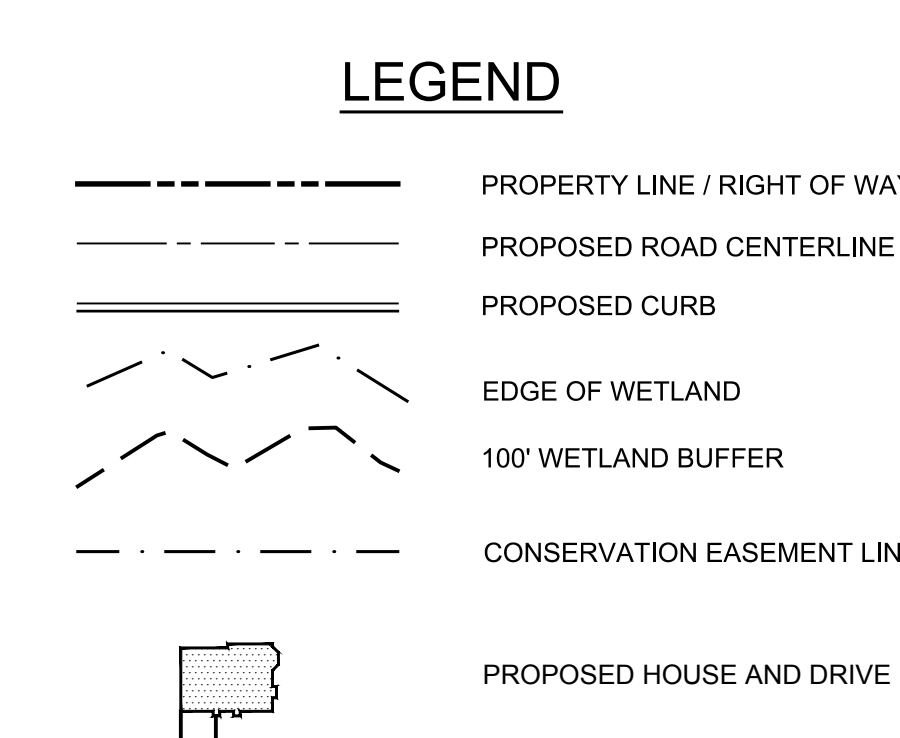
**Site Design Consultants**  
Civil Engineers • Land Planners  
251-J Underhill Avenue, Yorktown Heights, NY 10598  
(914) 962-4488 - Fax: (914) 962-7386  
www.sitedesignconsultants.com



Revisions:	No.	Date	Comments
	1	6/30/17	D/E Comments
	2	8/23/17	D/E Comments
	3	10/16/17	Zoning Info
	4	11/13/18	Local Comments

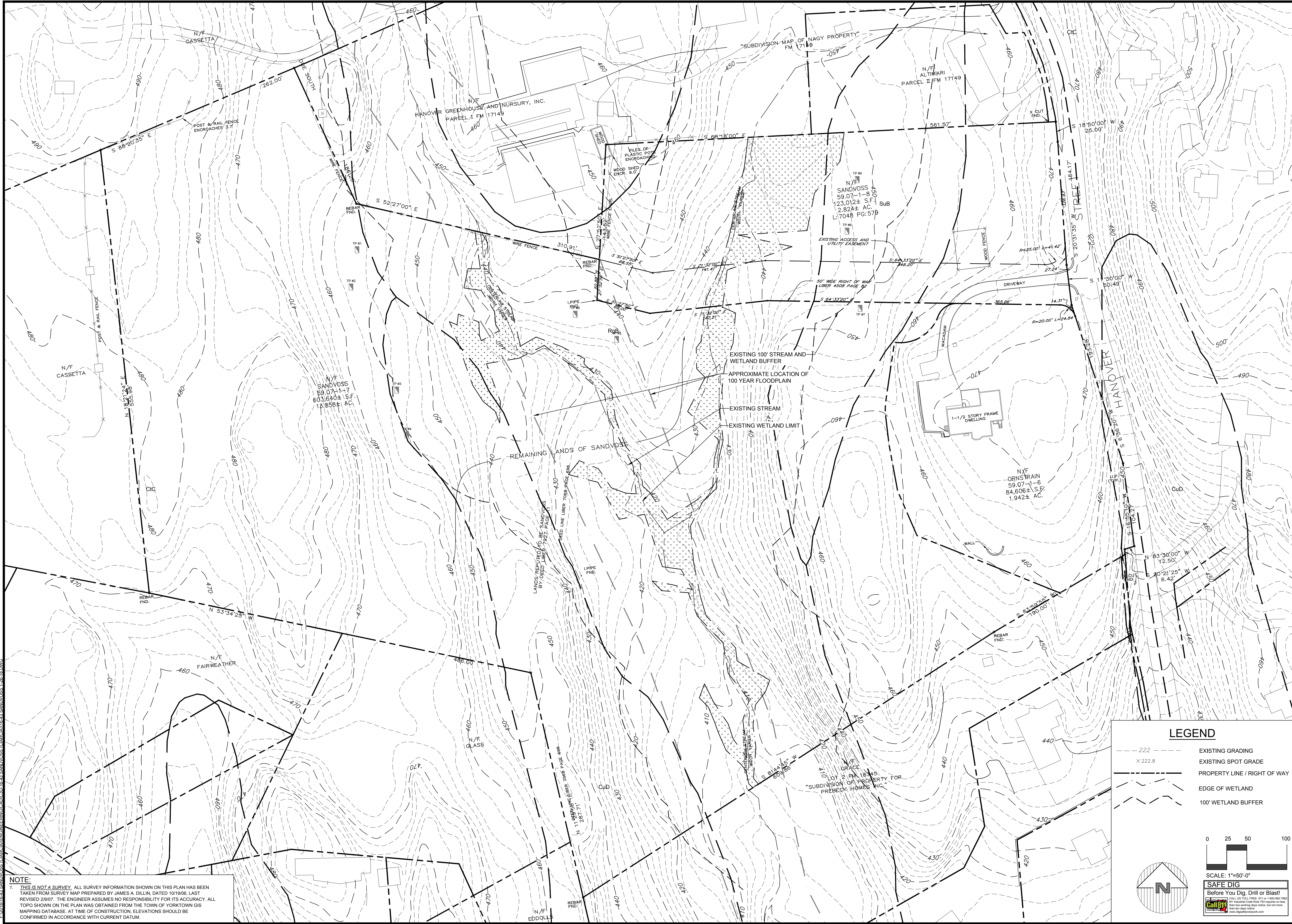
SCALE: 1" = 60'  
DRAWN BY: TK  
DATE: 10/4/16

**SITE PLAN**



SITE PLAN PREPARED FOR  
**SANDVOSS SUBDIVISION**  
1005 HANOVER STREET  
Town of Yorktown Heights, Westchester County, New York

Sheet 1 of 12



**NOTE:**  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JAMES A. DILLIN, DATED 10/19/06, LAST REVISED 2/9/07. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. ALL TOPO SHOWN ON THE PLAN WAS OBTAINED FROM THE TOWN OF YORKTOWN GIS MAPPING DATABASE. AT TIME OF CONSTRUCTION, ELEVATIONS SHOULD BE CONFIRMED IN ACCORDANCE WITH CURRENT DATUM.

**LEGEND**

- 222 --- EXISTING GRADING
- x 222.8 EXISTING SPOT GRADE
- PROPERTY LINE / RIGHT OF WAY
- - - - - EDGE OF WETLAND
- - - - - 100' WETLAND BUFFER

0 25 50 100  
 SCALE: 1"=50'-0"

**SAFE DIG**  
 Before You Dig, Drill or Blast!  
 Call 811  
 www.diganddrill.com

**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 - Fax: (914) 962-7386  
 www.sitedesignconsultants.com

PROJECT # 16-43

STATE OF NEW YORK  
 JOSEPH CARLO RUINA  
 LICENSED PROFESSIONAL P.E.  
 NYS Lic. No. 64431

Revisions:	No.	Date	Comments
	1	6/30/17	DEP Comments
	2	8/23/17	DEP Comments
	3	10/16/17	Zoning Info
	4	11/13/18	Town Comments

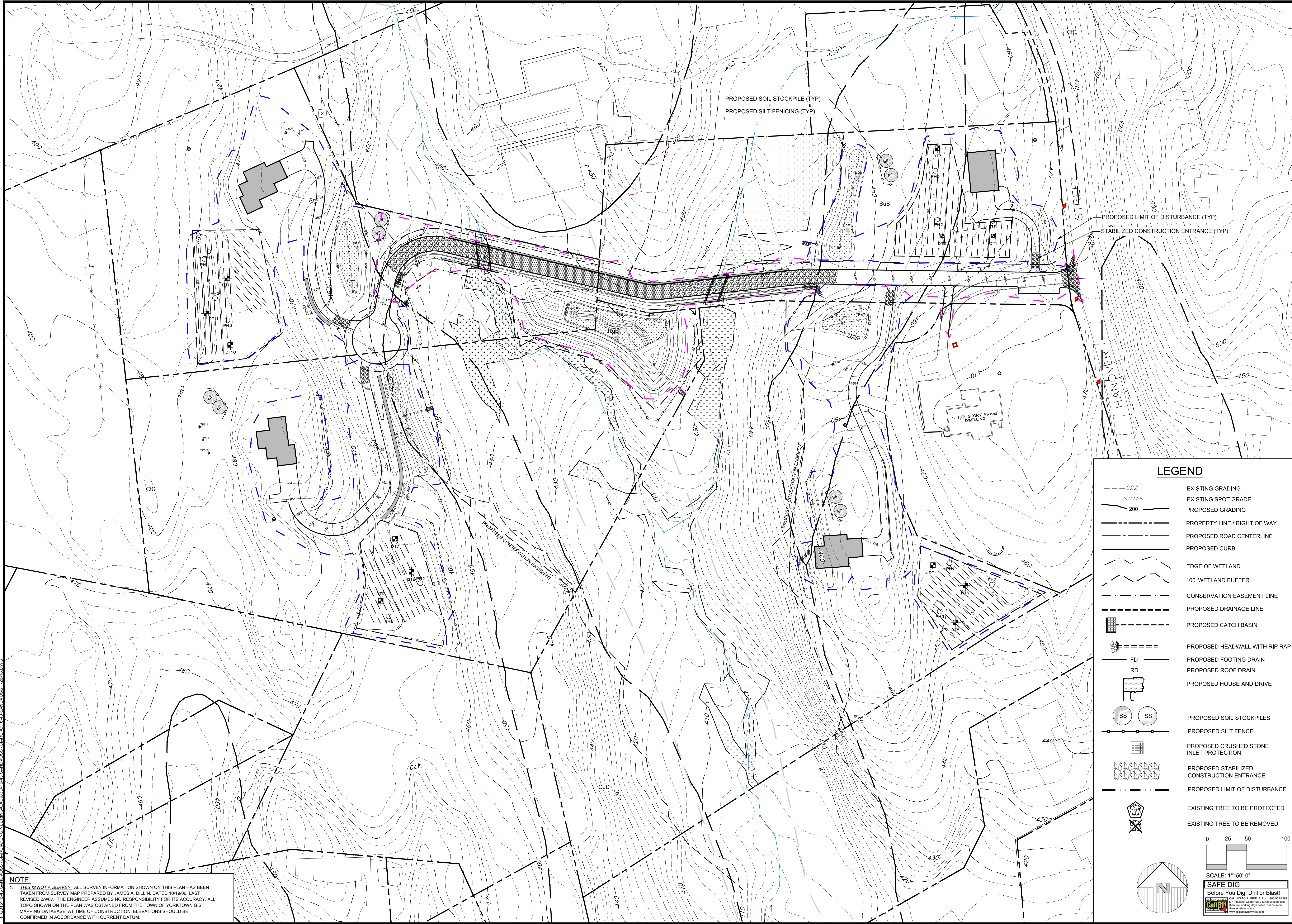
SCALE: 1" = 50'  
 DRAWN BY: TK  
 DATE: 10/4/16

**EXISTING CONDITIONS**

**SANDVOSS SUBDIVISION**  
 PREPARED FOR  
 1005 HANOVER STREET  
 Town of Yorktown Heights, Westchester County, New York

Sheet 2 of 12

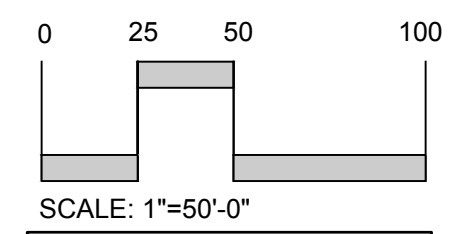
COPYRIGHT © 2012 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED.



**NOTE:**  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JAMES A. DILLIN, DATED 10/19/06, LAST REVISED 2/9/07. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. ALL TOPO SHOWN ON THE PLAN WAS OBTAINED FROM THE TOWN OF YORKTOWN GIS MAPPING DATABASE. AT TIME OF CONSTRUCTION, ELEVATIONS SHOULD BE CONFIRMED IN ACCORDANCE WITH CURRENT DATUM.

**LEGEND**

- 222 EXISTING GRADING
- EXISTING SPOT GRADE
- 200 PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EDGE OF WETLAND
- 100' WETLAND BUFFER
- CONSERVATION EASEMENT LINE
- PROPOSED DRAINAGE LINE
- PROPOSED CATCH BASIN
- PROPOSED FOOTING DRAIN
- PROPOSED ROOF DRAIN
- PROPOSED HOUSE AND DRIVE
- PROPOSED SOIL STOCKPILES
- PROPOSED SILT FENCE
- PROPOSED CRUSHED STONE INLET PROTECTION
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED LIMIT OF DISTURBANCE
- EXISTING TREE TO BE PROTECTED
- EXISTING TREE TO BE REMOVED

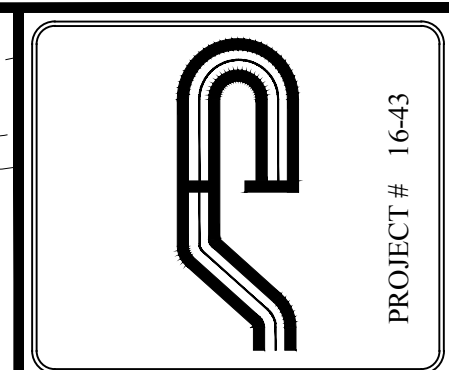


**SAFE DIG**  
 Before You Dig, Drill or Blast!  
 Call 811  
 www.call811.com

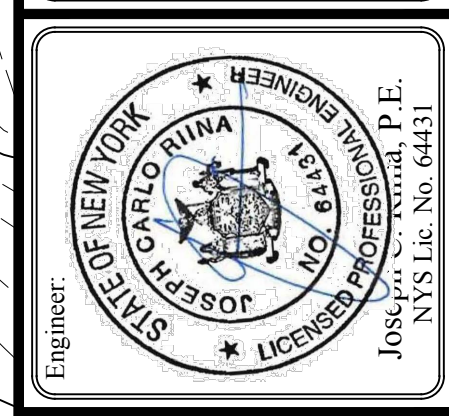
Revisions:

No.	Date	Comments
1	6/30/17	DEP Comments
2	8/23/17	DEP Comments
3	10/16/17	Zoning Info
4	11/13/18	Local Comments
5		

SCALE: 1" = 50'  
 DRAWN BY: TK  
 DATE: 10/4/16



**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 • Fax: (914) 962-7386  
 www.sitedesignconsultants.com



**E&S PLAN**

SITE PLAN PREPARED FOR  
**SANDVOSS SUBDIVISION**  
 1005 HANOVER STREET  
 Town of Yorktown Heights, Westchester County, New York

Sheet 3 of 12



**NOTE:**  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JAMES A. DILLIN, DATED 10/19/06, LAST REVISED 2/9/07. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. ALL TOPO SHOWN ON THE PLAN WAS OBTAINED FROM THE TOWN OF YORKTOWN GIS MAPPING DATABASE. AT TIME OF CONSTRUCTION, ELEVATIONS SHOULD BE CONFIRMED IN ACCORDANCE WITH CURRENT DATUM.

**LEGEND**

- 222 EXISTING GRADING
- 222.8 EXISTING SPOT GRADE
- 200 PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EDGE OF WETLAND
- 100' WETLAND BUFFER
- CONSERVATION EASEMENT LINE
- PROPOSED DRAINAGE LINE
- PROPOSED CATCH BASIN
- PROPOSED HEADWALL WITH RIP RAP
- PROPOSED FOOTING DRAIN
- PROPOSED ROOF DRAIN
- PROPOSED HOUSE AND DRIVE

SCALE: 1" = 50'-0"

**SAFE DIG**  
 Before You Dig, Drill or Blast!  
 Call 811  
 www.call811.com

**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 - Fax: (914) 962-7386  
 www.sitedesignconsultants.com

PROJECT # 16-43

Engineer: **JOSEPH C. KIRMA, P.E.**  
 STATE OF NEW YORK  
 PROFESSIONAL ENGINEER  
 No. 13131-K  
 NYS Lic. No. 64431

Revisions:	No.	Date	Comments
	1	6/30/17	DEP Comments
	2	8/23/17	DEP Comments
	3	10/16/17	zoning info
	4	11/13/18	zoning info
	5	11/13/18	zoning info

SCALE: 1" = 50'

DRAWN BY: TK

DATE: 10/4/16

**IMPROVEMENT PLAN**

SITE PLAN PREPARED FOR  
**SANDVOSS SUBDIVISION**  
 1005 HANNOVER STREET  
 Town of Yorktown Heights, Westchester County, New York

Sheet 4 of 12

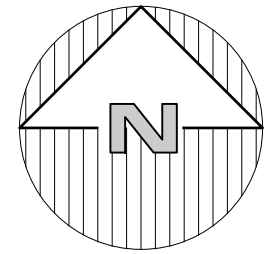
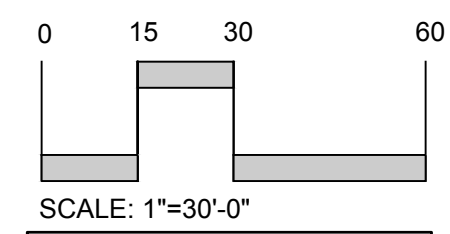
Copyright © 2012 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED.



**NOTE:**  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JAMES A. DILLIN, DATED 10/19/06, L.A.S.B.#R. REVISED 2/9/07. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. ALL TOPO SHOWN ON THE PLAN WAS OBTAINED FROM THE TOWN OF YORKTOWN GIS MAPPING DATABASE. AT TIME OF CONSTRUCTION, ELEVATIONS SHOULD BE CONFIRMED IN ACCORDANCE WITH CURRENT DATUM.

**LEGEND**

- EXISTING GRADING
- EXISTING SPOT GRADE
- PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EDGE OF WETLAND
- 100' WETLAND BUFFER
- CONSERVATION EASEMENT LINE
- PROPOSED DRAINAGE LINE
- PROPOSED CATCH BASIN
- PROPOSED HEADWALL WITH RIP RAP
- PROPOSED FOOTING DRAIN
- PROPOSED ROOF DRAIN
- PROPOSED HOUSE AND DRIVE
- PROPOSED SOIL STOCKPILES
- PROPOSED SILT FENCE
- PROPOSED CRUSHED STONE INLET PROTECTION
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED LIMIT OF DISTURBANCE
- EXISTING TREE TO BE PROTECTED
- EXISTING TREE TO BE REMOVED



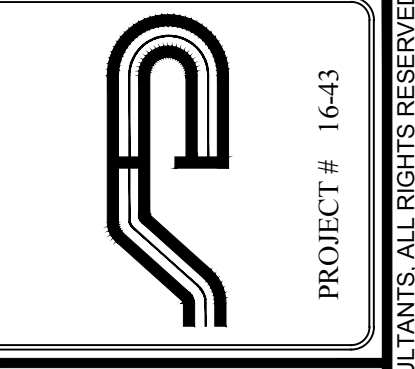
**SAFE DIG**  
 Before You Dig, Drill or Blast!  
 Call 811  
 1-800-485-5849  
 www.call811.com

Revisions:	No.	Date	Comments
	1	6/30/17	DEP Comments
	2	8/23/17	DEP Comments
	3	10/16/17	Zoning Info
	4	11/13/17	Town Comments
	5	1-31-18	Town Comments

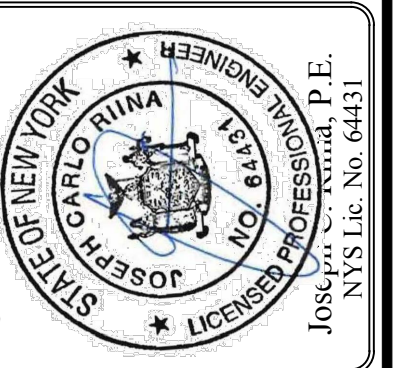
SCALE: 1" = 30'  
 DRAWN BY: TK  
 DATE: 10/4/16

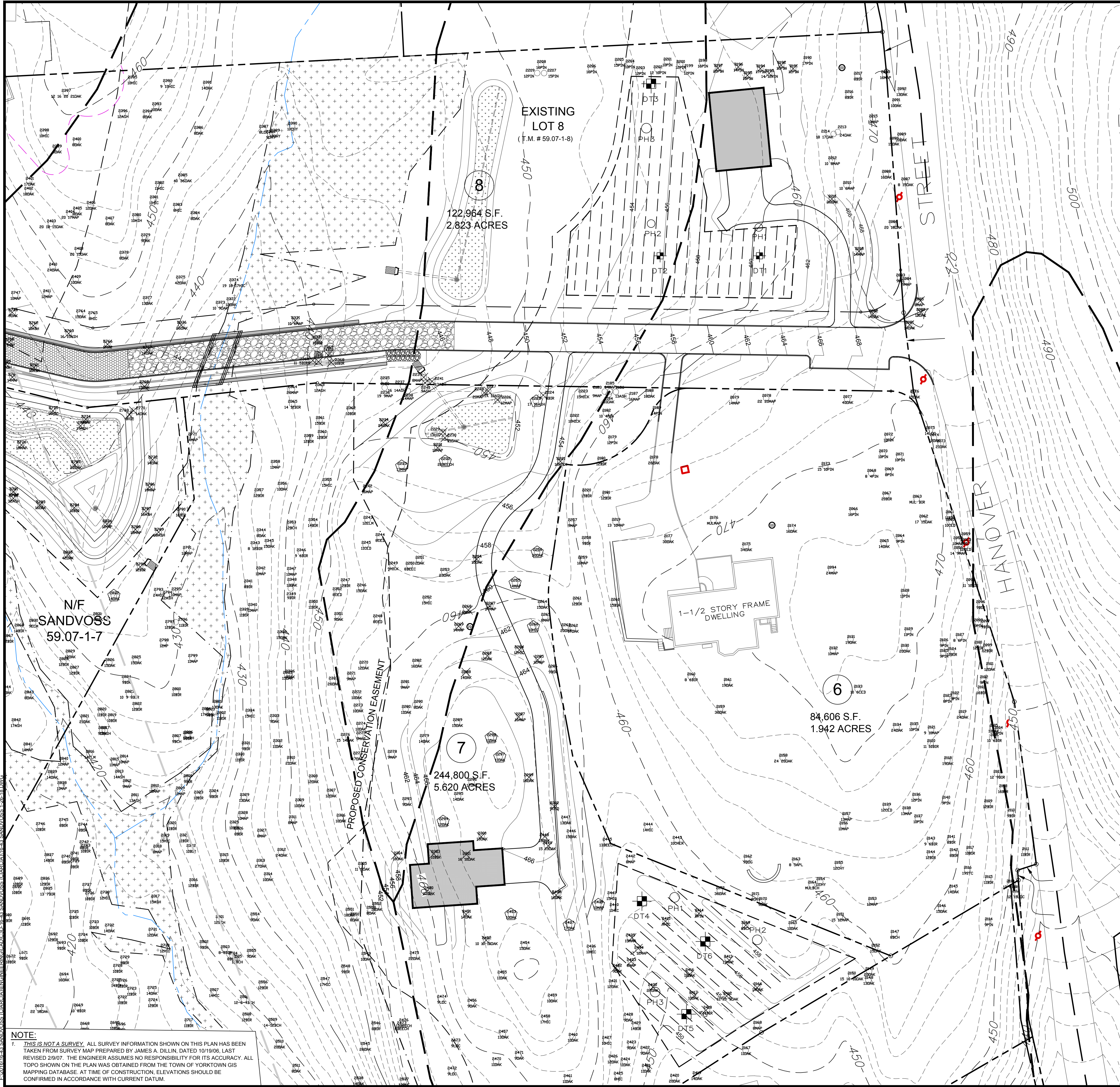
**TREE PLAN 1**

SITE PLAN PREPARED FOR  
**SANDVOSS SUBDIVISION**  
 1005 HANOVER STREET  
 Town of Yorktown Heights, Westchester County, New York



**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 - Fax: (914) 962-7386  
 www.sitedesignconsultants.com

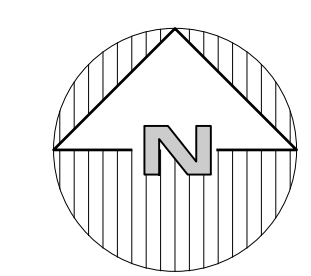
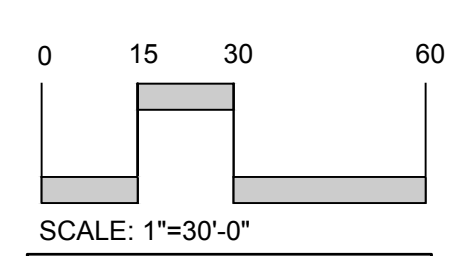




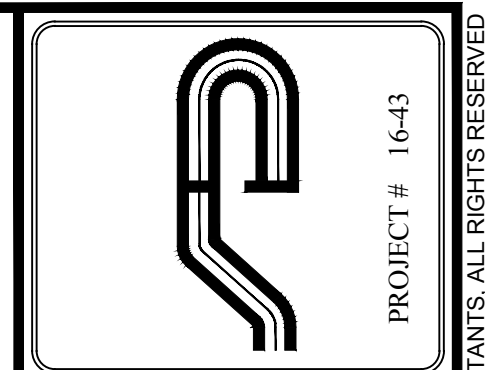
**NOTE:**  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JAMES A. DILLIN, DATED 10/19/06, LAST REVISED 2/9/07. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. ALL TOPO SHOWN ON THE PLAN WAS OBTAINED FROM THE TOWN OF YORKTOWN GIS MAPPING DATABASE. AT TIME OF CONSTRUCTION, ELEVATIONS SHOULD BE CONFIRMED IN ACCORDANCE WITH CURRENT DATUM.

**LEGEND**

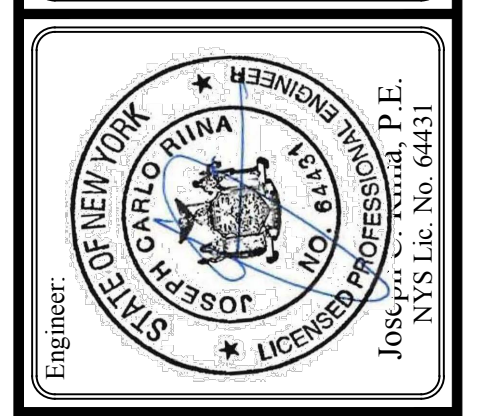
	EXISTING GRADING
	EXISTING SPOT GRADE
	PROPOSED GRADING
	PROPERTY LINE / RIGHT OF WAY
	PROPOSED ROAD CENTERLINE
	PROPOSED CURB
	EDGE OF WETLAND
	100' WETLAND BUFFER
	CONSERVATION EASEMENT LINE
	PROPOSED DRAINAGE LINE
	PROPOSED CATCH BASIN
	PROPOSED HEADWALL WITH RIP RAP
	PROPOSED HOUSE AND DRIVE
	PROPOSED LIMIT OF DISTURBANCE
	EXISTING TREE TO BE PROTECTED
	EXISTING TREE TO BE REMOVED



**SAFE DIG**  
 Before You Dig, Drill or Blast!  
 Call 811 or 1-800-487-3829  
 NY Industrial Code Rule 233 requires no less than ten days notice.  
 www.digbeforeyoudig.com



**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 - Fax: (914) 962-7386  
 www.sitedesignconsultants.com



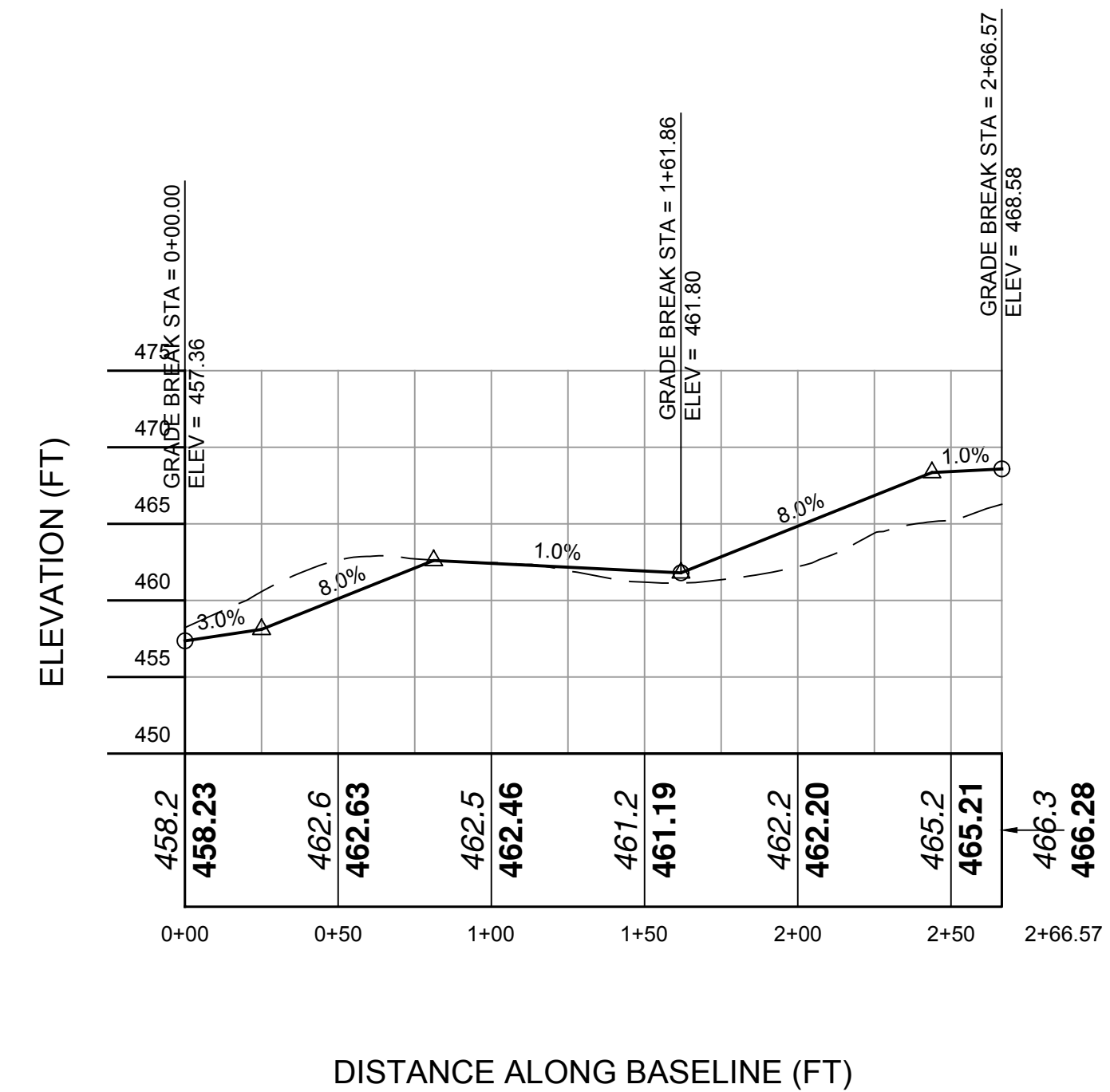
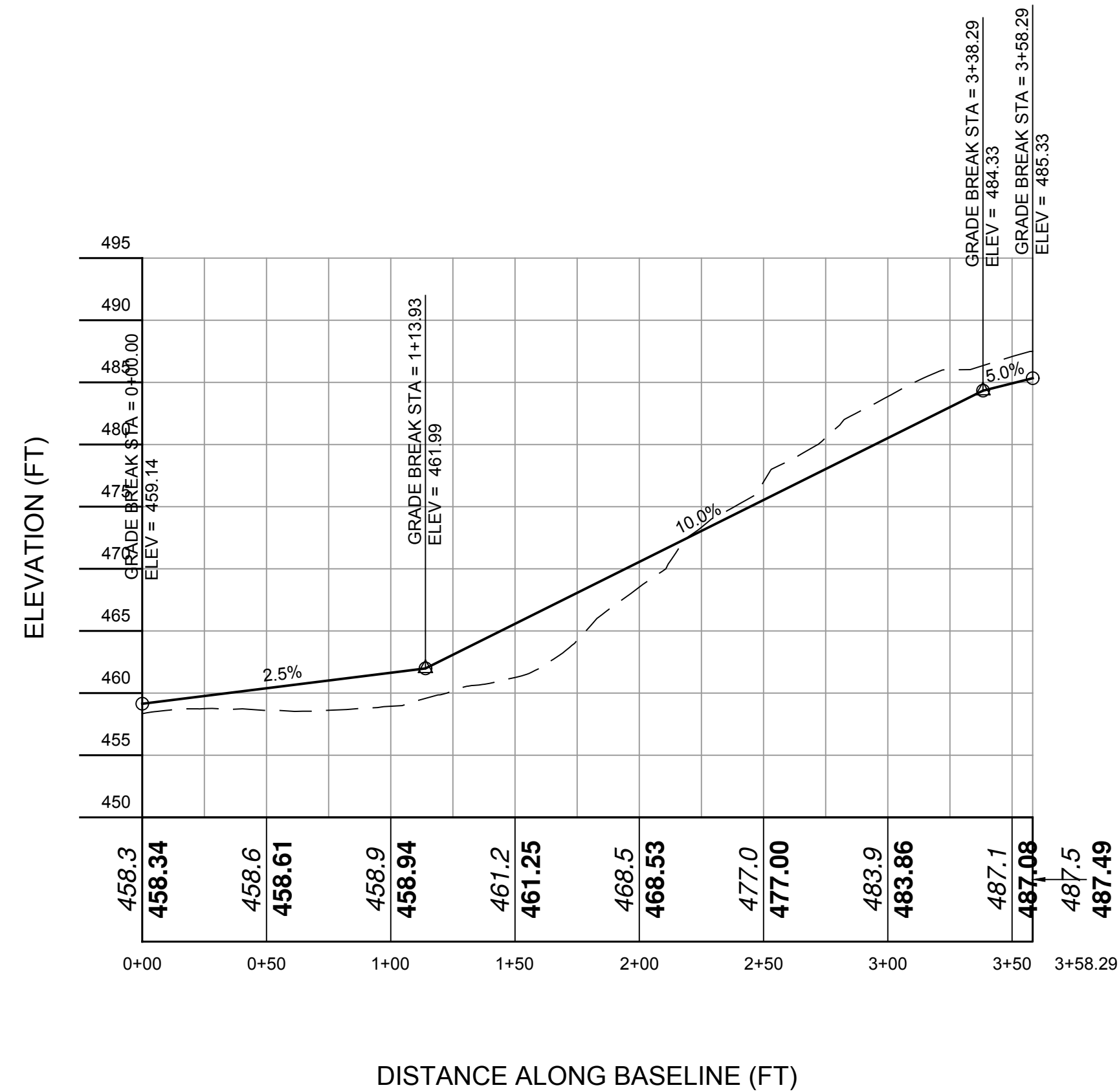
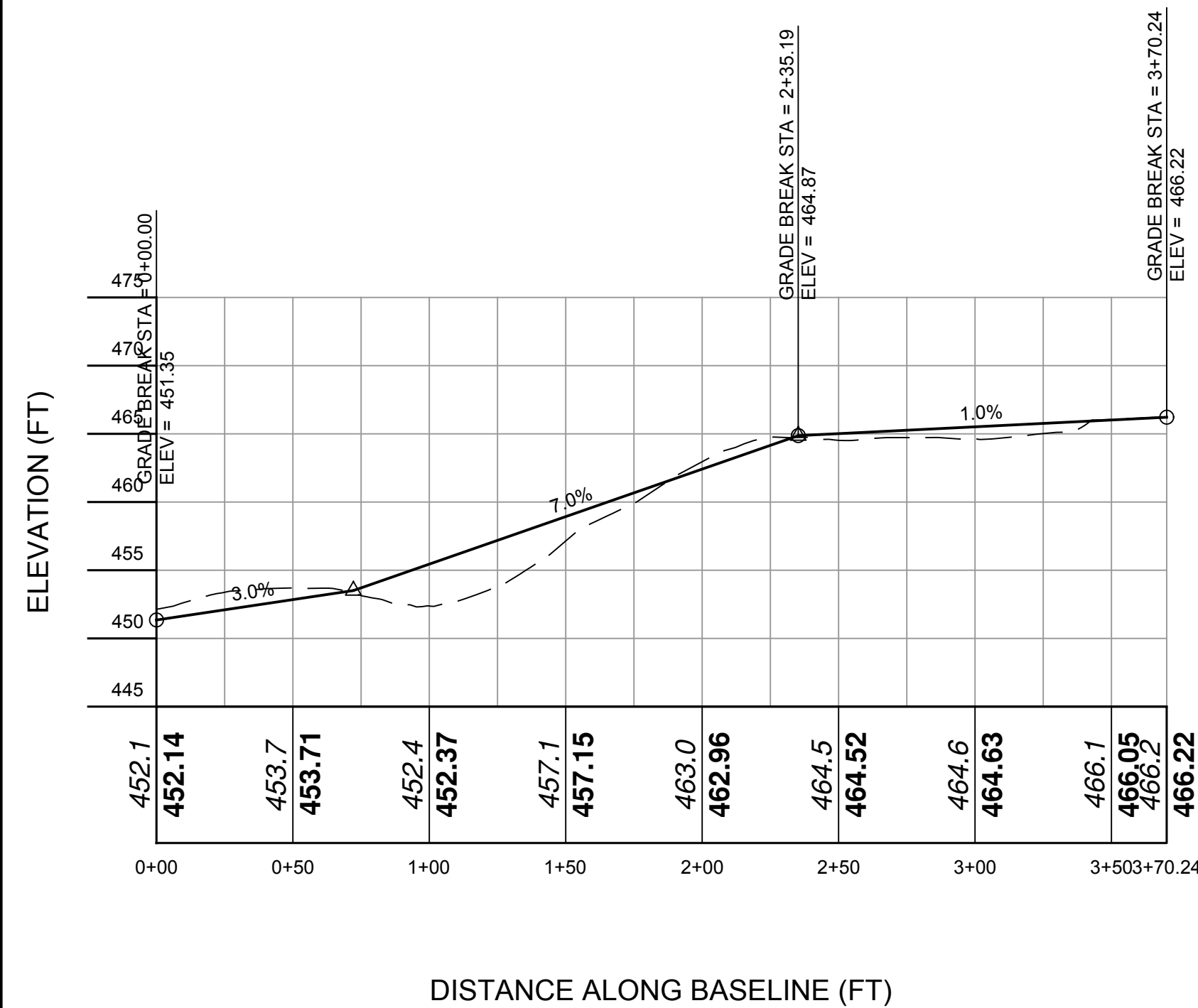
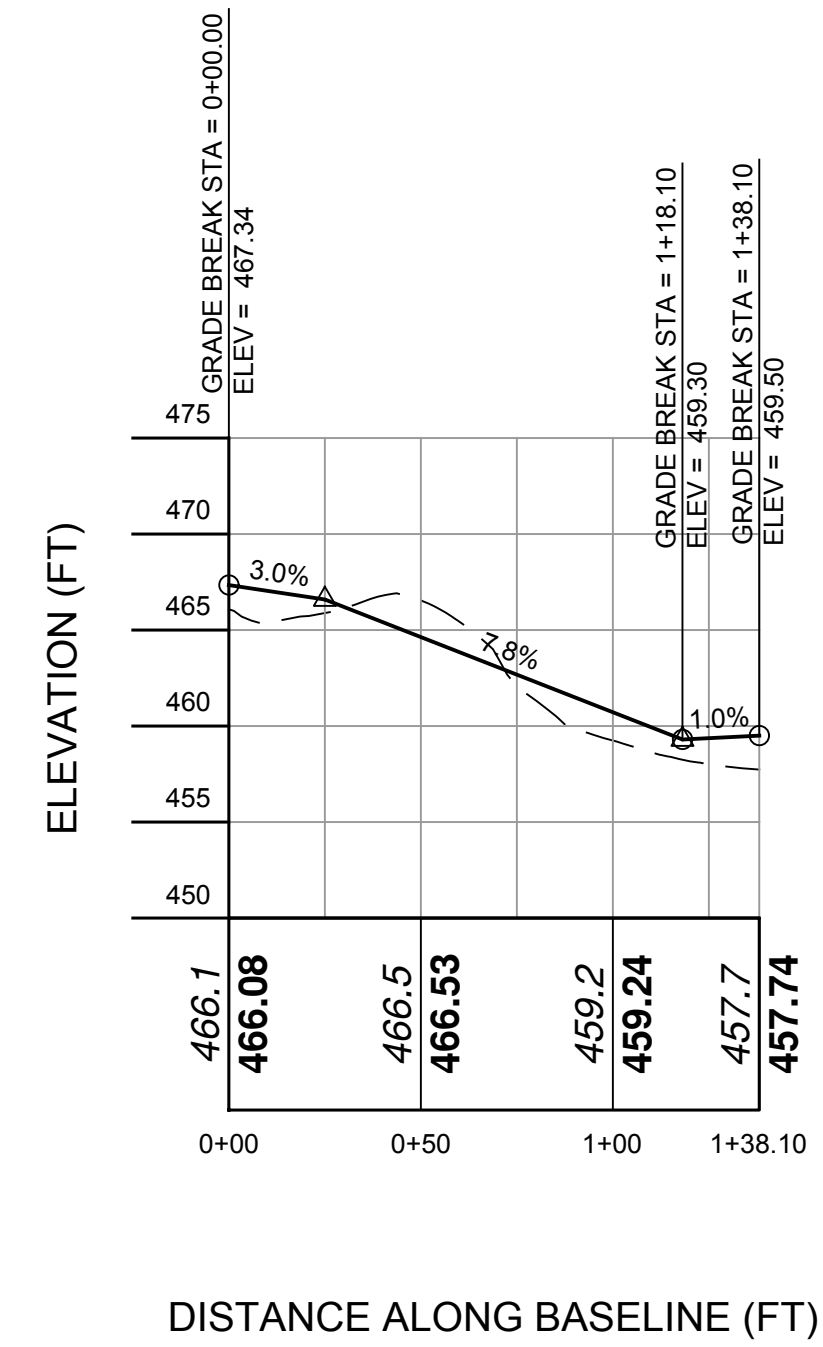
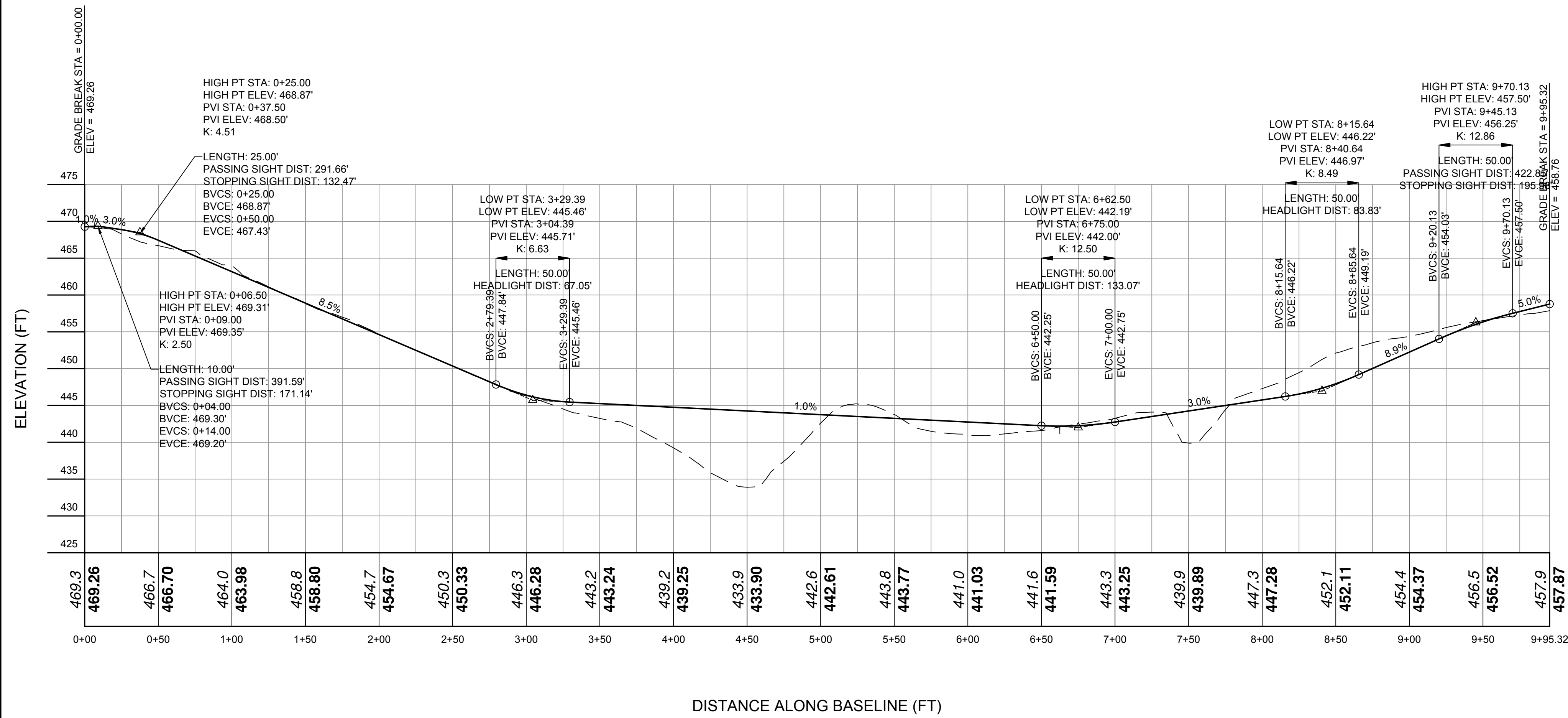
**Revisions:**

No.	Date	Comments
1	6/30/17	DEP Comments
2	8/23/17	DEP Comments
3	10/16/17	Zoning Info
4	11/13/18	Local Comments
5		

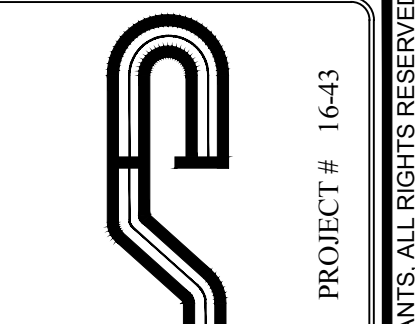
<b>SCALE:</b> 1" = 30'	<b>DATE:</b> 10/4/16
<b>DRAWN BY:</b> TK	

**TREE PLAN 2**

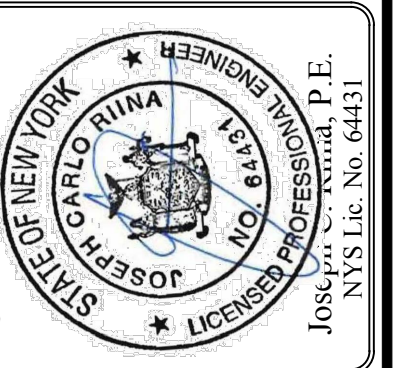
**SITE PLAN PREPARED FOR**  
**SANDVOSS SUBDIVISION**  
 1005 HANOVER STREET  
 Town of Yorktown Heights, Westchester County, New York



NOTE:  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JAMES A. DILLIN, DATED 10/19/06, LAST REVISED 2/9/07. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. ALL TOPO SHOWN ON THE PLAN WAS OBTAINED FROM THE TOWN OF YORKTOWN GIS MAPPING DATABASE. AT TIME OF CONSTRUCTION, ELEVATIONS SHOULD BE CONFIRMED IN ACCORDANCE WITH CURRENT DATUM.



**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 - Fax: (914) 962-7386  
 www.sitedesignconsultants.com



Revisions:	No.	Date	Comments
	1	6/30/17	DEP Comments
	2	8/23/17	DEP Comments
	3	10/16/17	Zoning Info
	4	11/13/18	Final Comments
	5	1-31-18	Final Comments

SCALE: NTS  
 DRAWN BY: TK  
 DATE: 10/4/16

# PROFILES

SITE PLAN PREPARED FOR  
**SANDVOSS SUBDIVISION**  
 1005 HANOVER STREET  
 Town of Yorktown Heights, Westchester County, New York

COPYRIGHT © 2012 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED.

GENERAL NOTES:

- 1. THE ENGINEER WHOSE SEAL APPEARS HEREON IF NOT RETAINED FOR SUPERVISION OF CONSTRUCTION, IS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM.

CONTRACTOR RESPONSIBILITIES:

- 1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY. THE OWNER WILL BE THE SOLE JUDGE OF THE ACCEPTABILITY OF THE WORK.

GENERAL CONSTRUCTION NOTES:

- 1. THE CONTRACTOR SHALL REQUEST A BENCH MARK FROM THE SURVEYOR IN THE SAME DATUM AS THE DESIGN PLANS.

GENERAL EROSION CONTROL NOTES:

- 1. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- N.Y.S.D.E.C. GP-0-15-002 EXPOSURE RESTRICTIONS - STATES THAT ANY EXPOSED EARTHWORK SHALL BE STABILIZED IN ACCORDANCE WITH THE GUIDELINES OF THIS PLAN.

MAINTENANCE SCHEDULE:

Table with 7 columns: Activity, DAILY, WEEKLY, MONTHLY, AFTER RAINFALL, NECESSARY TO MAINTAIN FUNCTION, AFTER APPROVAL OF INSPECTOR.

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

THE STORMWATER MANAGEMENT SYSTEM AND OUTLET STRUCTURE SHALL BE INSPECTED AT THE REQUIRED INTERVAL AND AFTER EVERY RAINFALL EVENT.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

CONTROLS (INCLUDING RESPECTIVE OUTLET STRUCTURES) SHOULD BE INSPECTED WEEKLY FOR THE FIRST FEW MONTHS AFTER CONSTRUCTION AND ON AN ANNUAL BASIS THEREAFTER.

DEBRIS AND LITTER REMOVAL:

TWICE A YEAR, INSPECT OUTLET STRUCTURE AND DRAIN INLETS FOR ACCUMULATED DEBRIS. ALSO, REMOVE ANY ACCUMULATIONS DURING EACH MOVING OPERATION.

STRUCTURAL REPAIR/REPLACEMENT:

OUTLET STRUCTURE MUST BE INSPECTED TWICE A YEAR FOR EVIDENCE OF STRUCTURAL DAMAGE AND REPAIRED IMMEDIATELY.

EROSION CONTROL:

UNSTABLE AREAS TRIBUTARY TO THE BASIN SHALL BE STABILIZED WITH VEGETATION OR OTHER APPROPRIATE EROSION CONTROL MEASURES WITHIN 24 HRS.

SEDIMENT REMOVAL:

SEDIMENT SHOULD BE REMOVED AFTER IT HAS REACHED A MAXIMUM DEPTH OF FIVE INCHES ABOVE THE STORMWATER MANAGEMENT SYSTEM FLOOR.

TOPSOIL:

EXISTING TOPSOIL WILL BE REMOVED AND STORED IN PILES SUFFICIENTLY AS TO AVOID MIXING WITH OTHER EXCAVATION. STOCKPILES SHALL BE SURROUNDED BY EROSION CONTROL AS OUTLINED ON THESE PLANS.

- 1. THE PH OF THE MATERIAL SHALL BE 5.5 TO 7.6.

Table with 2 columns: Sieve Size, % Passing by Wgt.

PERMANENT VEGETATIVE COVER:

- 1. SITE PREPARATION: 1.1. INSTALL EROSION CONTROL MEASURES.

TEMPORARY VEGETATIVE COVER:

- SITE PREPARATION: 1. INSTALL EROSION CONTROL MEASURES.

Table with 2 columns: Mixture, LBS/ACRE

SEEDING: SAME AS PERMANENT VEGETATIVE COVER

CONSTRUCTION SEQUENCE:

General Notes

- 1. Prior to the beginning of any phase work the major features of the construction must be field staked by a licensed surveyor.

Phase I: Project Infrastructure

- 1. Establish main road entrance and install the stabilized construction entrance.

Phase 2: Individual Lots

Each lot will be constructed individually. The lots may be constructed in any particular order, with one exception. Lot 3 will be completed before work can begin on lot 2.

- 1. Prepare the individual lot for construction by installing all temporary perimeter erosion and sediment controls (E&SCs) as shown on the approved construction drawings.

LEGEND

- 222 --- EXISTING GRADING

OWNER / OPERATOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED.

NAME (PLEASE PRINT):

TITLE:

DATE:

ADDRESS:

PHONE:

E-MAIL:

SIGNATURE:

CONTRACTOR CERTIFICATION STATEMENT

CERTIFICATION STATEMENT - ALL CONTRACTORS AND SUBCONTRACTORS AS IDENTIFIED IN A SWPPP, BY THE OWNER OR OPERATOR, IN ACCORDANCE WITH PART III.A.5 OF THE SPDES GENERAL PERMIT FOR STORMWATER RUNOFF FROM CONSTRUCTION ACTIVITY.

I HEREBY CERTIFY THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE SWPPP AND AGREE TO IMPLEMENT ANY CORRECTIVE ACTIONS IDENTIFIED BY THE QUALIFIED INSPECTOR DURING A SITE INSPECTION.

Individual Contractor: \_\_\_\_\_

Name and Title (please print): \_\_\_\_\_

Signature of Contractor: \_\_\_\_\_

Company / Contracting Firm: \_\_\_\_\_

Name of Company: \_\_\_\_\_

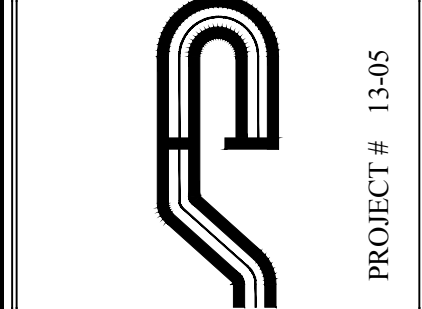
Address of Company: \_\_\_\_\_

Telephone Number / Cell Number: \_\_\_\_\_

Site Information: \_\_\_\_\_

Address of Site: \_\_\_\_\_

Today's Date: \_\_\_\_\_



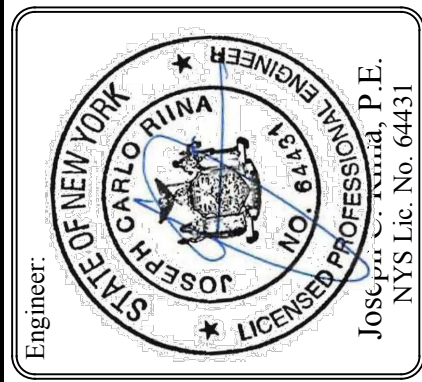
Site Design Consultants

Civil Engineers • Land Planners

251-F Underhill Avenue, Yorktown Heights, NY 10598

(914) 962-4488 - Fax: (914) 962-7386

www.sitedesignconsultants.com



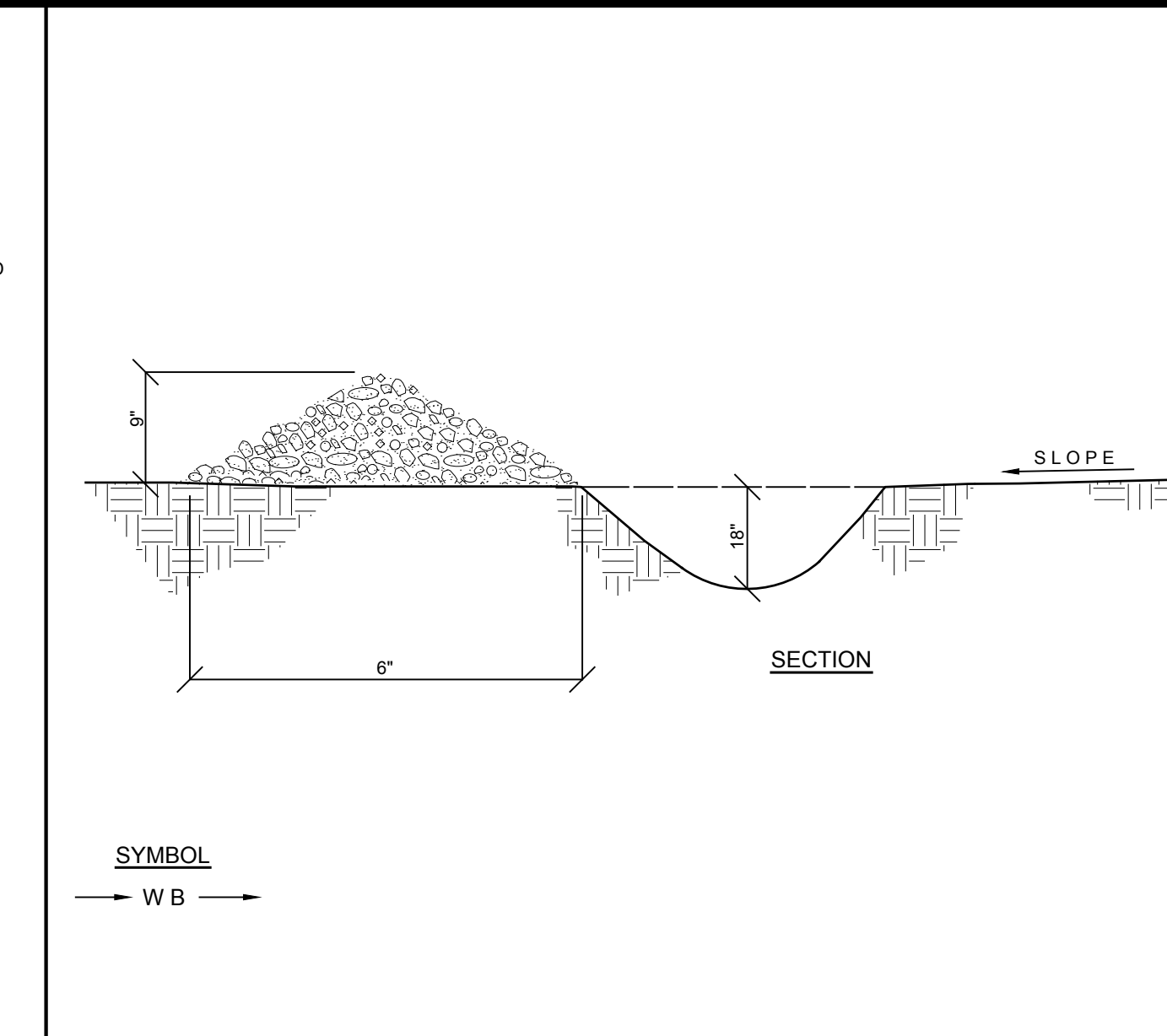
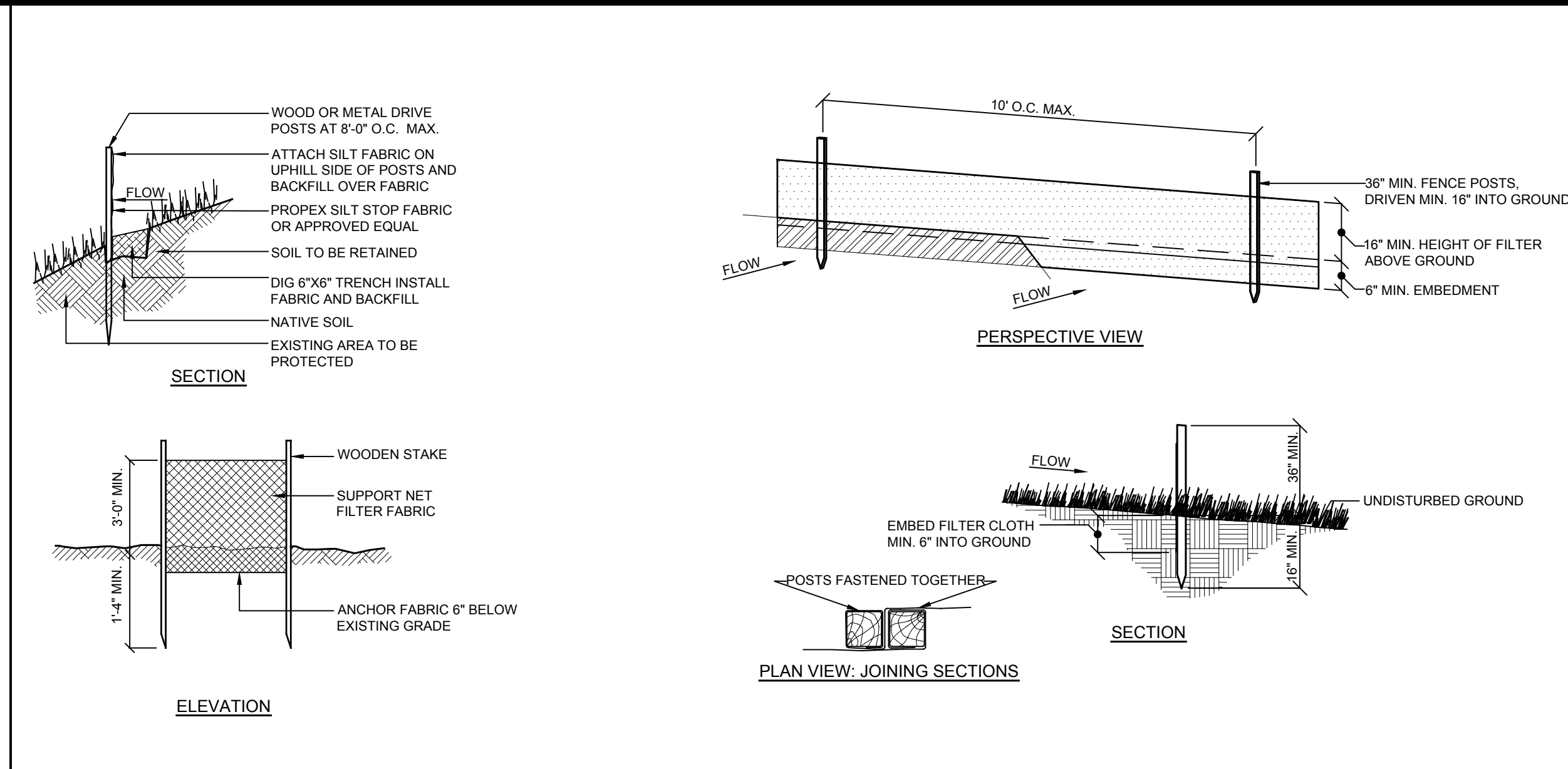
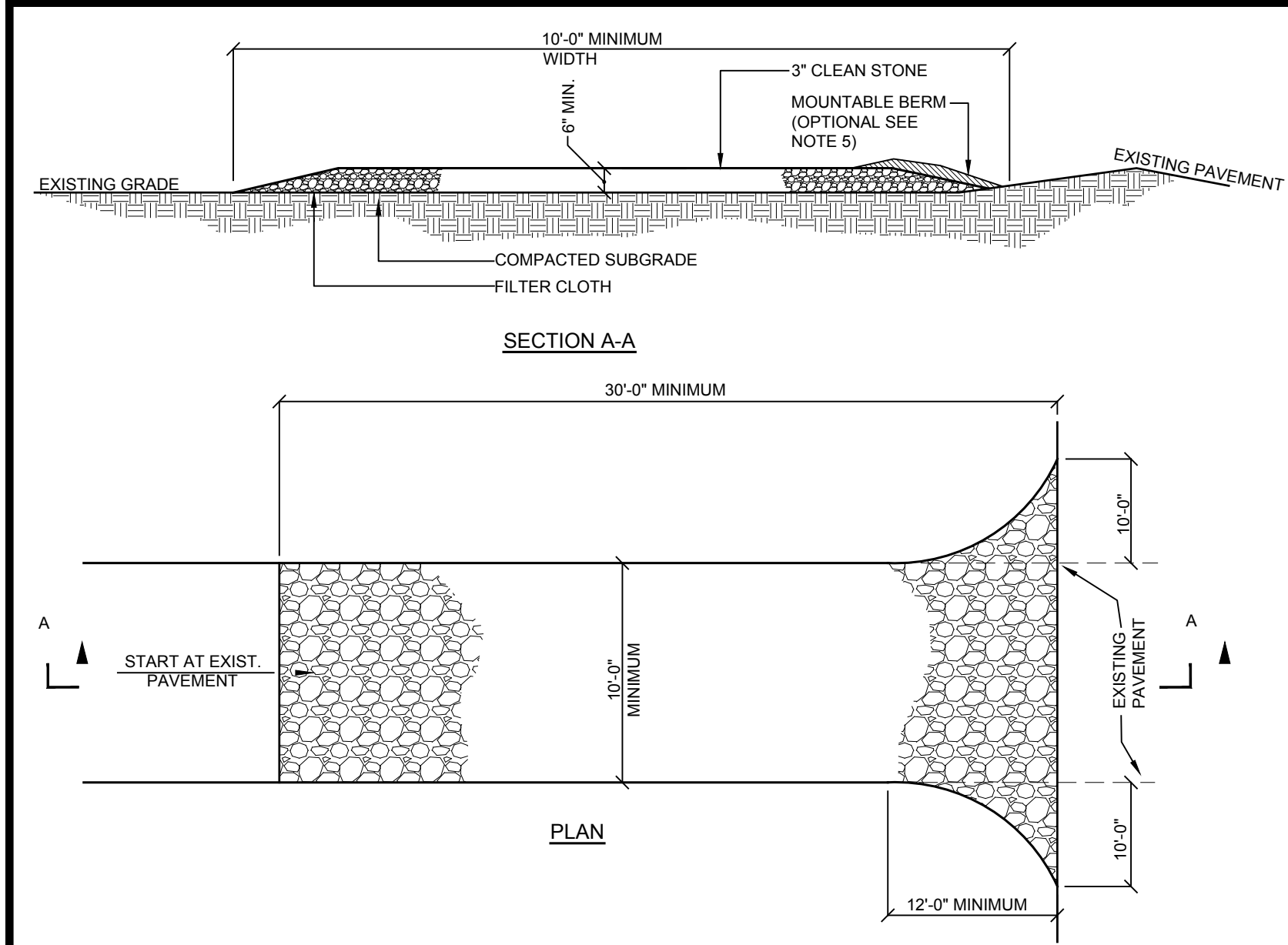
Revisions table with columns: No., Date, Comments

Scale, Drawn by, Date table

NOTES

SITE PLAN PREPARED FOR SANDVOSS SUBDIVISION





**INSTALLATION NOTES:**

1. Stone size - use 3" min. Stone, or reclaimed or recycled concrete equivalent.
2. Length - as required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. Thickness - not less than six (6) inches.
4. Width - 10 foot minimum, but not less than the full width at points where ingress or egress occur. 24 ft if single entrance to site.
5. Surface water - all surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
6. Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right of way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanouts of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right of way must be removed immediately.
7. Washing - wheels shall be cleaned to remove sediment prior to entrance onto public right of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
8. Periodic inspection and needed maintenance shall be provided after each rain.

**NOTES:**

1. Filter cloth to be fastened securely to upgrade side of post: steel posts (either T or U type) or 2" hardwood posts at top and mid section.
2. When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded. Filter cloth shall be Mirafi 100x, Stablinka T140n or approved equal.
3. Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence or the capacity reaches 50%.
4. Excavate 6 inch trench along the silt fence line and bury the fabric.
5. Unroll a section at a time and position the post against the back (downstream) wall of the trench.
6. Drive the post into the ground until the netting is approximately 2 inches from the trench bottom.
7. Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tamp the soil. Steeper slopes require an intercept trench.
8. Join sections as shown above.

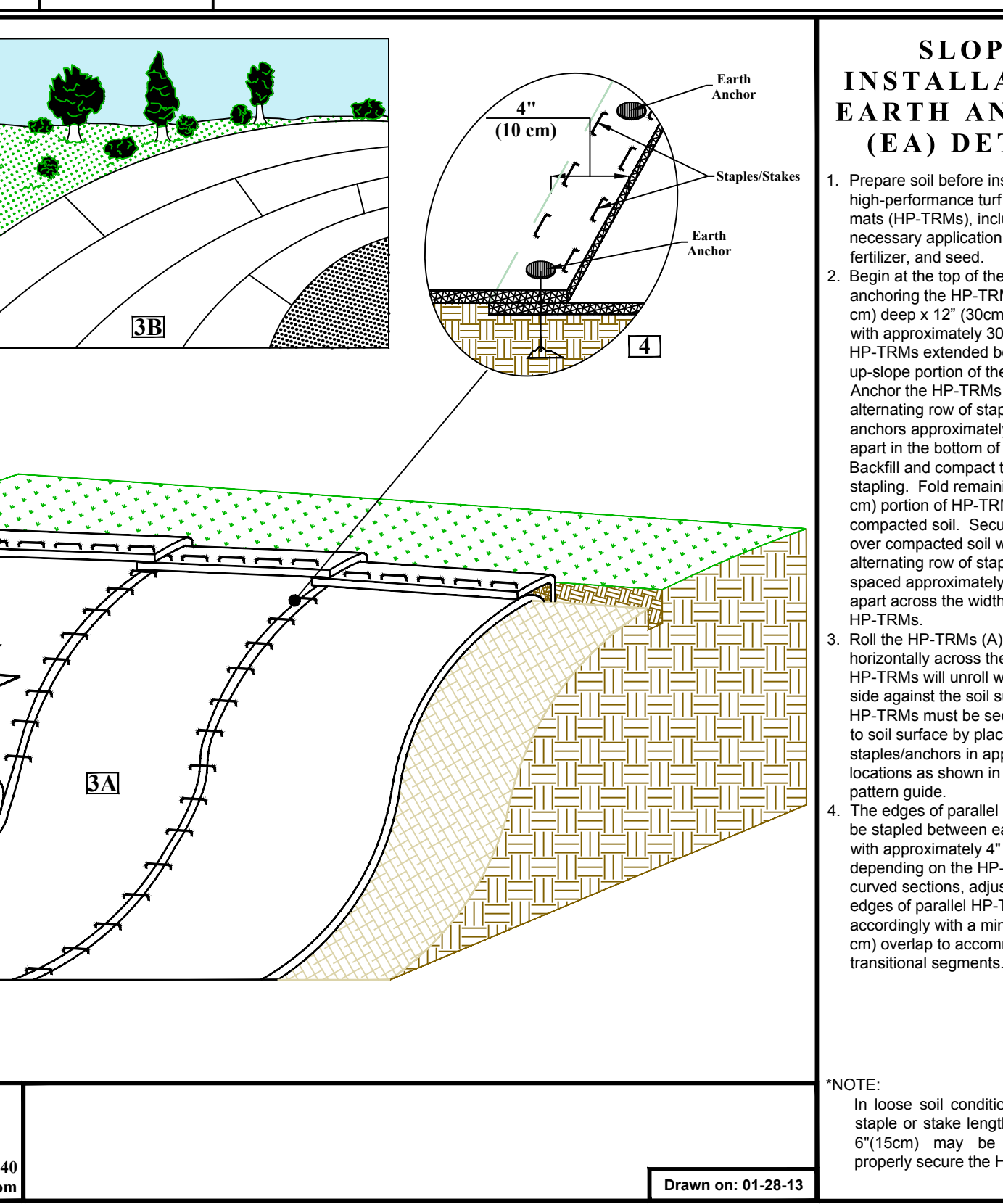
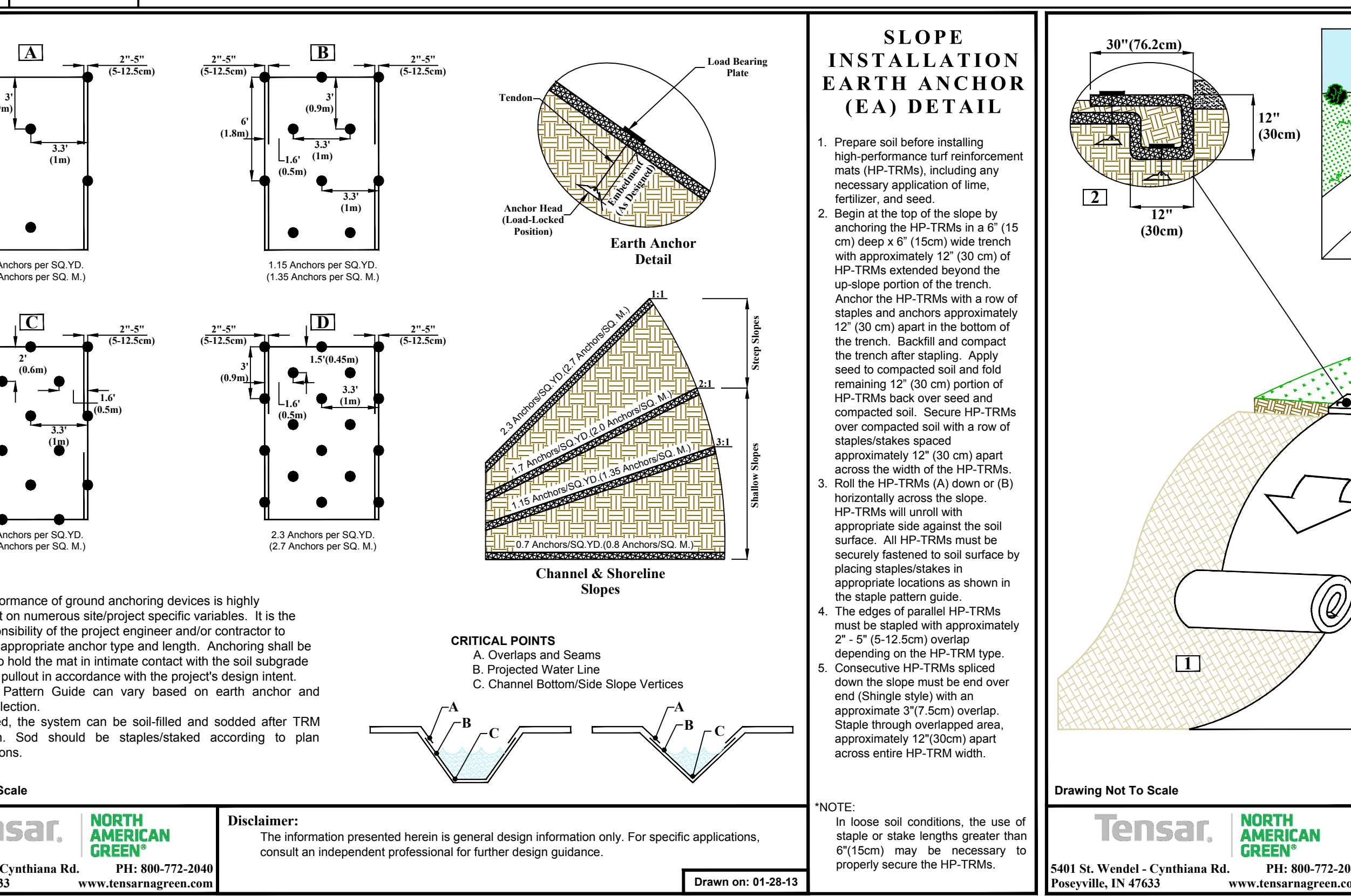
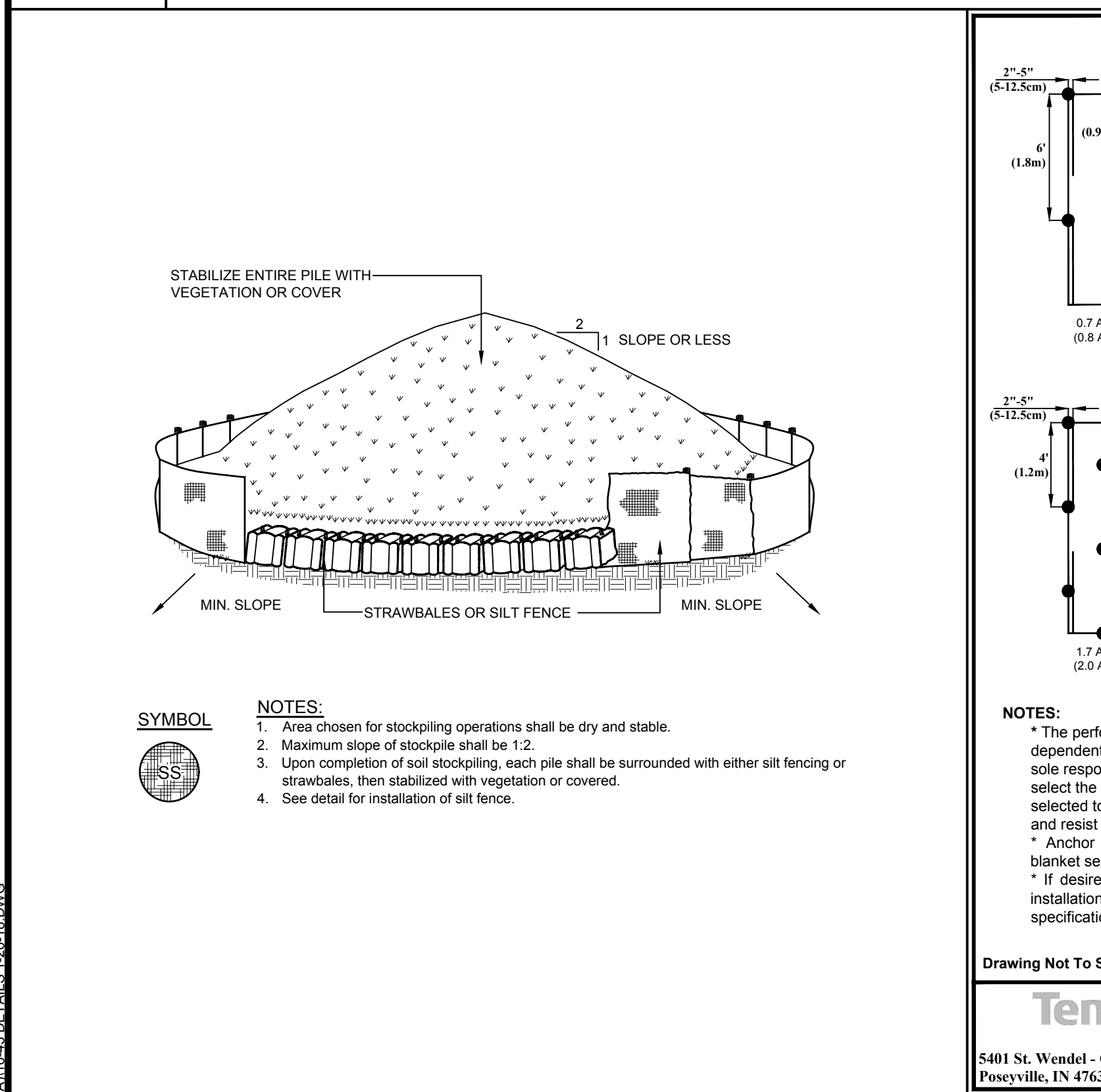
**INSTALLATION NOTES:**

1. Install the water bar as soon as the right of way is cleared and graded.
2. Disk or strip the soil from the base for the constructed ridge before placing fill.
3. Track the ridge to compact it to the design cross section.
4. The outlet shall be located on an undisturbed area. Field spacing will be adjusted to use the most stable outlet areas. Outlet protection will be provided when natural areas are not adequate.
5. Vehicle crossing shall be stabilized with gravel. Exposed areas shall be immediately seeded and mulched.
6. Periodically inspect water bars for erosion damage and sediment. Check outlet areas and make repairs as needed to restore operation.

**E-1 STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE

**E-2 SILT FENCE DETAIL**  
NOT TO SCALE

**E-3 WATER BAR DETAIL**  
NOT TO SCALE



**E-4 SOIL STOCKPILE DETAIL**

**Tensor. NORTH AMERICAN GREEN**  
5401 St. Wendel - Cynthia Rd. PH: 800-772-2040  
Poseyville, IN 47633 www.tensornagreen.com

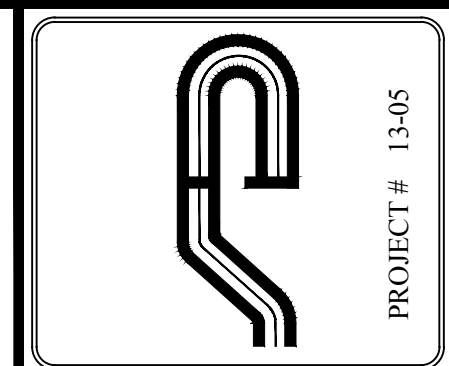
**Disclaimer:**  
The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

Drawn on: 01-28-13

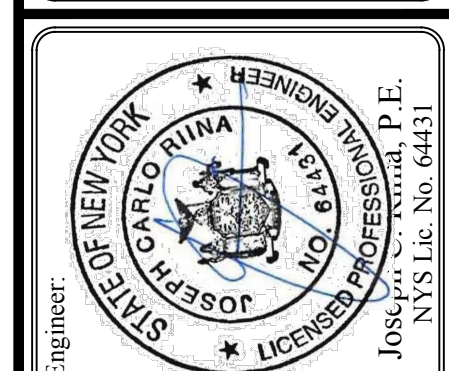
**Tensor. NORTH AMERICAN GREEN**  
5401 St. Wendel - Cynthia Rd. PH: 800-772-2040  
Poseyville, IN 47633 www.tensornagreen.com

**NOTE:**  
In loose soil conditions, the use of staple or stake lengths greater than 6"(15cm) may be necessary to properly secure the HP-TRMs.

Drawn on: 01-28-13



**Site Design Consultants**  
Civil Engineers • Land Planners  
251-F Underhill Avenue, Yorktown Heights, NY 10598  
(914) 962-4488 - Fax: (914) 962-7386  
www.sitedesignconsultants.com

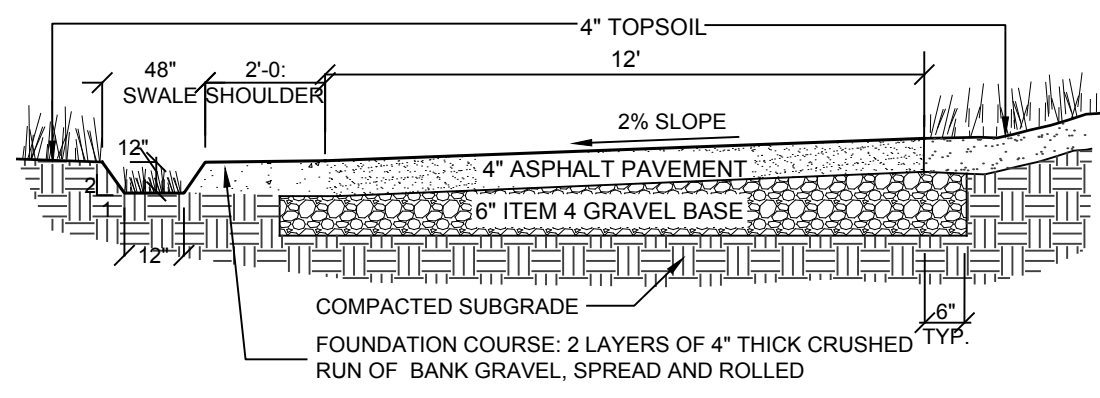


Revisions:	No.	Date	Comments
	1	6/30/17	DEP Comments
	2	8/23/17	DEP Comments
	3	10/16/17	Zoning Info
	4	11/13/18	Local Comments
	5	1-31-18	Local Comments

SCALE:	NTS
DRAWN BY:	TK
DATE:	10/4/16

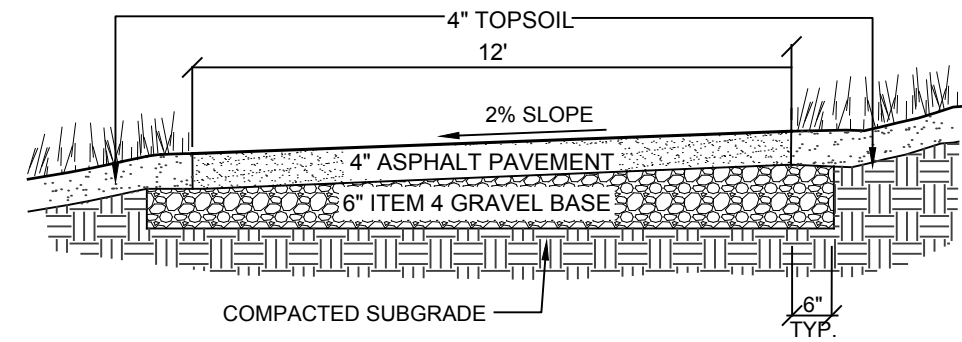
**E&S  
DETAILS**

**SANDVOSS SUBDIVISION**  
1005 HANOVER STREET  
Town of Yorktown Heights, Westchester County, New York



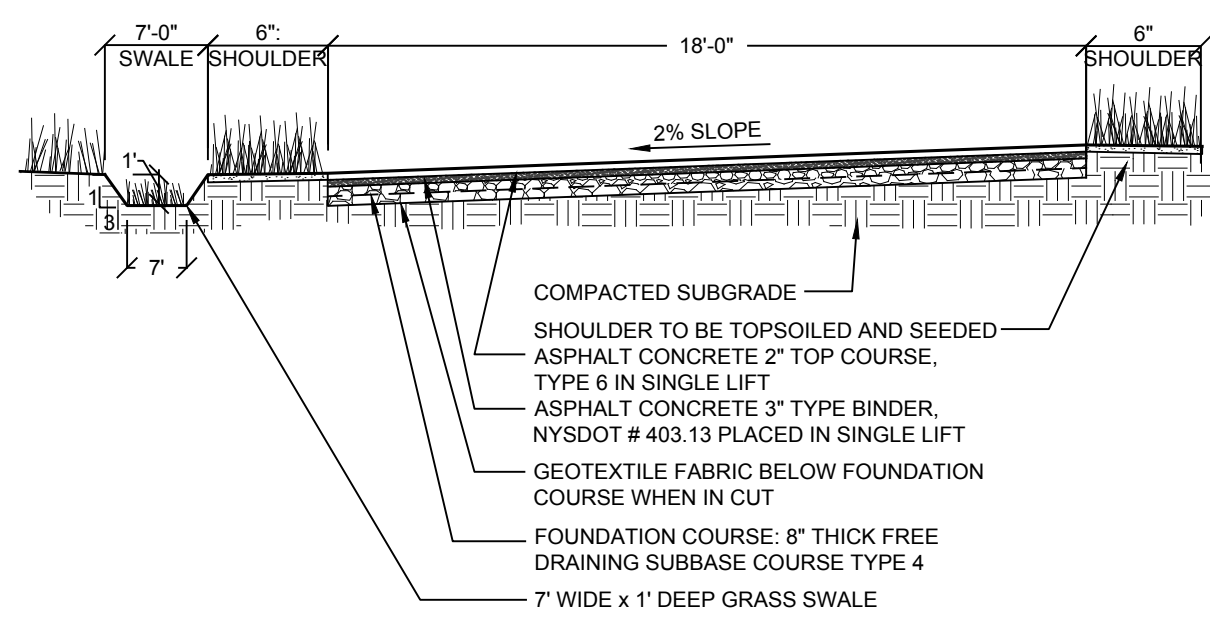
R-1

**DRIVEWAY WITH SWALE DETAIL**  
NOT TO SCALE



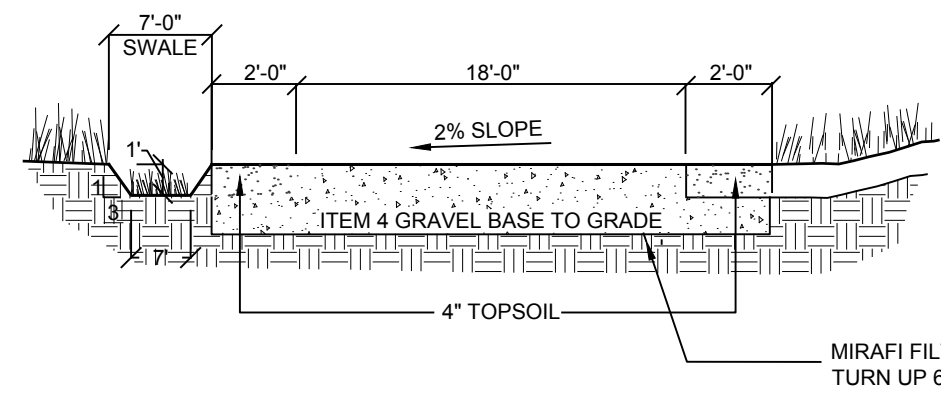
R-2

**DRIVEWAY DETAIL**  
NOT TO SCALE



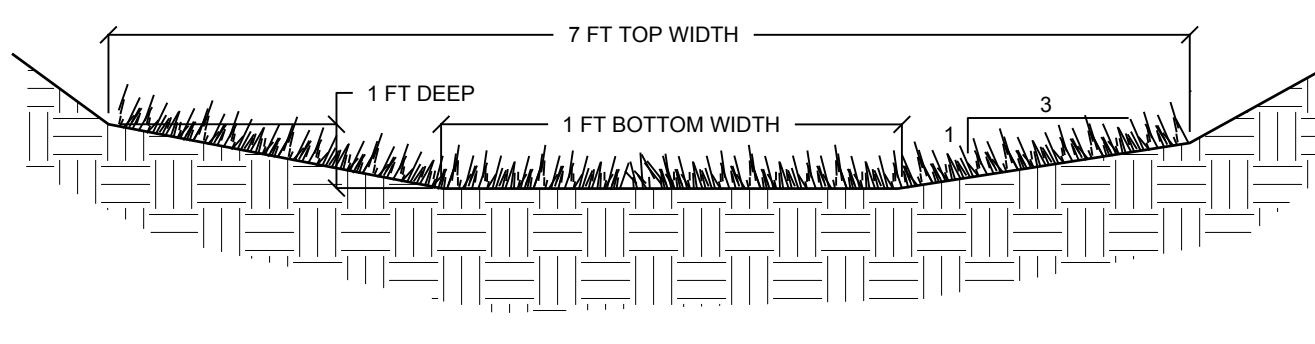
R-3

**PRIVATE ROAD WITH SWALE DETAIL**  
NOT TO SCALE



R-4

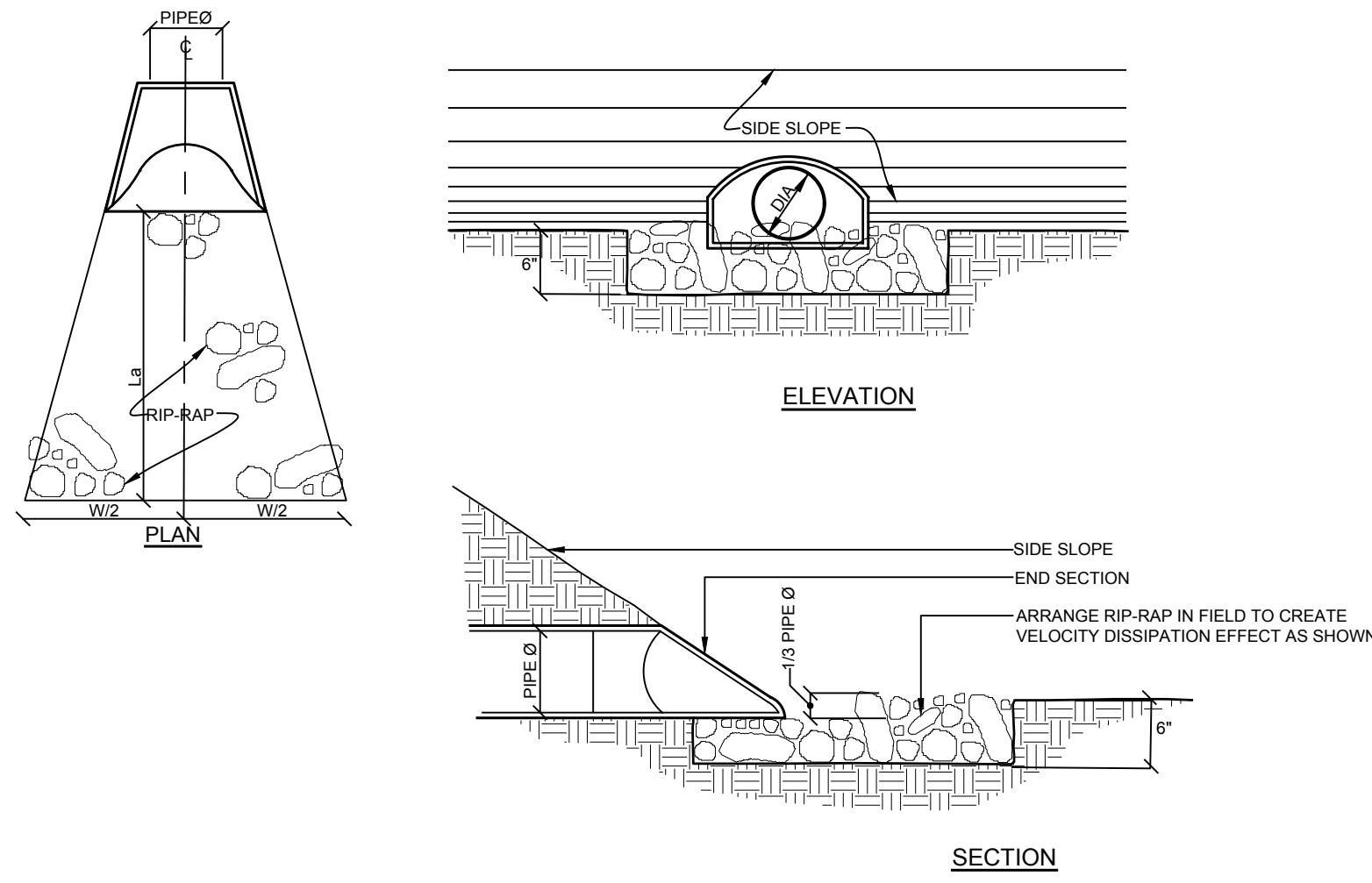
**GRAVEL PRIVATE ROAD DETAIL**  
NOT TO SCALE



**NOTE:**  
1. Grass swale to be seeded with grass mixture per 1000 s.F as follows:  
Kentucky Bluegrass: 60lbs  
Creeping Red Fescue: 50 lbs  
Perennial Ryegrass: 20lbs  
2. The foundation area shall be cleared of trees, stumps, sod, loose rock, or other objectionable materials.  
3. The cross section shall be excavated to the neat lines and grades shown on the plans. Over excavated areas shall be backfilled with moist soil compacted to the density of the surrounding material.  
4. No abrupt deviations from design grade or horizontal alignment shall be permitted.  
5. Construction operations shall be done in such a manner that erosion, air and water pollution will be minimized and held within legal limits. All disturbed areas shall be vegetated or otherwise protected against soil erosion.

SW-1

**VEGETATED SWALE DETAIL**  
NOT TO SCALE

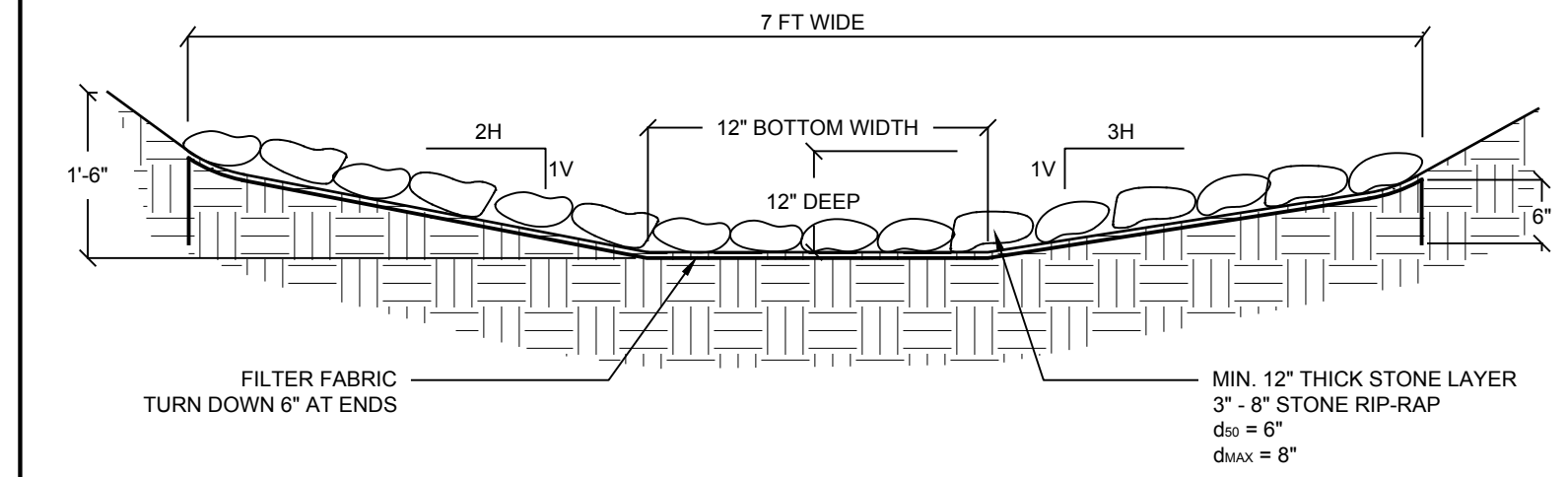


D-1

**RIP-RAP APRON/ENERGY DISSIPATOR DETAIL**  
NOT TO SCALE

**OUTLET PROTECTION DESIGN PARAMETERS**

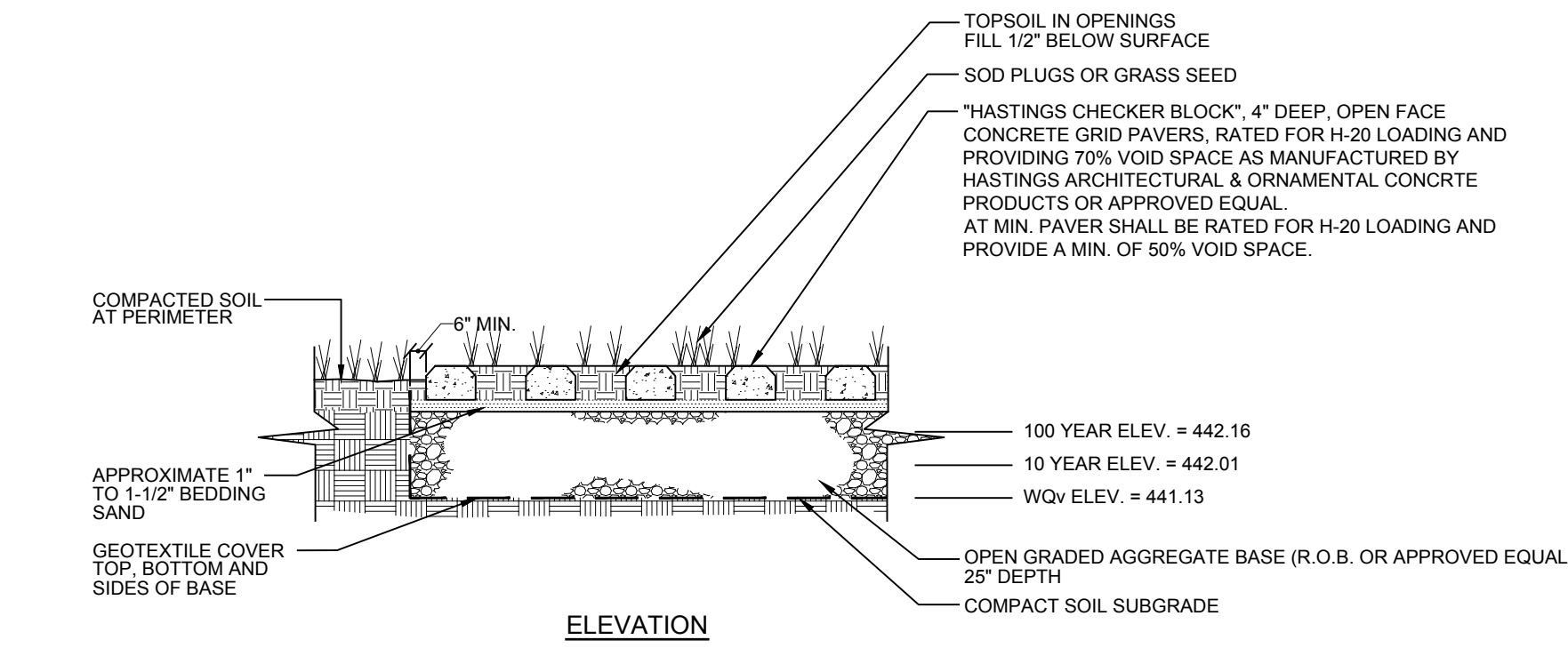
STRUCTURE ID	Do (IN)	La (FT)	W (FT)	D50 (IN)	DMAX (IN)	MIN. BLANKET THICKNESS (IN)
LOT 1 RAIN GARDEN	15	7	4.05	4	6	9
LOT 2 RAIN GARDEN	15	6	3.65	4	6	9
LOT 3 RAIN GARDEN	15	6	3.65	4	6	9
LOT 4 RAIN GARDEN	18	7	4.3	4	6	9
POCKET WETLAND	18	7	4.3	4	6	9



**NOTES:**  
1. The foundation area shall be cleared of trees, stumps, sod, loose rock, or other objectionable materials.  
2. The cross section shall be excavated to the neat lines and grades shown on the plans. Over excavated areas shall be backfilled with moist soil compacted to the density of the surrounding material.  
3. Filter, bedding, and rock rip-rap shall be placed to line and grade in the manner specified.  
4. No abrupt deviations from design grade or horizontal alignment shall be permitted.  
5. Construction operations shall be done in such a manner that erosion, air and water pollution will be minimized and held within legal limits. All disturbed areas shall be vegetated or otherwise protected against soil erosion.

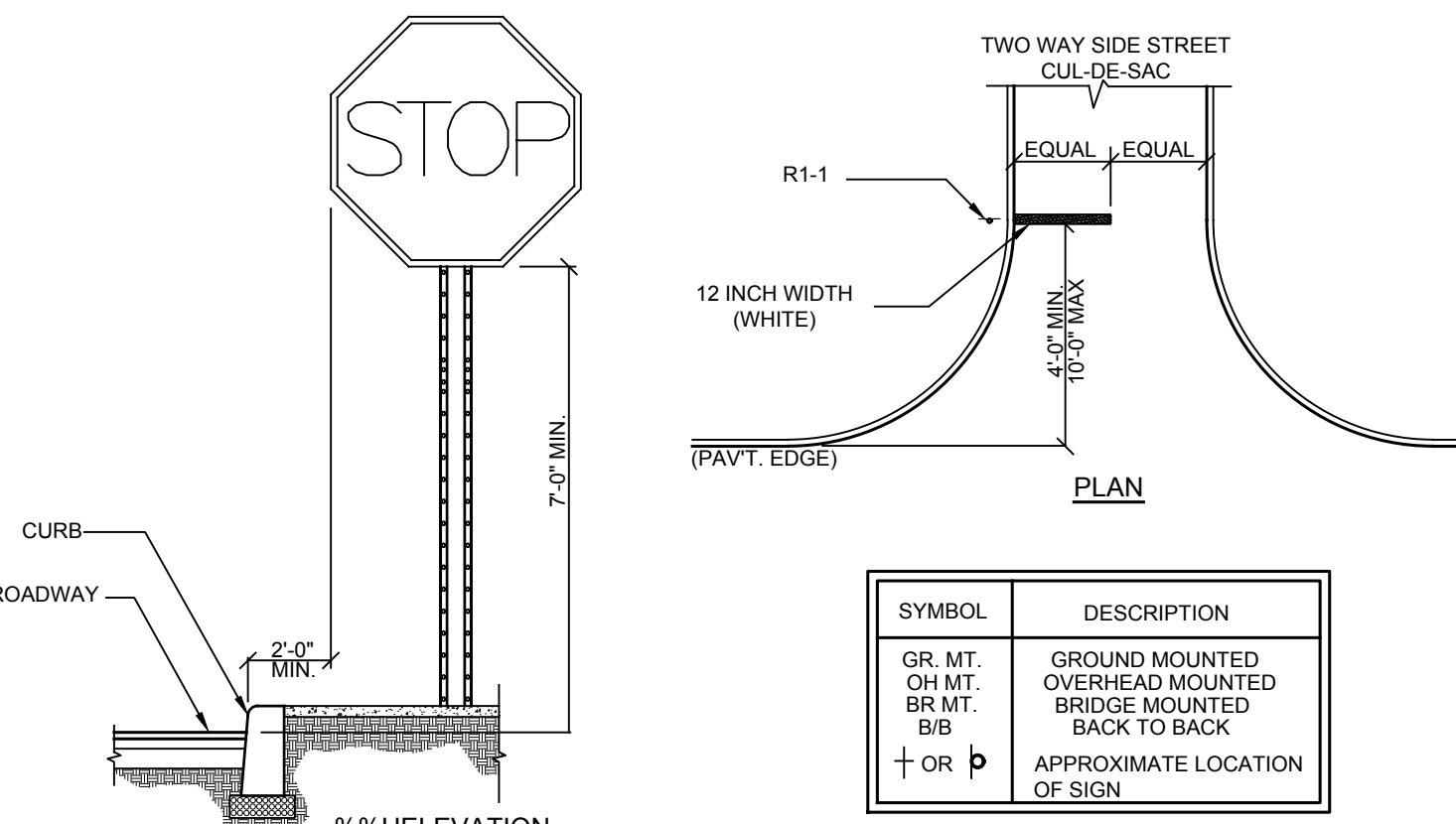
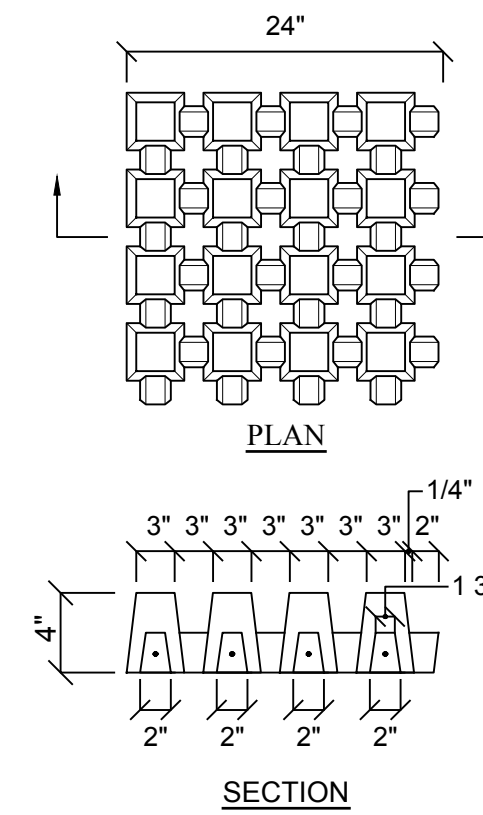
SW-2

**RIP-RAP SWALE DETAIL**  
NOT TO SCALE



R-5

**POROUS PAVERS DETAIL**  
NOT TO SCALE



**GENERAL NOTES:**

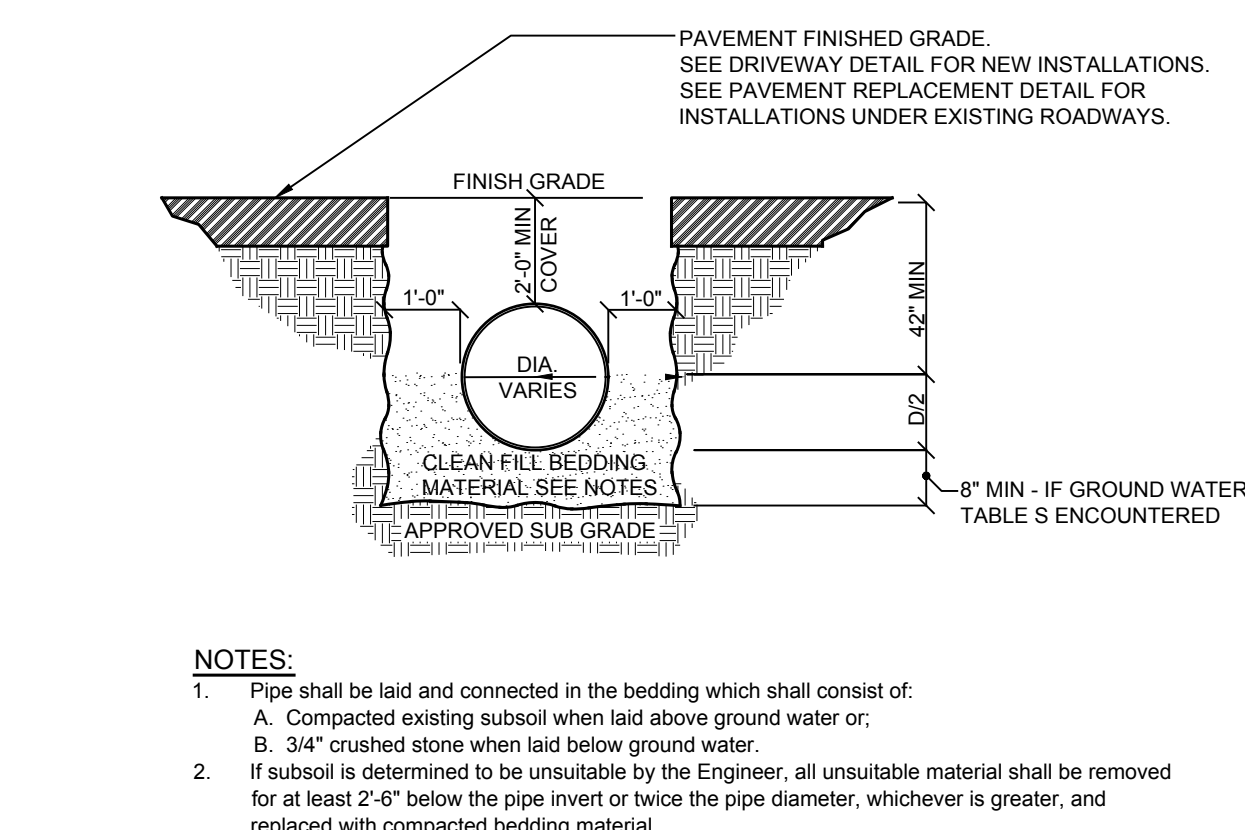
- All signage shall be in accordance with the latest edition of the national MUTCD and the N.Y.S Supplement (MUTCD), September 2007, including the following:  
A. Letter size and series  
B. Legend and background color  
C. Reflectivity  
D. Size of sign  
2. The type of characters as specified in the standard specifications shall be as follows:  
MUTCD CODE LETTER      TYPE OF CHARACTER  
G.I.                              TYPE IV  
R.P.W.M.                        TYPE IV OR V  
3. Sign locations as shown on plans are approximate. The Contractor shall relocate existing signs and install new signs in accordance with the MUTCD, latest edition. The Contractor shall contact the Town Engineer to discuss/resolve problem areas.  
4. Except where otherwise specified, parking signs shall be placed facing approaching traffic at an angle of between 30 and 45 degrees with the line of traffic flow. Parking signs shall be placed at each end of a regulation (single-headed arrows) and, within the regulation (double-headed arrows), at intervals not to exceed 200 ft.  
5. Where new signs are installed the Contractor shall affix a label to the back of the sign panel. This label will show the date of installation and identification numbers.  
6. Placement of W3-17 sign is prescribed in the General Municipal Law.

SYMBOL	DESCRIPTION
GR. MT.	GROUND MOUNTED
OH MT.	OVERHEAD MOUNTED
BR MT.	BRIDGE MOUNTED
BIS	BACK TO BACK
+ OR P	APPROXIMATE LOCATION OF SIGN

SIGN	M.U.T.C.D. NUMBER	SIZE OF SIGN	TYPE OF MOUNT
STOP	R1-1	18" X 18"	GR. MT.

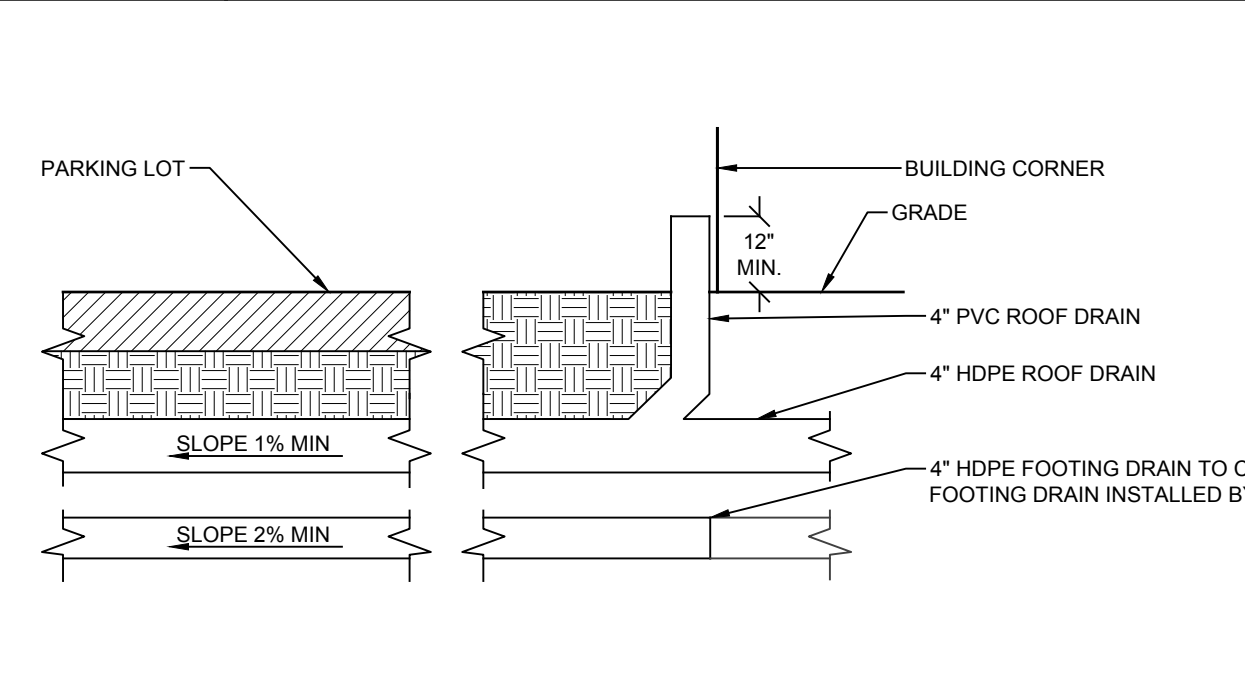
R-6

**TRAFFIC SIGN DETAIL**  
NOT TO SCALE



D-2

**STORM PIPE BEDDING DETAIL**  
NOT TO SCALE



D-3

**ROOF & FOOTING DRAIN DETAIL**  
NOT TO SCALE

**Site Design Consultants**  
Civil Engineers • Land Planners  
251-F Underhill Avenue, Yorktown Heights, NY 10598  
(914) 962-4488 - Fax: (914) 962-7386  
www.sitedesignconsultants.com

Project # 13-05

Engineer: **JOSEPH CARLO RUINA**  
Professional Engineer, P.E.  
NYS Lic. No. 64431

Revisions:	No.	Date	Comments
	1	6/30/17	DEP Comments
	2	8/23/17	DEP Comments
	3	10/16/17	Zoning Info
	4	11/13/18	Town Comments
	5	11/13/18	Town Comments

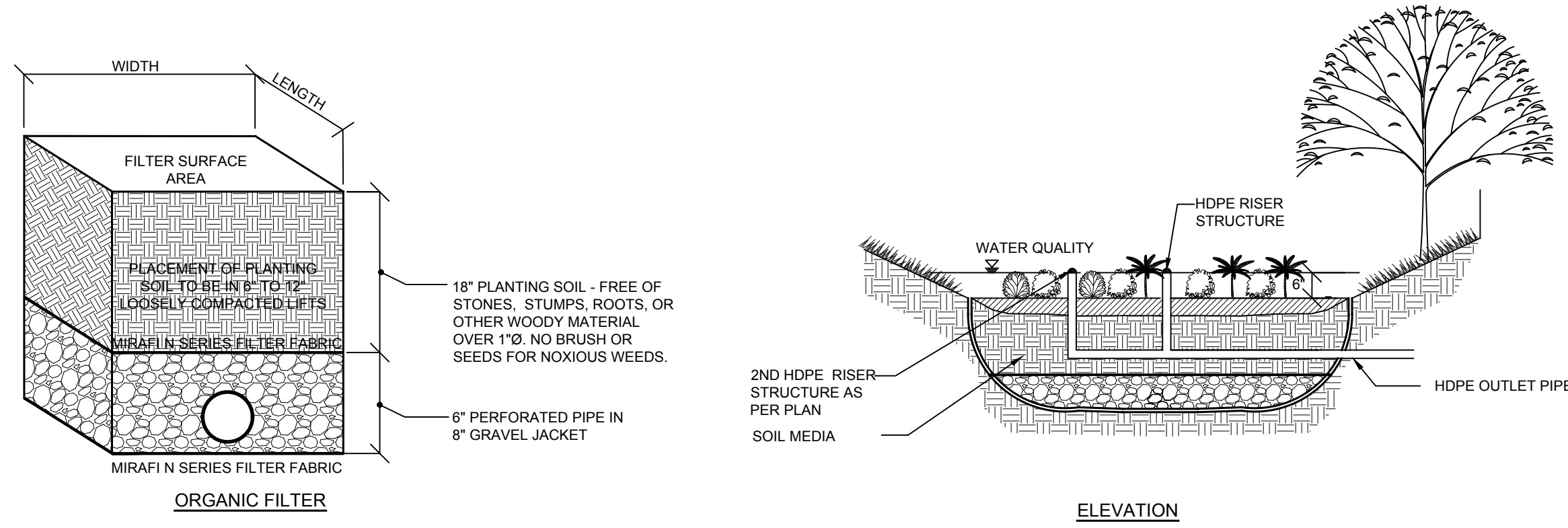
SCALE: NTS  
DRAWN BY: TK  
DATE: 10/4/16

**SITE DETAILS**

SITE PLAN PREPARED FOR  
**SANDVOSS SUBDIVISION**  
1005 HANOVER STREET  
Town of Yorktown Heights, Westchester County, New York

Sheet 10 of 12

COPYRIGHT © 2012 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED.



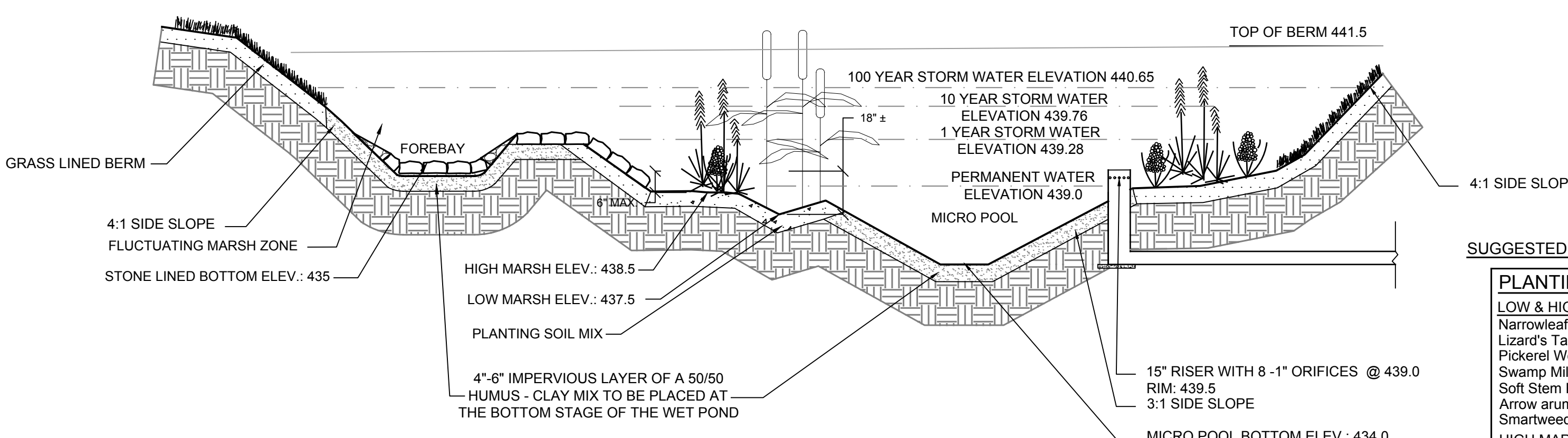
**SOIL MEDIA SPECIFICATIONS:**  
 COMPOSITION - 50% SAND, 20-30% TOPSOIL W/ LESS THAN 5% CLAYS, 20-30% LEAF COMPOST  
 POROSITY - 0.20

**DRAINAGE LAYER SPECIFICATIONS:**  
 POROSITY - 0.40

**PLANT SPECIFICATIONS:**  
 Suggested Shrubs List  
 WITCH HAZEL (*Hamamelis virginiana*)  
 WINTERBERRY (*Ilex verticillata*)  
 ARROWWOOD (*Viburnum dentatum*)  
 BROOK-SIDE ALDER (*Alnus serrulata*)  
 RED OBIER DOGWOOD (*Cornus stolonifera*)  
 SWEET PEPPERBUSH (*Clethra alnifolia*)

Suggested Herbaceous Plant List  
 CINNAMON FERN (*Osmunda cinnamomea*)  
 CUTLEAF CONEFLOWER (*Rudbeckia laciniata*)  
 WOOLGRASS (*Scirpus cyperinus*)  
 NEW ENGLAND ASTER (*Aster novae-angliae*)  
 FOX SEDGE (*Carex culpinoides*)  
 SPOTTED JOE-PYE WEED (*Eupatorium maculatum*)  
 SWITCH GRASS (*Panicum virgatum*)  
 GREAT BLUE LOBELIA (*Lobelia siphatica*)  
 WILD BERGAMOT (*Moranda fissulosa*)  
 RED MILKWEED (*Asclepias incarnata*)

**NOTE:**  
 1. The upland side of the rain garden shall be protected from upgradient subsurface conditions with the installation of either a 12" thick clay barrier or placement of 6 mil polyethylene sheeting along the excavated side-walls of the drainage layers.

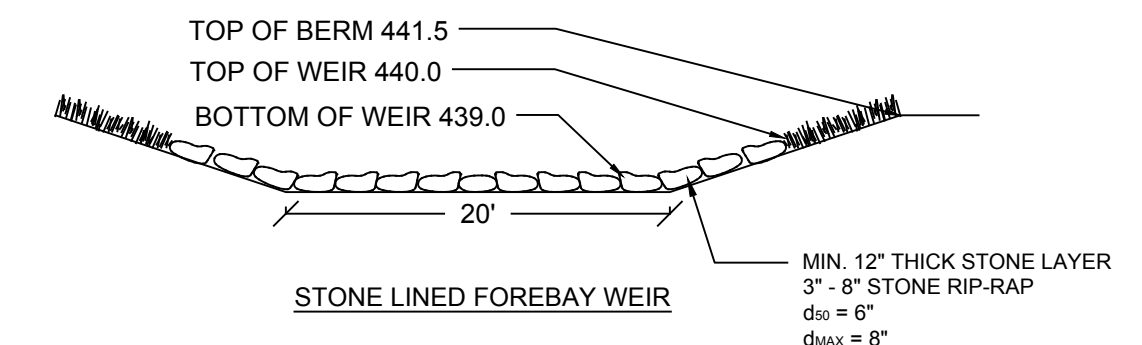


**NOTES:**  
 1. The basin should be seeded with the temporary seed mix during the construction phase when it is being used as a sediment trap. Once the entire site is stable, the final shaping and preparation of the pocket pond shall be completed. The plantings shall be done at the start of spring or fall wet seasons to insure survival of plant materials.

**TEMPORARY VEGETATIVE COVER SPECIFICATIONS FOR DETENTION BASIN SIDE SLOPES**  
 NORTHEAST WETLAND GRASS SEED MIX  
 AS SUPPLIED BY SOUTHERN TIER CONSULTING, INC. WEST CLARKSVILLE NY (716) 968-8120

AGROSTIS STOLONIFERA  
 POA TRIVIALIS  
 ALOPECURUS ARUNDINACEUS  
 PANICUM CLANDESTINUM

CREeping BENTGRASS APPLY AT 1 LB/3000 SF  
 ROUGH BLUEGRASS  
 MEADOW FOXTAIL  
 DEERTONGUE



**SUGGESTED POCKET WETLAND PLANTINGS**

**PLANTINGS**

**LOW & HIGH MARSH**  
 Narrowleaf Cattail (*Typha angustifolia*)  
 Lizard's Tail (*Saururus cernuus*)  
 Pickerel Weed (*Pontederia cordata*)  
 Swamp Milkweed (*Asclepias incarnata*)  
 Soft Stem Bulrush (*Scirpus validus*)  
 Arrow arum (*Peltandra virginica*)  
 Smartweed (*Polygonum* spp.)

**HIGH MARSH**  
 Blue Flag (*Iris Versicolor*)  
 Blue Joint (*Calamagrotis canadensis*)  
 Marsh Marigold (*Caltha Palustris*)  
 Yellow Flag (*Iris Pseudocorus*)

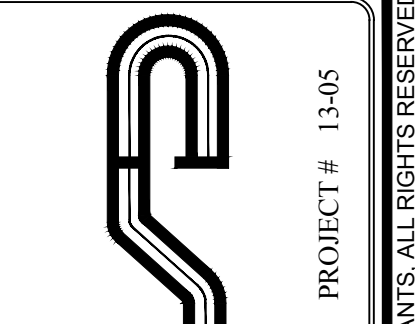
**BUFFER FRINGE**  
 Meadowsweet (*Spiraea latifolia*)  
 Rose-Rugosa (*Rosa rugosa*)  
 Flowering Dogwood (*Cornus florida*)  
 Shadblow (*Amelanchier canadensis*)  
 Black Chokeberry (*Aronia melanocarpa*)  
 Redosier Dogwood (*Cornus sericea*)  
 Buttonbush (*Cephalanthus occidentalis*)  
 Inkberry (*Ilex glabra*)  
 Silky Dogwood (*Cornus amomum*)

**BUFFER UPLAND**  
 White Ash (*Fraxinus americana*)  
 White Oak (*Quercus alba*)  
 Tulip Poplar (*Liriodendron tulipifera*)

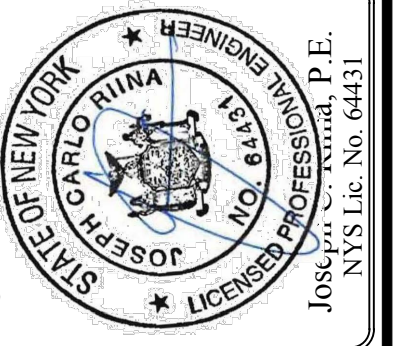
SW-2 RAIN GARDEN DETAIL  
 NOT TO SCALE

SW-1 POCKET WETLAND (W-5) TYPICAL SECTION  
 NOT TO SCALE

SYSTEM	BIORETENTION/INFILTRATION BASIN RIMS AND INVERTS					Peak Elevations			
	System Inv.	Riser Size (in)	# of Risers	Pipe Out Size (in)	Inv. Out	WQv(ac-ft)	1 year	10 year	100 year
LOT 7 RAIN GARDEN	451.00	15	1	15	448.50	0.035	451.50	451.62	451.93
LOT 7.1 RAIN GARDEN	456.00	15	1	15	453.00	0.035	456.45	456.62	456.95
LOT 7.2 RAIN GARDEN	457.00	12	2	15	454.00	0.031	457.40	457.60	457.91
LOT 8 RAIN GARDEN	447.00	18	1	18	444.50	0.031	447.50	447.63	447.95
POCKET WETLAND	N/A	15	1	18	434.00	0.08	439.28	439.76	440.65



**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 - Fax: (914) 962-7386  
 www.sitedesignconsultants.com



Revisions:	No.	Date	Comments
	1	6/30/17	DEP Comments
	2	8/23/17	DEP Comments
	3	10/16/17	Zoning Info
	4	11/13/18	Final Comments
	5	11/13/18	Final Comments

SCALE: NTS  
 DRAWN BY: TK  
 DATE: 10/4/16

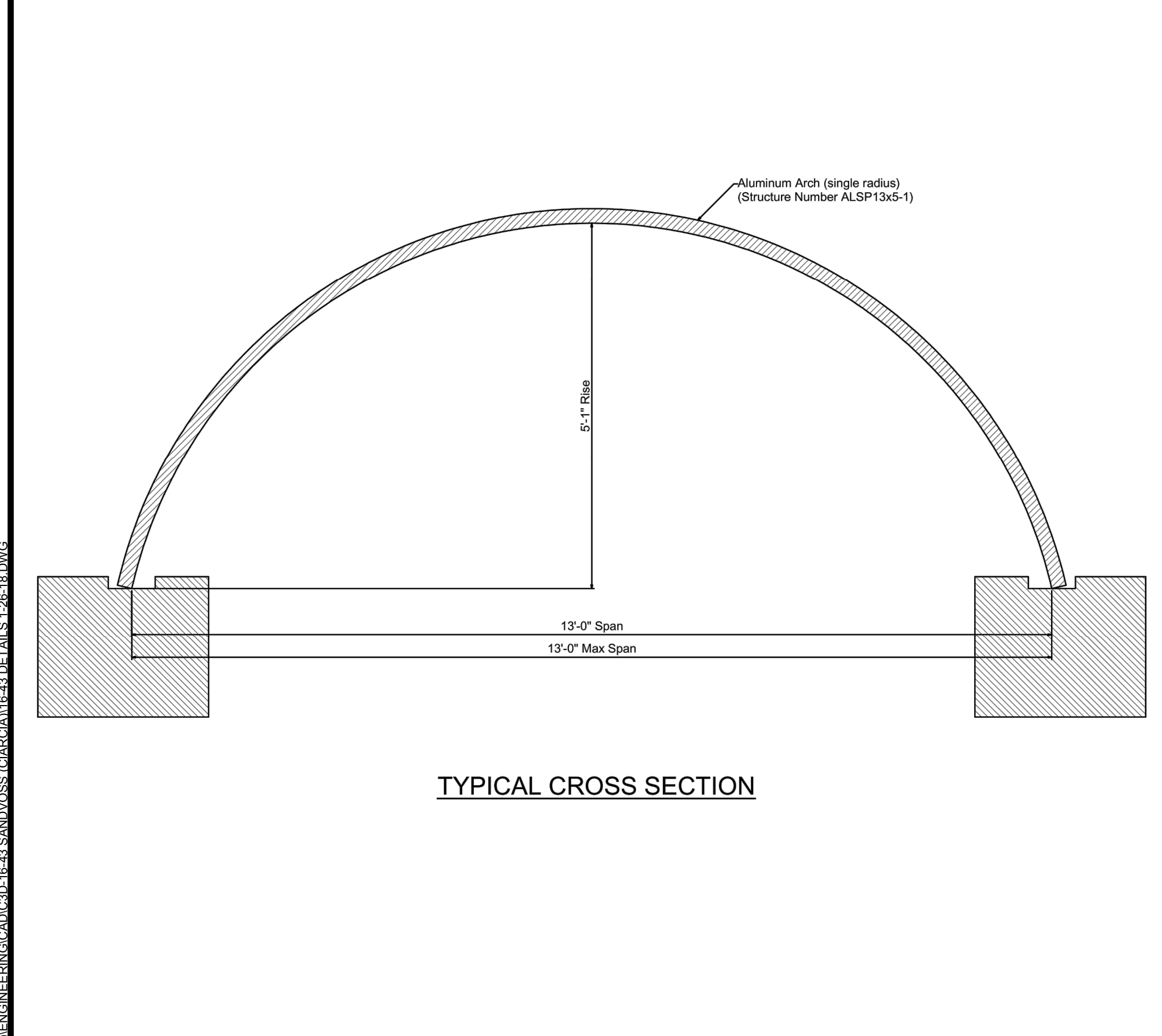
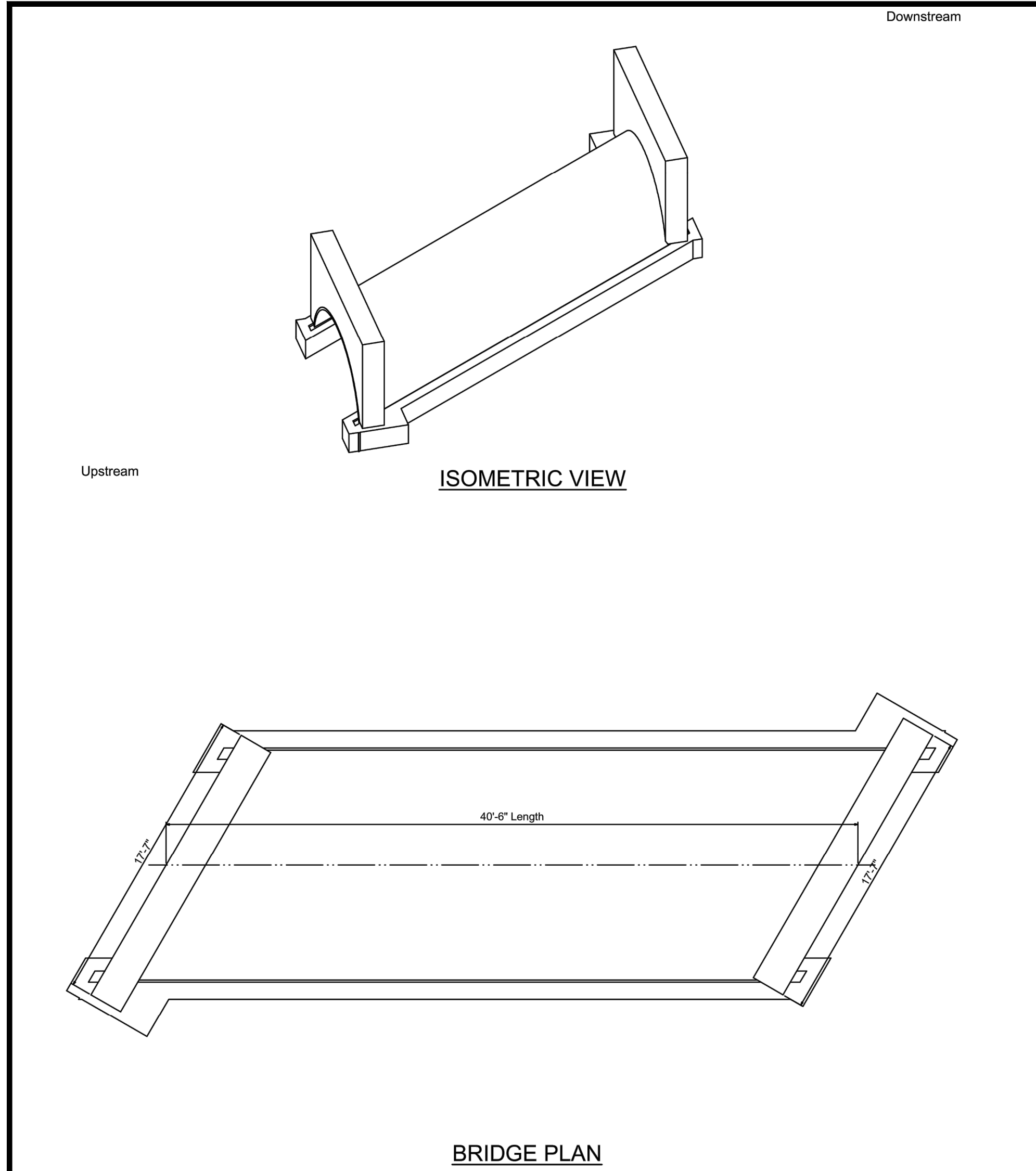
**STORMWATER DETAILS**

SITE PLAN PREPARED FOR  
**SANDVOSS SUBDIVISION**  
 1005 HANOVER STREET  
 Town of Yorktown Heights, Westchester County, New York

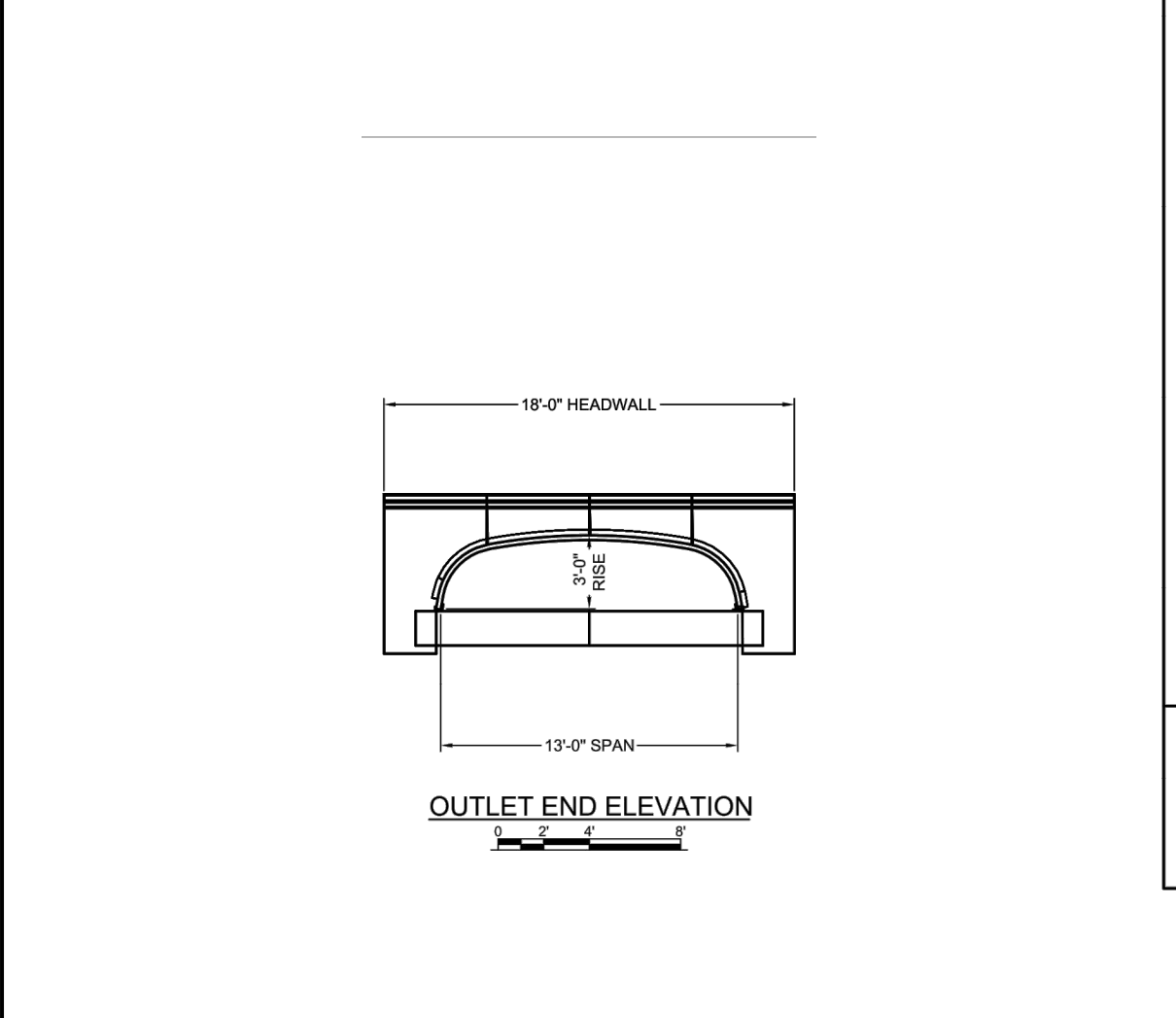
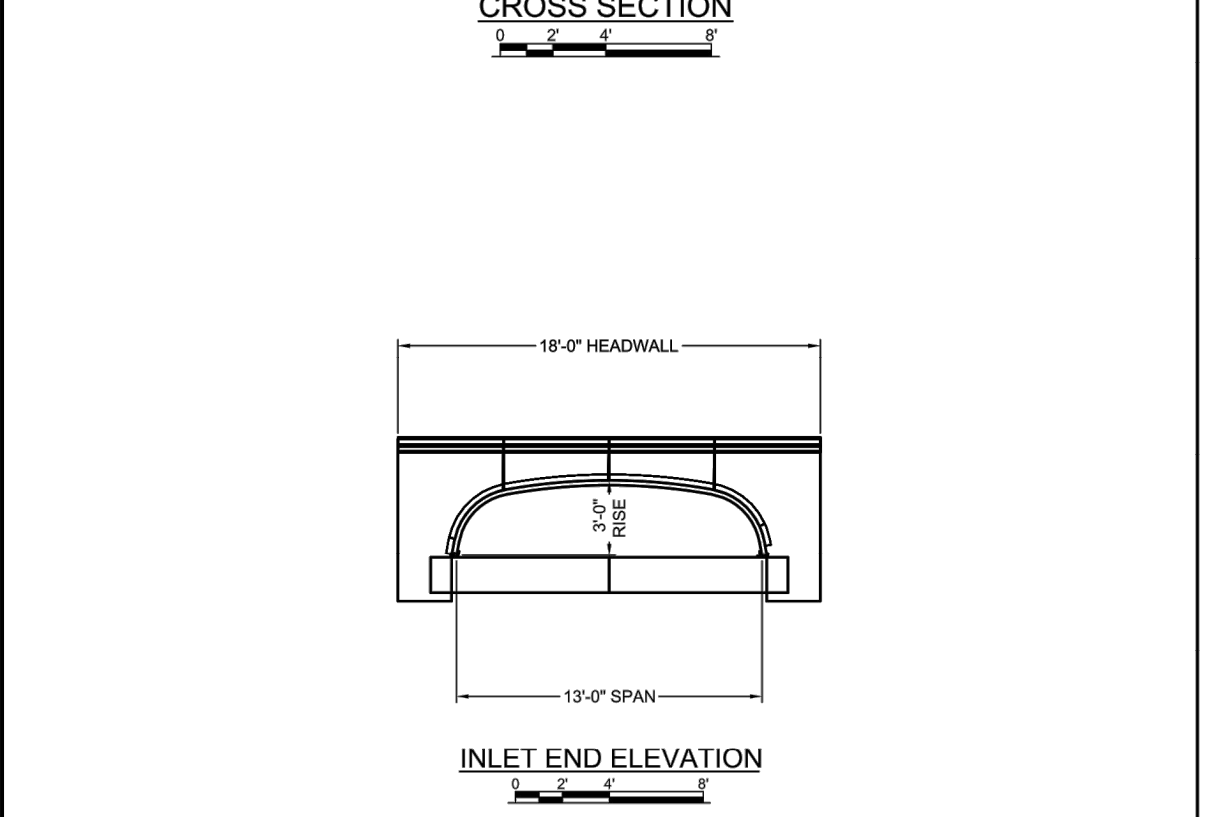
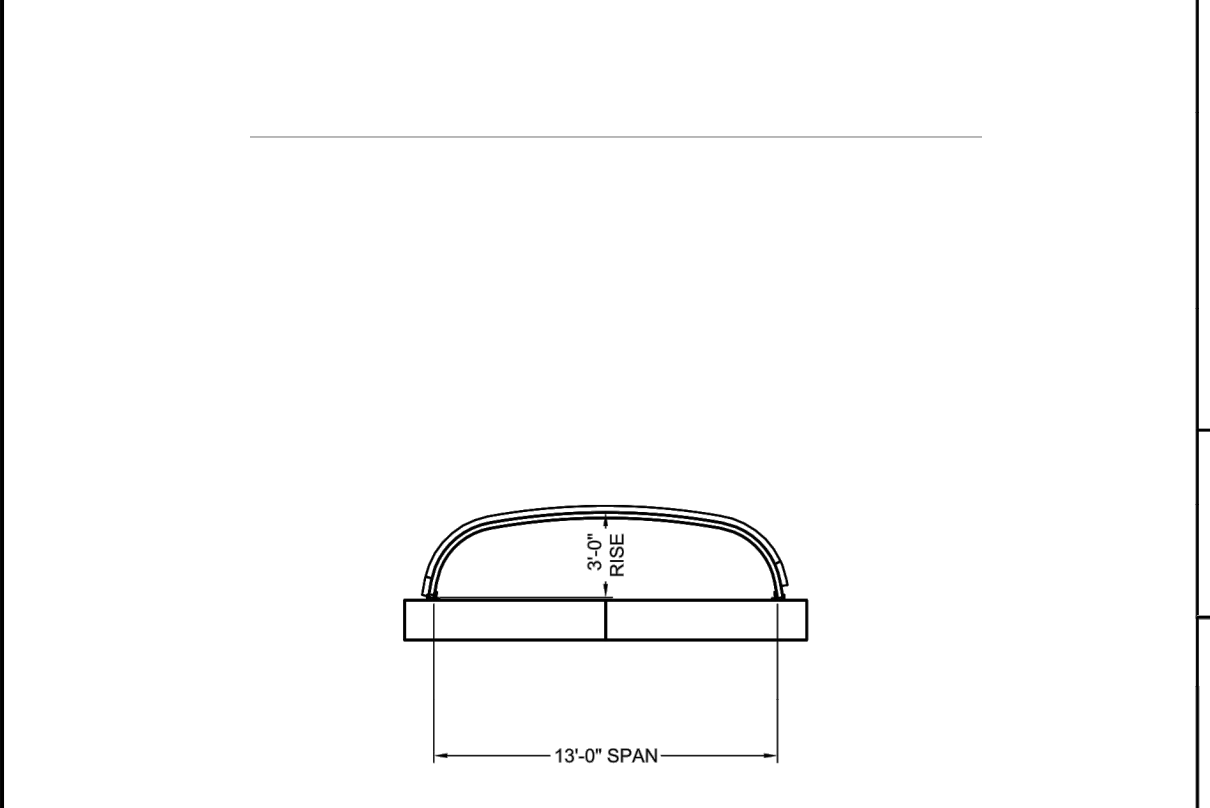
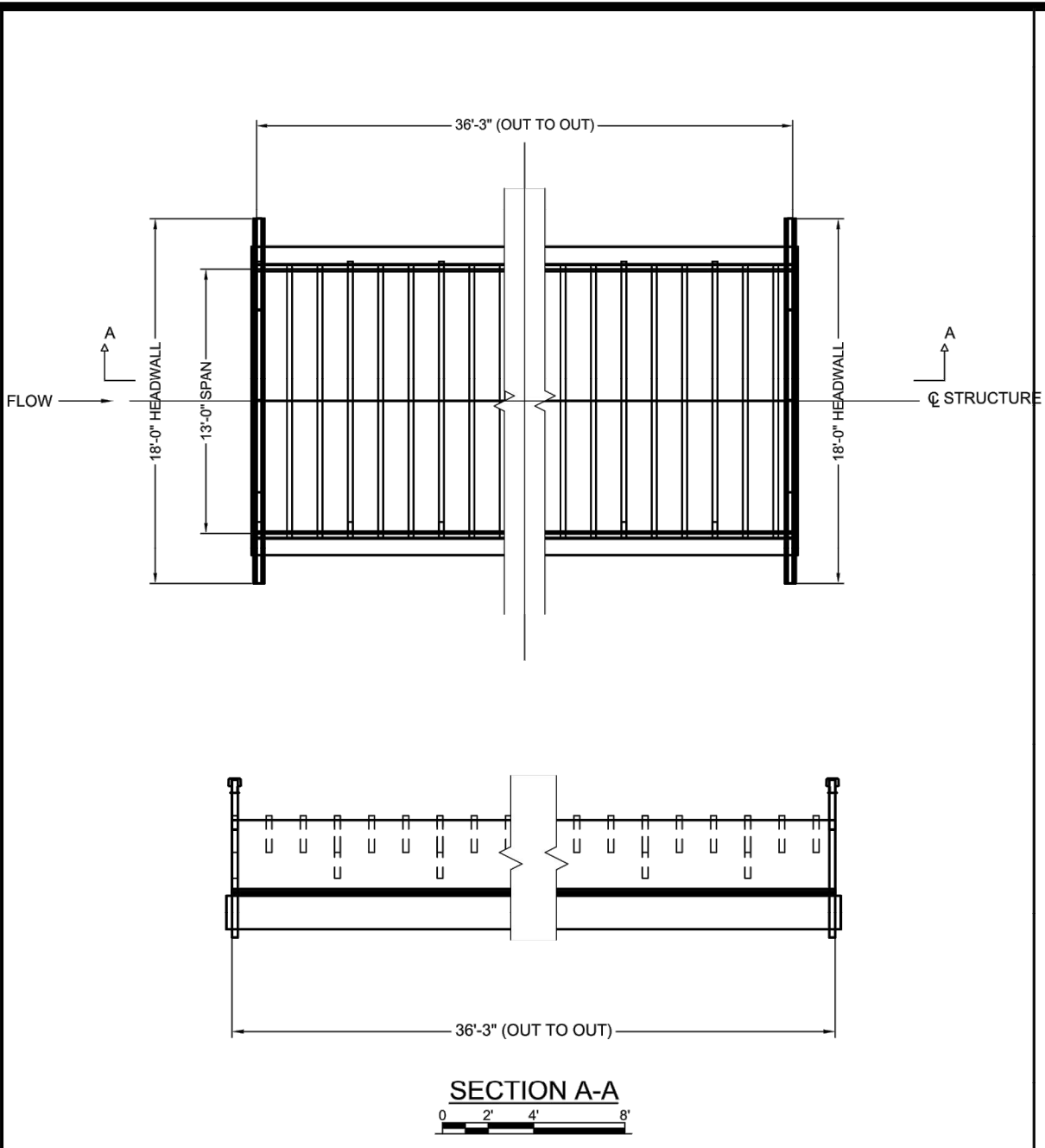
E:\2016\16-43 SANDVOSS\IGARCH\ENGINEERING\CADD\16-43 SANDVOSS\IGARCH\16-43 DETAILS\16-43 DWG

PROJECT # 13-05

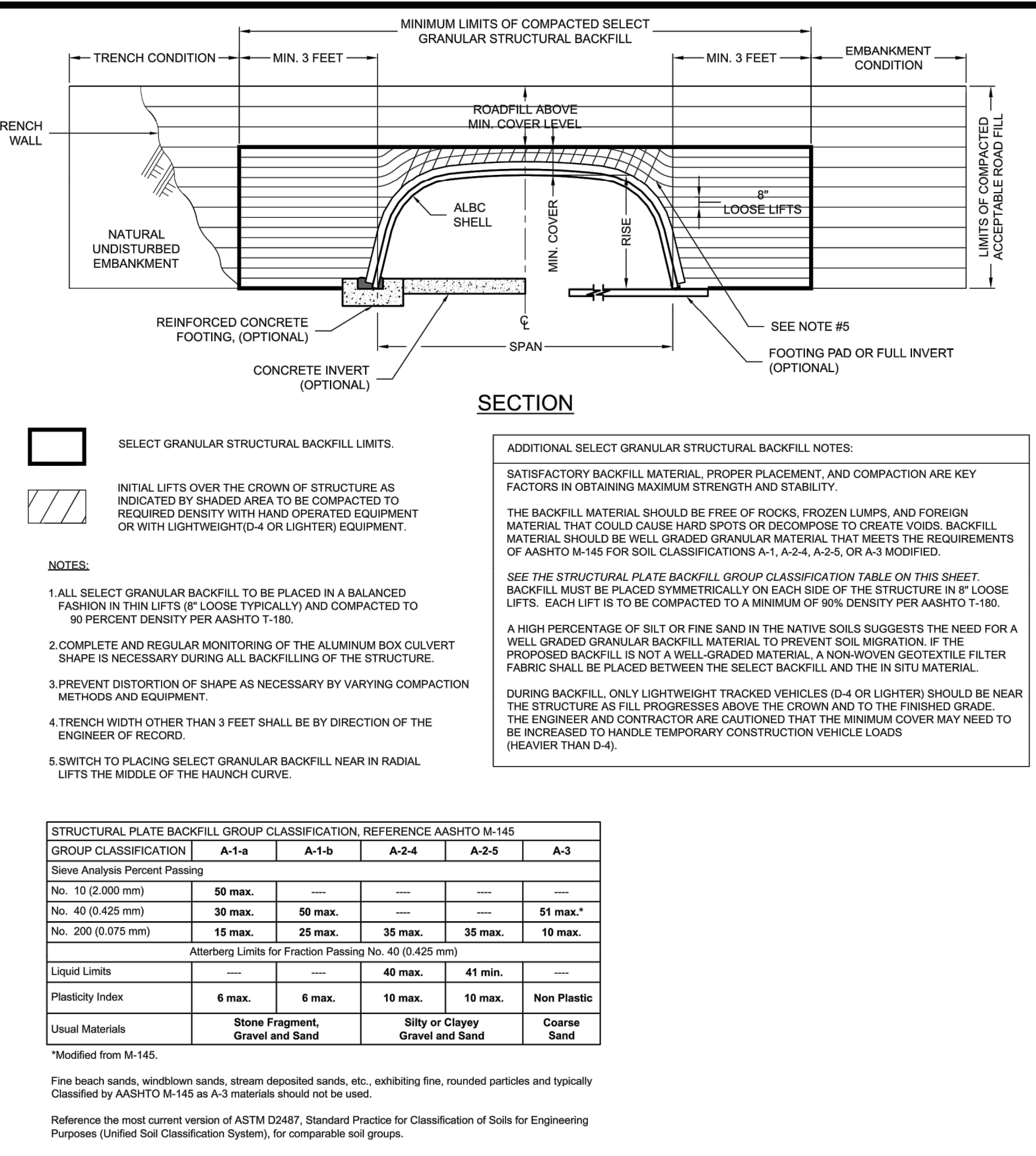
COPYRIGHT © 2012 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED



**CU-1** CULVERT 1 DETAIL  
NOT TO SCALE

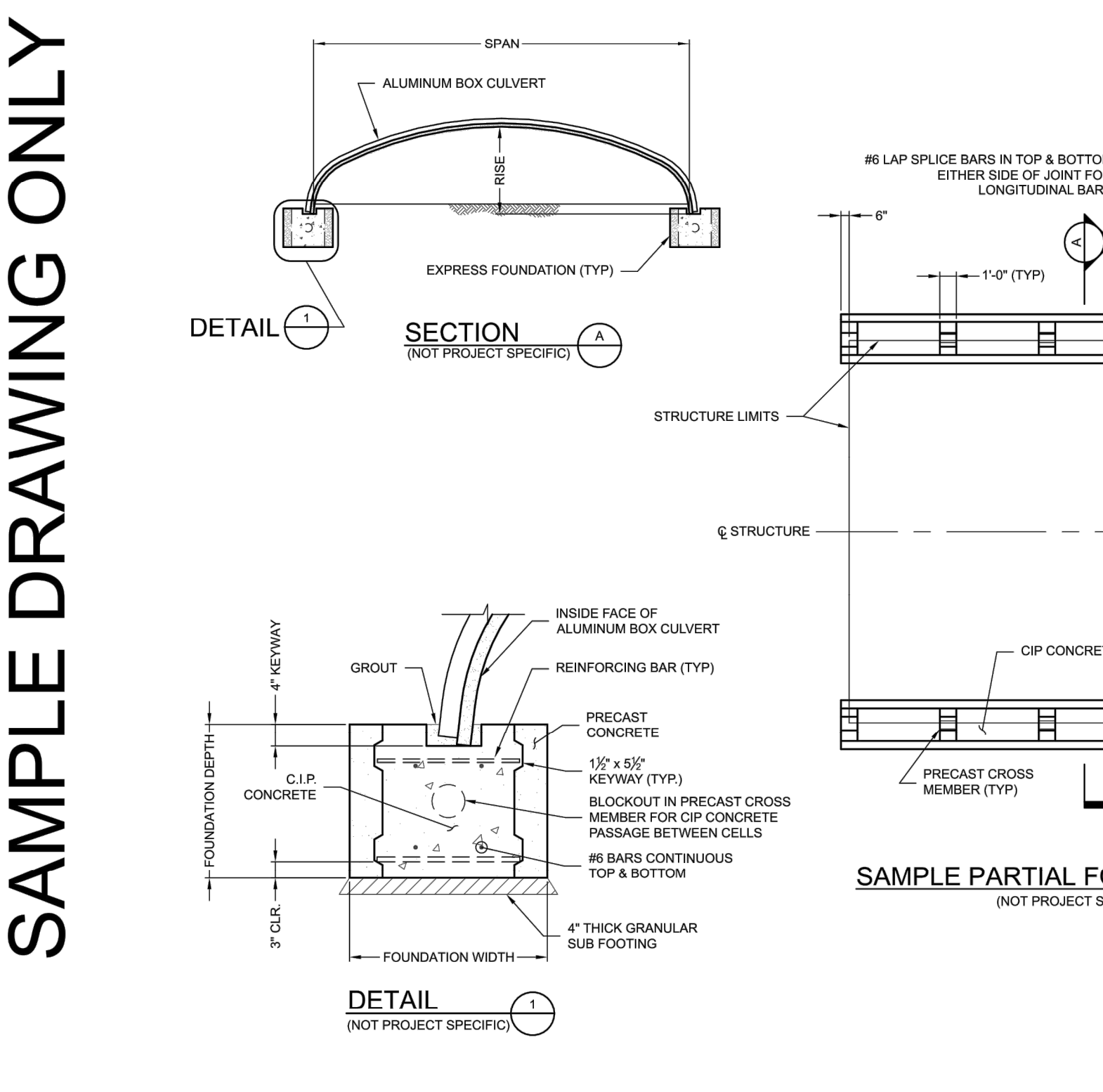


**CU-2** CULVERT 2 DETAIL  
NOT TO SCALE



GROUP CLASSIFICATION	A-1-a	A-1-b	A-2-4	A-2-5	A-3
Sieve Analysis Percent Passing					
No. 10 (2.000 mm)	50 max.	---	---	---	---
No. 40 (0.425 mm)	30 max.	50 max.	---	---	51 max.*
No. 200 (0.075 mm)	15 max.	25 max.	35 max.	35 max.	10 max.
Atterberg Limits for Fraction Passing No. 40 (0.425 mm)					
Liquid Limits	---	40 max.	41 min.	---	---
Plasticity Index	6 max.	6 max.	10 max.	10 max.	Non Plastic
Usual Materials	Stone Fragment, Gravel and Sand	Silty or Clayey Gravel and Sand	Silty or Clayey Gravel and Sand	Coarse Sand	---

MARK	DATE	REVISION DESCRIPTION	BY



MARK	DATE	REVISION DESCRIPTION	BY

**CU-2** CULVERT 2 DETAIL  
NOT TO SCALE

**10 STANDARDS AND DEFINITIONS**

1.1 STANDARDS: All standards refer to the current ASTM/AASHTO edition unless otherwise noted.

1.1.1 ASTM D 864 "Standard Specification for Corrugated Aluminum Box Culverts" (AASHTO designation M-9).

1.1.2 AASHTO Standard Specification for Highway Bridges - Section 12 Division 1 - Design, AASHTO LRFD Bridge Design Specifications Section 12.

1.1.3 AASHTO Standard Specification for Highway Bridges - Section 26 Division II - Construction, AASHTO LRFD Bridge Construction Specifications - Section 26, ASTM B761, Standard Practice for Installing Corrugated Aluminum Structural Plate Pipe.

**12 DEFINITIONS**

1.2.1 Owner - In these specifications the word "Owner" shall mean the Engineer or Owner's designated engineering representative.

1.2.2 Engineer - In these specifications the word "Engineer" shall mean the Engineer of Record or Owner's designated engineering representative.

1.2.3 Manufacturer - In these specifications the word "Manufacturer" shall mean CONTECH ENGINEERED SOLUTIONS 800-338-1122.

1.2.4 Contractor - In these specifications the word "Contractor" shall mean the firm or corporation undertaking the execution of any installation work under the terms of these specifications.

1.2.5 Approved - In these specifications the word "approved" shall refer to the approval of the Engineer or his designated representative.

1.2.6 As Directed - In these specifications the words "as directed" shall refer to the directions to the Contractor from the Owner or his designated representative.

**20 GENERAL CONDITIONS**

2.1 Any installation conditions provided herein shall be endorsed by the engineer, discrepancies herein are governed by the Engineer's plans and specifications.

2.2 The Contractor shall furnish all labor, material and equipment and perform all work and services except those set out and furnished by the Owner, necessary to complete in a satisfactory manner the site preparation, excavation, filling, compaction, grading as shown on the plans and as described therein. This work shall consist of all mobilization clearing and grading, grubbing, stripping, removal of existing material unless otherwise stated, preparation of the land to be filled, filling of the land, spreading and compaction of the fill, and all subsidiary work necessary to complete the grading of the cut and fill areas to conform with the lines, grades, slopes, and specifications. This work to be accomplished under the observation of the Owner or his designated representative.

2.3 Prior to bidding the work, the Contractor shall examine, investigate and inspect the construction site as to the nature and location of the work, and the general and local conditions at the construction site, including without limitation, the character of surface or subsurface conditions and obstacles to be encountered on and around the construction site and shall make such additional investigation as he may deem necessary for the planning and proper execution of the work.

2.4 The Contractor shall be performed under the direction of the Engineer.

2.5 All aspects of the structure design and site layout including foundations, backfill, and treatments and necessary survey consideration shall be performed by the Engineer.

**30 ASSEMBLY AND INSTALLATION**

3.1 Bolts and nuts shall conform to the requirements of ASTM A-307 or ASTM A-449. The box culvert shall be assembled in accordance with the plate layout drawings provided by the manufacturer and per the manufacturer's recommendations. Bolts shall be tightened using an applied torque of between 100 and 150 ft. lbs.

3.2 The box culvert shall be installed in accordance with the plans and specifications, the manufacturer's recommendations, and AASHTO Standard Specification for Highway Bridges - Section 26 Division II - Construction, AASHTO LRFD Bridge Construction Specifications - Section 26, ASTM B761, Standard Practice for Installing Corrugated Aluminum Structural Plate Pipe.

3.3 Trench excavation shall be made in embankment material that is structurally adequate. The trench width shall be shown on the plans. Poor quality in situ embankment material must be removed and replaced with suitable backfill as directed by the Engineer.

3.4 Aluminum Box Culvert designs require a minimum allowable soil bearing pressure of 4,000 psf. Lower bearing capacities may be accommodated with a site specific design for an aluminum foundation or a concrete footing.

3.5 If the engineer determines the natural foundation is inadequate to support the structure's backfill, the poor material shall be excavated, removed and replaced to a suitable depth with competent material. The specific depth of excavation required may be reduced by utilizing a geosynthetic reinforced foundation as designed by a qualified geotechnical engineer. For additional information contact your local Contech representative.

3.6 When a metal foundation is used, the soil bedding requires a minimum of 6 inches of loose granular material with a maximum particle size of one half the compacted depth. The proper width of the bedding material required shall conform to the project plans and specifications. Bedding preparation is critical to both structure performance and service life. The bedding should be constructed to uniform line and grade to avoid distortions that may create undesirable stresses in the structure and/or rapid deterioration of the roadway. The bed should be free of rock formations, protruding stones, frozen lumps, roots, and other foreign matter that may cause unequal settlement.

3.7 The structure shall be assembled in accordance with the Manufacturer's instructions. Plates shall not be rolled or dropped or handled with reasonable care. Plates shall not be rolled or dropped over gravel rock or other material. Plates shall be assembled outside of the upstream riggs. (Confidential seams are started downstream when viewed from the inside of the shell).

3.8 Backfill must be placed symmetrically on each side of the structure in 6 inch loose lifts. Each lift shall be compacted to a minimum of 90 percent density per AASHTO T-180.

3.9 Standard highway loads that meet the permissible design load limits for an Aluminum Box Culvert are not allowed on the structure until it is backfilled completely and pavement is in place.

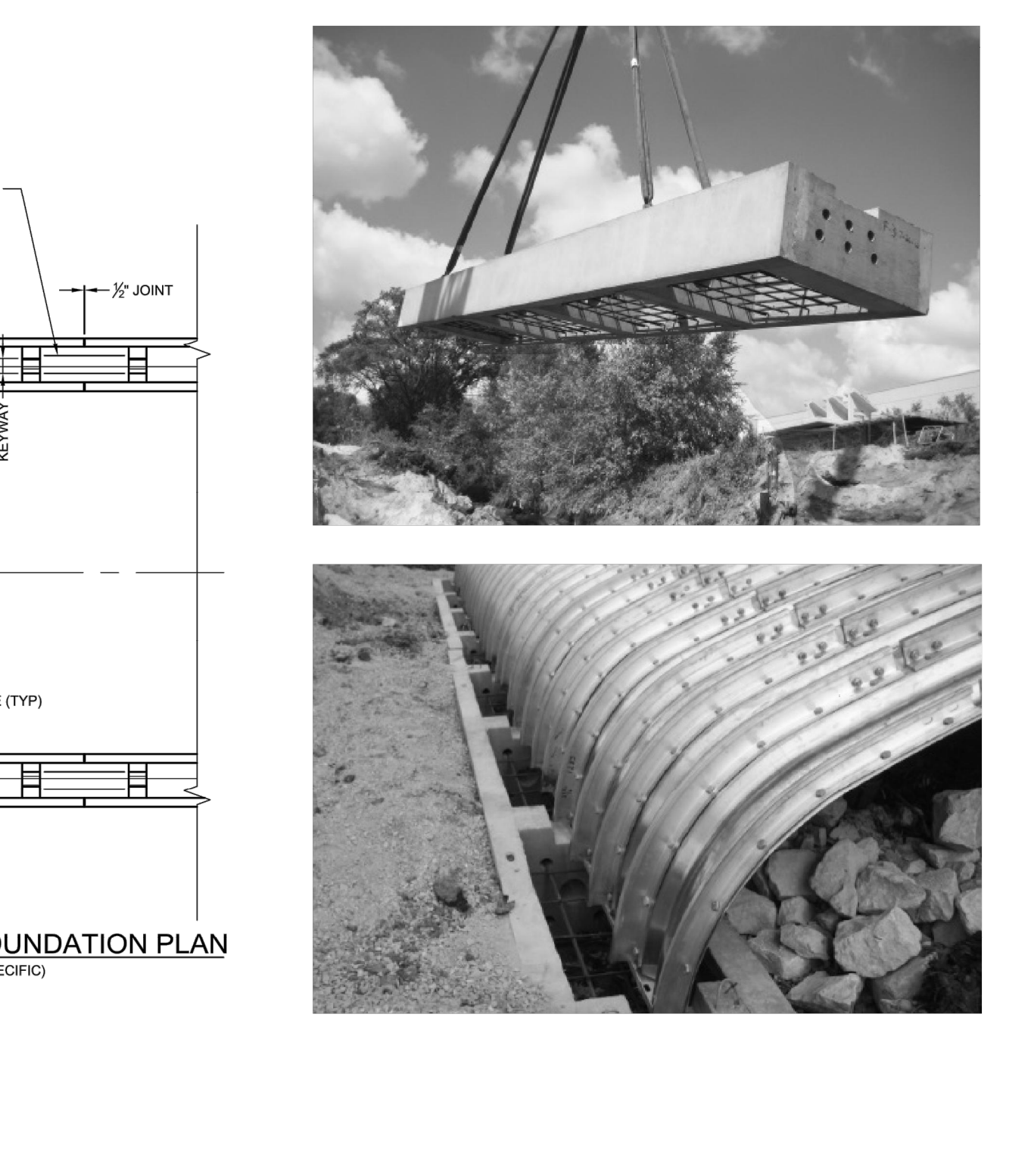
3.10 The addition of temporary soil for heavy construction loads is not feasible or permissible for Aluminum Box Culverts. By design, these structures are limited in the range of permissible fill heights and live loads.

3.11 Heavy construction loads that exceed that of the particular highway live load design limits are not allowed on Aluminum Box Culverts without approval from the Engineer.

3.12 If an aluminum headwall and/or wingwall system is specified, the select granular structural backfill limits shall extend past the deadman anchor system. Contact the Engineer if stiff material or rock is encountered where the wingwalls and deadman are to be installed.

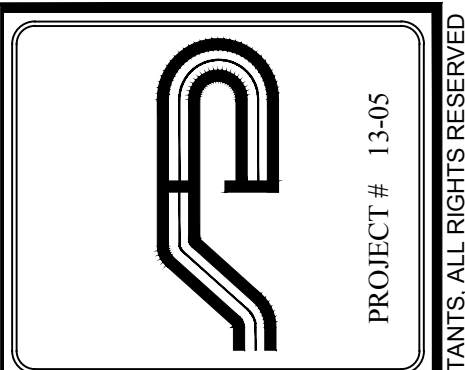
ALBC 21, 13'-0" Span x 3'-0" Rise  
Shell Designation = B6  
Sandvoss Subdivisions Culvert 2  
Yorktown, New York

MARK	DATE	REVISION DESCRIPTION	BY

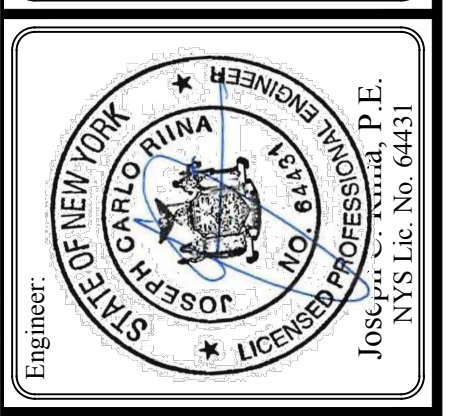


MARK	DATE	REVISION DESCRIPTION	BY

**CU-2** CULVERT 2 DETAIL  
NOT TO SCALE



**Site Design Consultants**  
Civil Engineers • Land Planners  
251-F Underhill Avenue, Yorktown Heights, NY 10598  
(914) 962-4488 - Fax: (914) 962-7386  
www.sitedesignconsultants.com



No.	Date	Comments
1	6/30/17	DEP Comments
2	8/23/17	DEP Comments
3	10-16-17	Zoning Info
4	1-31-18	TOWAL COMMENTS

SCALE: NTS  
DRAWN BY: TK  
DATE: 10/4/16

**CULVERT DETAILS**

SITE PLAN PREPARED FOR  
**SANDVOSS SUBDIVISION**  
1005 HANOVER STREET  
Yorktown Heights, Westchester County, New York