

SITE PLAN APPROVAL DRAWINGS

STAPLES PLAZA REDEVELOPMENT

TAX MAP SECTION 36.06 - BLOCK 2 - LOT 76

WESTCHESTER COUNTY

3303 CROMPOND ROAD

YORKTOWN HEIGHTS, NY 10598

JMC DRAWING LIST:

- SP-1 COVER SHEET
- SP-2 EXISTING CONDITIONS PLAN
- SP-3 OVERALL LAYOUT PLAN
- SP-4 SITE LAYOUT PLAN
- SP-5 SITE GRADING PLAN
- SP-6 SITE UTILITIES PLAN
- SP-7 SITE SEDIMENT AND EROSION CONTROL PLAN
- SP-8 STORMWATER PROFILES
- SP-9 SITE LANDSCAPING PLAN
- SP-10 CONSTRUCTION DETAILS
- SP-11 CONSTRUCTION DETAILS
- SP-12 CONSTRUCTION DETAILS
- SP-13 CONSTRUCTION DETAILS
- SP-14 CONSTRUCTION DETAILS
- SP-15 CONSTRUCTION DETAILS
- SP-16 CONSTRUCTION DETAILS

- TR-1 POPEYES TRUCK LOADING ANALYSIS
- TR-2 DUNKIN DONUTS TRUCK LOADING ANALYSIS

JAMES D. SMITH, ARCHITECT, AIA DRAWINGS:

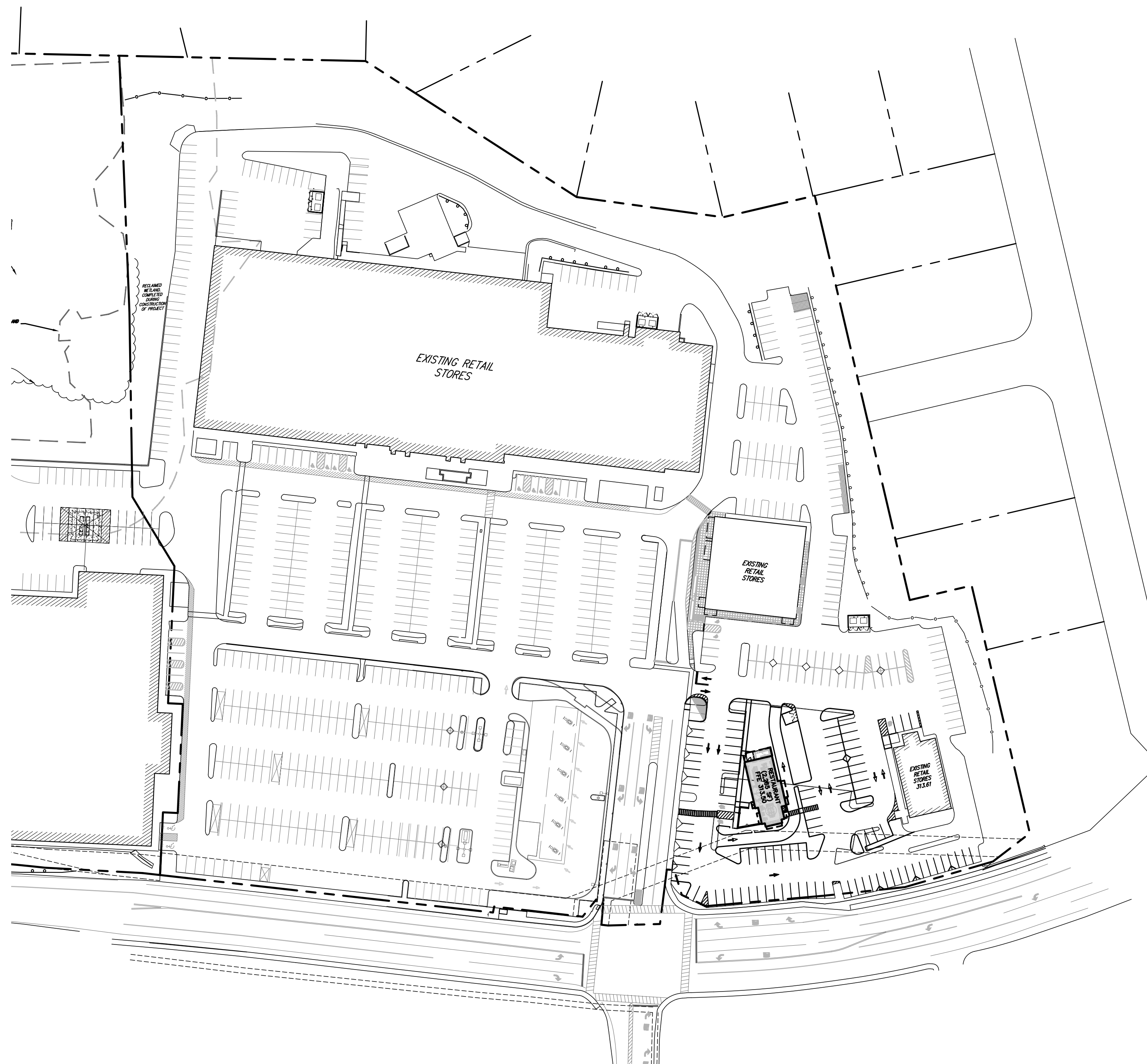
- A5 EXTERIOR ELEVATIONS
- A6 EXTERIOR ELEVATIONS
- K1 EQUIPMENT FLOOR PLAN
- K2a EQUIPMENT SCHEDULE
- K2b EQUIPMENT SCHEDULE

OWNER :
 UB YORKTOWN, LLC
 321 RAILROAD AVENUE
 GREENWICH, CT 06830
 TEL: (203) 863-8200

APPLICANT :
 AVS FOOD, INC.
 135 TIMBER LANE COURT
 YORKTOWN HEIGHTS, NY 10598
 TEL: (914) 424-7000

SITE PLANNER, CIVIL & TRAFFIC ENGINEERS & LANDSCAPE ARCHITECTS:
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ARCHITECT :
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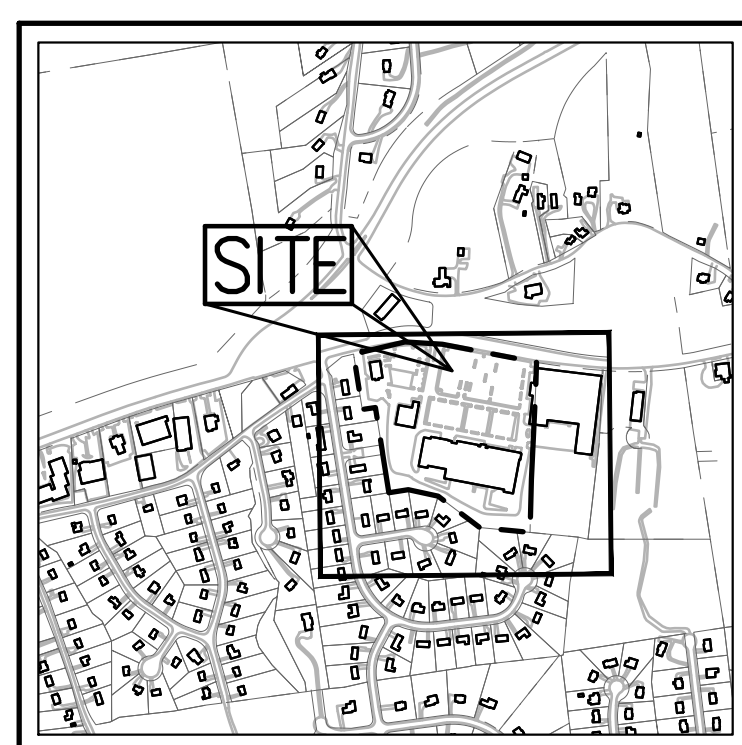


AREA MAP

SCALE: 1" = 80'

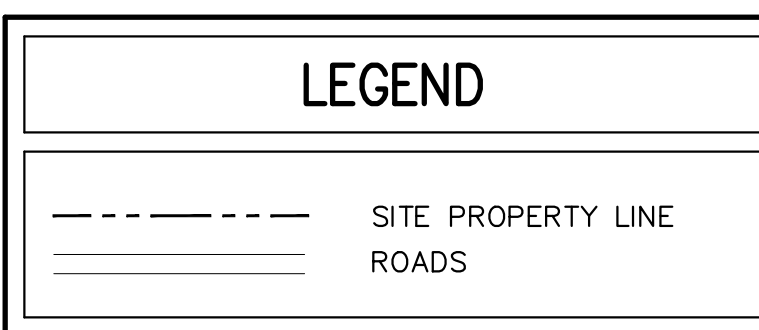
GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY HIS OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
2. UNDER INDUSTRIAL CODE 753, CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
3. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JOHN MEYER CONSULTING, PC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE AND LAND SURVEYING, PLLC.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
5. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSOOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
6. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMMING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
7. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.



VICINITY MAP

SCALE: 1" = 1,000'



PARKING SUMMARY TABLE - OVERALL PLAN - LOTS 75 AND 76				
Property: Staples Plaza, Crompond Road (SR-202), Town of Yorktown, NY				
Zoning District: Existing C-1 / Proposed C-1 and C-3				
	Required	Approved 1993	Existing (1)	Staples Plaza Redevelopment (Restaurant Pad and BJ's Gas)
Retail - Main Level GFA (SF)				
BJ's Club	-	106,984	106,984	106,984
Building #1 (Staples Building)	-	95,000	95,000	95,000
Building #2 (Subway Building)	-	15,000	10,000	5,000
Building #3 (Dunkin' Donuts)	-	3,580	3,580	3,580
Proposed Gasoline Filling Station	-	-	-	0
Proposed Propane Filling Station	-	-	-	0
TOTAL		220,564	219,564	214,564
Shopping Center / Retail - Required Parking	1 Space / 250 s.f.	-	879	859
Urgent Care Facility	6 spaces per 1,000	-	5,000	30
Proposed Restaurant - Main Level GFA (SF)				
Pending Restaurant (Patron Area)	-	-	0	1,065
Pending Restaurant (Employee Area)	-	-	0	1,248
TOTAL				2,313
- Restaurants - Required Parking				
Patron	1 Space / 50 s.f.	-	0	22
Employee	1 Space / 100 s.f.	-	0	13
TOTAL				35
Basement Level - Required Parking				
Existing Auto Parts Warehouse (6,007 S.F.)	-	-	8	8
Extra Storage (85,730 S.F.)	-	-	9	9
TOTAL			17	17
BJ's Gasoline Filling Station				
Parking for Gasoline Filling Station	1 space / 2 employees	-	-	1
TOTAL PARKING SPACES REQUIRED (1)				942
Provided Parking Summary (Parking Spaces)				
Constructed / Striped - Standard 9'x18'		1,014	811	632
Constructed / Striped - Mid-Size 9'x16.5'		-	-	6
Constructed / Striped - Compact 8'x18'		-	92	192
ADA Accessible Parking		-	24	23
Loading Spaces		11	-	-
Conservation		101	84	95
TOTAL PARKING PROVIDED		1,126	1,011	948
Provided Loading Spaces			16	17

BUILDING COVERAGE SUMMARY TABLE				
	Lot Area (s.f.)	Lot Area (ac)	Existing Bldg. Coverage	BJ's Filling Station Coverage
Lot 75 - BJ's (30% Max - C-3 zone)	320,028	7.347	33.4%	33.4%
Lot 76 - UB* (30% Max - Same for C-1 and C-3 Zone)	683,443	15.690	17.0%	18.1%
Both Lots Combined	1,003,471	23.037	22.25%	23.0%

GASOLINE FILLING STATION SPECIAL PERMIT CRITERIA PER SECTION 300-46 OF ZONING CODE		
	Required	Provided
Minimum Lot Size	20,000 s.f. (without convenience store)	683,443
Minimum Lot Frontage	100' min	960' ±
Minimum Lot Depth	100' min	800' ±
Minimum landscape area in Front Yard	5' min	18'
Fuel Pump Setback	25' min	68'
Distance Between Pumps	25' min	27.71'
Number of Fuel Pumps	2 pumps per 3,000 s.f. of lot area Gas Station Area = 95'x250' = 23,750 s.f. 23,750 s.f. / 3,000 = 7.91 pumps max	6 pumps
Canopy Height	18' max	18' at south end 20.5' at north end (2)
Edge of Canopy Setback	20' min	59'
Canopy Overhang from Edge of Pump	15' max	14' at south end
Canopy Signs - Number	2 max	3 (3)
Canopy Signs - Size	30 s.f.	41.5 s.f. with LED prices (2 proposed on long dimension), 24.4 without LED prices (1 proposed on short dimension at street) (3)
Distance to and building or place of public assembly	300'	>300'
Distance to between filling stations	No more than 2 filling stations within 1,000 feet on any street	1 filling station exists approximately 670' west of proposed filling station

(1) Per proposed conditions in 2013 Self Storage, 2014 BJ's Propane amended site plan Approvals and Pending Building #2 approvals
 (2) - Height varies based on slope of existing paved area, which varies 2.5 feet over long length of canopy.
 (3) - Request for Town Board to vary requirement as permitted per Section 300-46Q of Zoning Code. Additional canopy signage requested in lieu of providing building or freestanding signs.

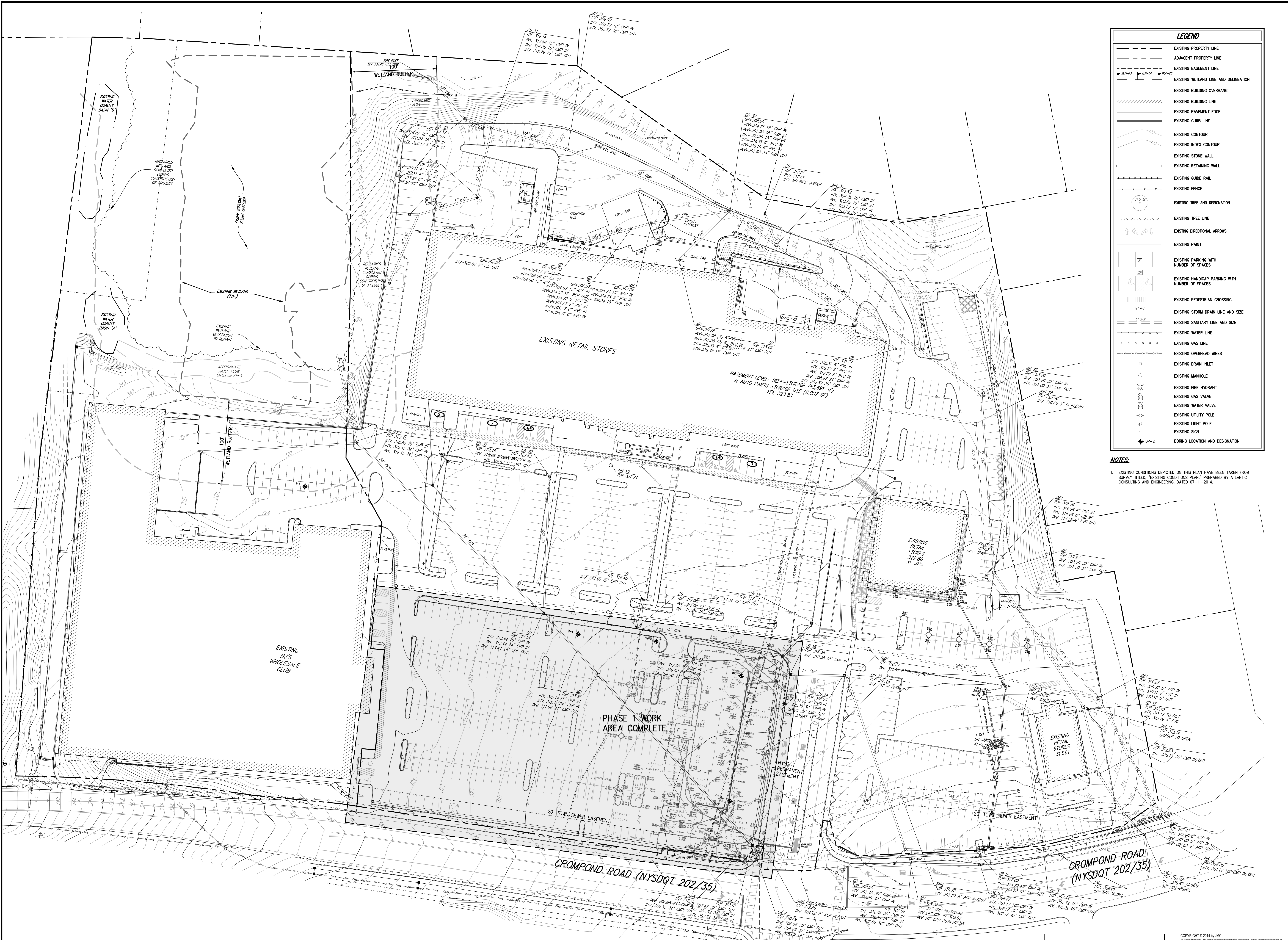
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NOT FOR CONSTRUCTION

NO.	REVISION	DATE	BY	STATUS	BMS	APPROVED	RA
1.	REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION TO PLANNING BOARD	01/06/2014	DC	AS SHOWN			
2.	REVISION TO PLANNING BOARD	03/20/2014	DC	10/08/2014			
3.	NYCDEP SWPPP SUBMISSION	11/04/2015	DC	PROJECT NO: 12148			
4.	REVISED PER TOWN BOARD SPECIAL PERMIT	03/24/2016	DC	DATE: 08/31/2016	DATE: 08/31/2016	DATE: 08/31/2016	DATE: 08/31/2016
5.	REVISED PER TOWN BOARD SPECIAL PERMIT	05/12/2016	DC				
6.	REVISED PER APPROVAL RESOLUTION CONDITIONS	01/10/2017	DC				
7.	PLANNING BOARD SUBMISSION	08/31/2018	BMS				

SP-1



LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING HANDICAP PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	BORING LOCATION AND DESIGNATION

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "EXISTING CONDITIONS PLAN," PREPARED BY ATLANTIC CONSULTING AND ENGINEERING, DATED 07-11-2014.

NO.	REVISION	DATE
1.	REVISED PER TOWN BOARD SPECIAL PERMIT	07/09/2014 DC
2.	SUBMISSION TO PLANNING BOARD	03/25/2014 DC
3.	HYDROD. SWPPP SUBMISSION	11/04/2013 DC
4.	REVISED PER TOWN BOARD SPECIAL PERMIT	03/24/2013 DC
5.	REVISED PER TOWN BOARD SPECIAL PERMIT	05/12/2013 DC
6.	REVISED PER APPROVAL RESOLUTION CONDITIONS	07/10/2013 DC
7.	PLANNING BOARD SUBMISSION	09/31/2013 DC

AVS FOODS, INC. (DBA POPEYES)
 135 TIMBER LAKE COURT
 YORKTOWN HEIGHTS, NY 10598

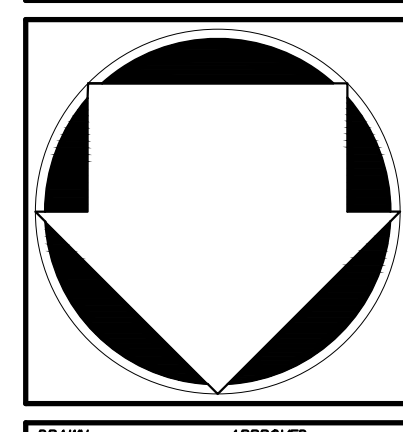
UB YORKTOWN, LLC
 321 RAILROAD AVENUE
 GREENWICH, CT 06830

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Mayer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 voice 914.273.5225 - fax 914.273.2102
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EXISTING CONDITIONS PLAN

STAPLES PLAZA REDEVELOPMENT
 3303 CROMPOND ROAD
 YORKTOWN HEIGHTS, NY 10598



SCALE:	BMS	APPROVER:	RA
DATE:	10/08/2014		
PROJECT NO.:	12148		
DRAWN BY:	100-SE	DATE:	EXISTING
CHECKED BY:			
DRAWING NO.:	SP-2		

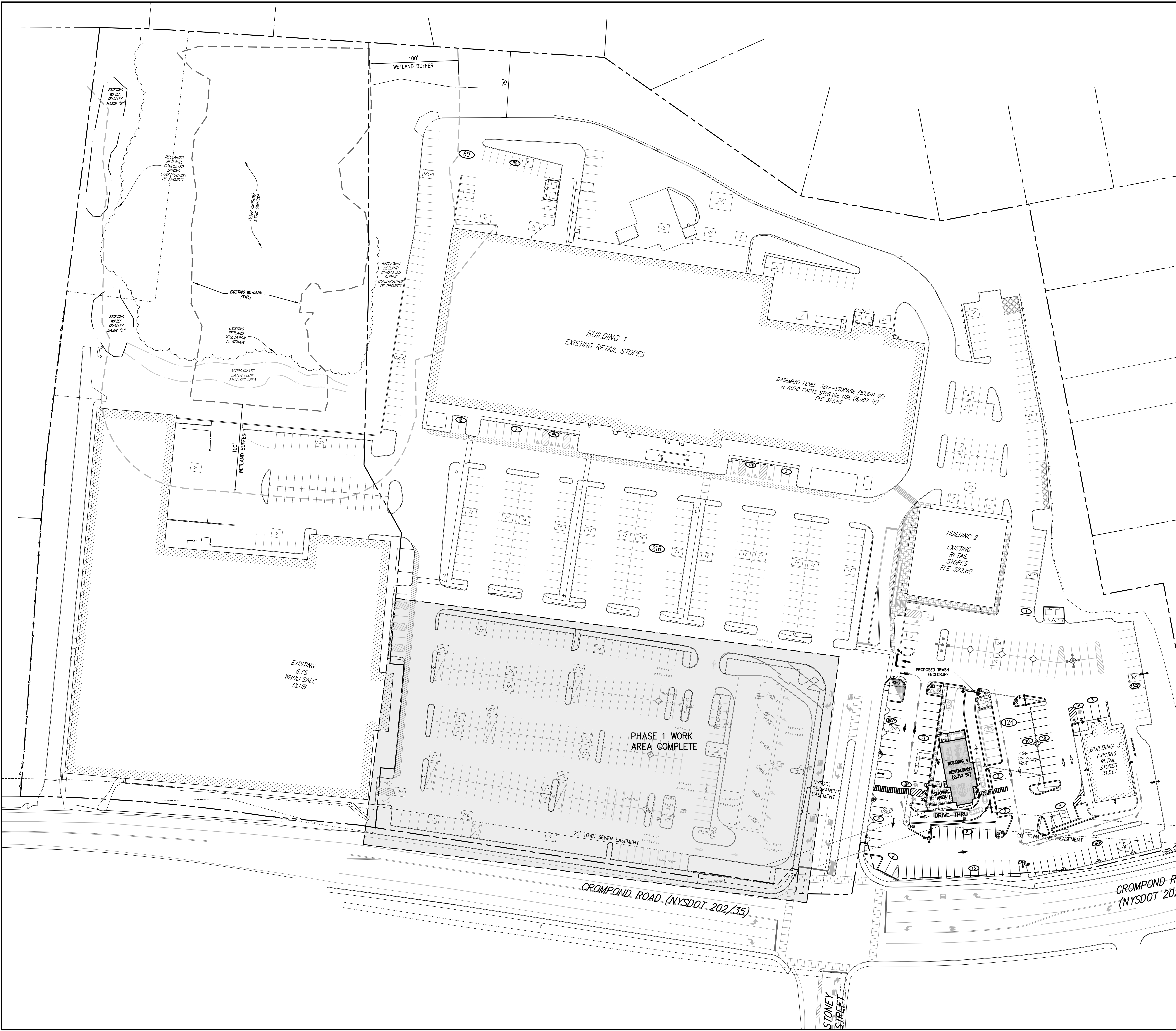
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LEGEND

[Symbol]	EXISTING PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING DOT RIGHT OF WAY
[Symbol]	EXISTING SEWER EASEMENT
[Symbol]	PROPOSED LIMIT OF DISTURBANCE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING RETAINING WALL
[Symbol]	EXISTING GUIDE RAIL
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING TREE AND DESIGNATION
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[Symbol]	EXISTING DIRECTIONAL ARROWS
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[Symbol]	EXISTING HANDICAP PARKING WITH NUMBER OF SPACES
[Symbol]	EXISTING PEDESTRIAN CROSSING
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING CART CORALLE
[Symbol]	EXISTING CONSERVATION SPACES
[Symbol]	EXISTING COMPACT SPACES
[Symbol]	PROPOSED COMPACT SPACES
[Symbol]	PROPOSED QUADRUPLER ARM LIGHTING STANDARD (DESIGN BY OTHERS)
[Symbol]	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
[Symbol]	PROPOSED GAS STATION CANOPY
[Symbol]	PROPOSED BUILDING LINE
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	PROPOSED CONCRETE PAD
[Symbol]	PROPOSED WALL WITH DECORATIVE FENCE
[Symbol]	PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
[Symbol]	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED
[Symbol]	PROPOSED DROP CURB AND RAMP
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	REPRESENTATIVE TRAFFIC FLOW ARROW
[Symbol]	PROPOSED PAINTED TRAFFIC FLOW ARROW

NOTES:
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "EXISTING CONDITIONS PLAN," PREPARED BY ATLANTIC CONSULTING AND ENGINEERING, DATED 07-11-2014.

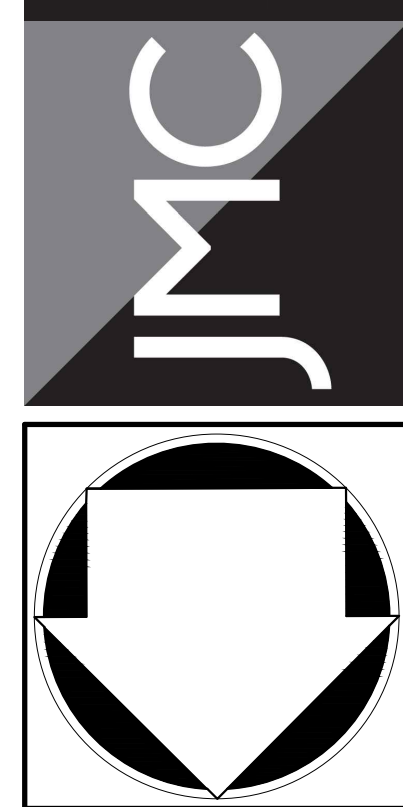
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2	03/20/2014	DC
3	11/04/2015	DC
4	02/24/2016	DC
5	02/17/2016	DC
6	07/05/2018	DC
7	08/03/2018	DC

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OVERALL LAYOUT PLAN
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DATE	BMS	APPROVED	RA
SCALE	1"=40'		
DATE	10/08/2014		
PROJECT NO.	12148		
DATE	REV	BY	CHK
10/08/14	01	RA	RA
		OVERALL-LAYOUT	OVERALL
DRAWING NO.	SP-3		

SIGN TABLE

DESIGNATION NUMBER	SIGN	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	REFLECTORIZED
A		30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
B		30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1	X
Cl		36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1L	X
Cr		36"x12"	WHITE ARROW ON BLACK	STEEL CHANNEL	7'-0"	R6-1R	X
D		12"x18" 12"x6"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8 R7-8A	X
E		12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
F		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	R7-1 (MODIFIED)	X
G		30"x30" 30"x18"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W11-2 W16-7P	X

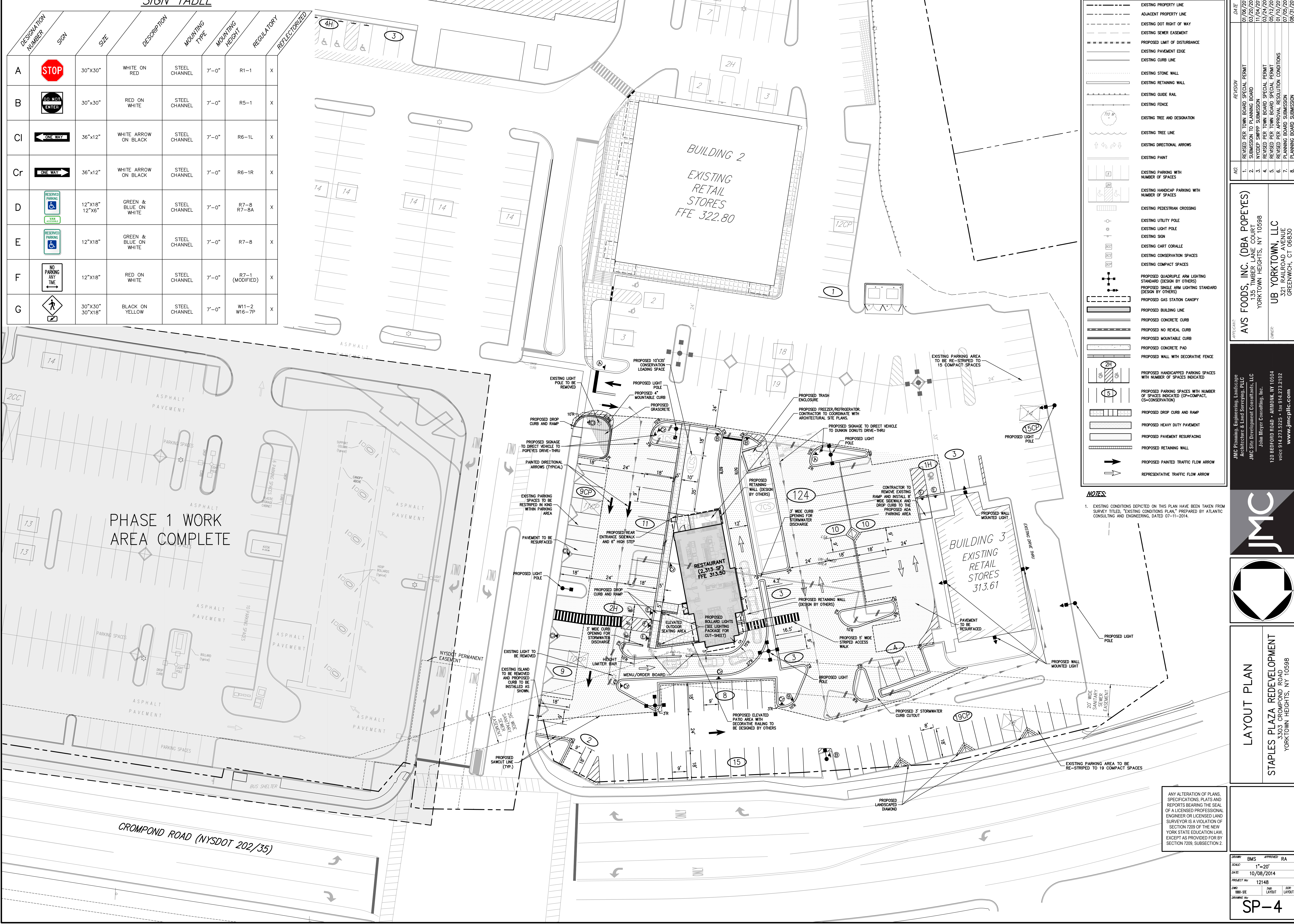
LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING DOT RIGHT OF WAY
- EXISTING SEWER EASEMENT
- PROPOSED LIMIT OF DISTURBANCE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PARKING WITH NUMBER OF SPACES
- EXISTING HANDICAP PARKING WITH NUMBER OF SPACES
- EXISTING PEDESTRIAN CROSSING
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING CART CORALLE
- EXISTING CONSERVATION SPACES
- EXISTING COMPACT SPACES
- PROPOSED QUARUPLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
- PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
- PROPOSED GAS STATION CANOPY
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED NO REVEAL CURB
- PROPOSED MOUNTABLE CURB
- PROPOSED CONCRETE PAD
- PROPOSED WALL WITH DECORATIVE FENCE
- PROPOSED HANDICAPPED PARKING SPACES WITH NUMBER OF SPACES INDICATED
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (CP=COMPACT, CS=CONSERVATION)
- PROPOSED DROP CURB AND RAMP
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED PAVEMENT RESURFACING
- PROPOSED RETAINING WALL
- PROPOSED PAINTED TRAFFIC FLOW ARROW
- REPRESENTATIVE TRAFFIC FLOW ARROW

NOTES:

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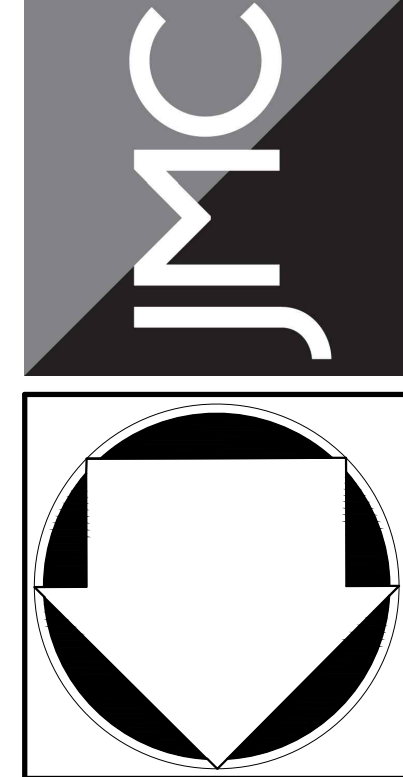


PHASE 1 WORK AREA COMPLETE

REV	DATE	DESCRIPTION
01	07/09/2014 DC	REVISION
02	03/20/2014 DC	1. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION TO PLANNING BOARD
03	11/04/2015 DC	2. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION
04	02/24/2016 DC	3. NYSDOT SWPP SUBMISSION
05	02/24/2016 DC	4. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION
06	02/12/2016 DC	5. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION
07	02/05/2016 DC	6. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION
08	02/05/2016 DC	7. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION
09	02/05/2016 DC	8. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION

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LAYOUT PLAN
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SCALE:	BMS	APPROVED:	RA
DATE:	10/08/2014		
PROJECT NO:	12148		
DRAWN BY:	SP-4	CHECKED BY:	
DATE:		DATE:	
SCALE:		SCALE:	

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LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED MOUNTABLE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE C DRAIN INLET
	PROPOSED WATER QUALITY STRUCTURE
	PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
	PROPOSED SUBSURFACE DRAINAGE DIVERSION STRUCTURE

NOTES

1. EXISTING CONDITIONS DERIVED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "EXISTING CONDITIONS PLAN," PREPARED BY ATLANTIC CONSULTING AND ENGINEERING, DATED 07-11-2014.

RETAINING WALL SPOT GRADE LEGEND	
	(PROPOSED GRADE) RW-TW
	(PROPOSED GRADE) LFW

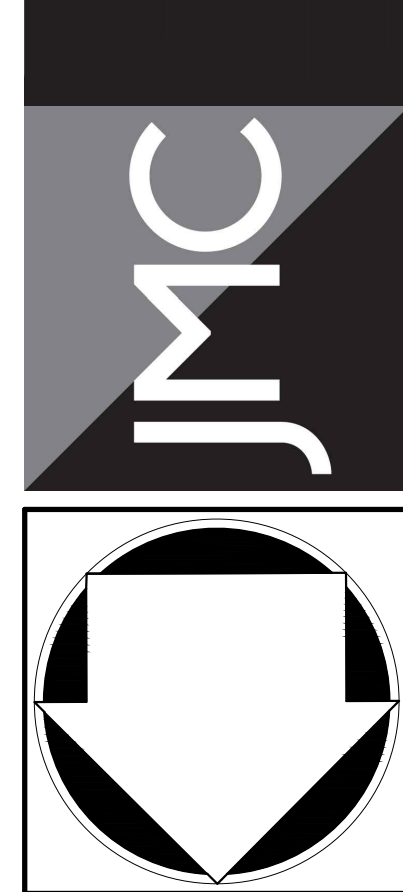
DATE	DESCRIPTION
07/09/2014 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
07/29/2014 DC	SUBMISSION TO PLANNING BOARD
11/04/2015 DC	NYSDOT SWPP SUBMISSION
02/24/2016 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
05/12/2016 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
07/02/2016 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
07/05/2016 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
08/03/2016 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
08/03/2016 DC	PLANNING BOARD SUBMISSION

AVS FOODS, INC. (DBA POPPEYES)
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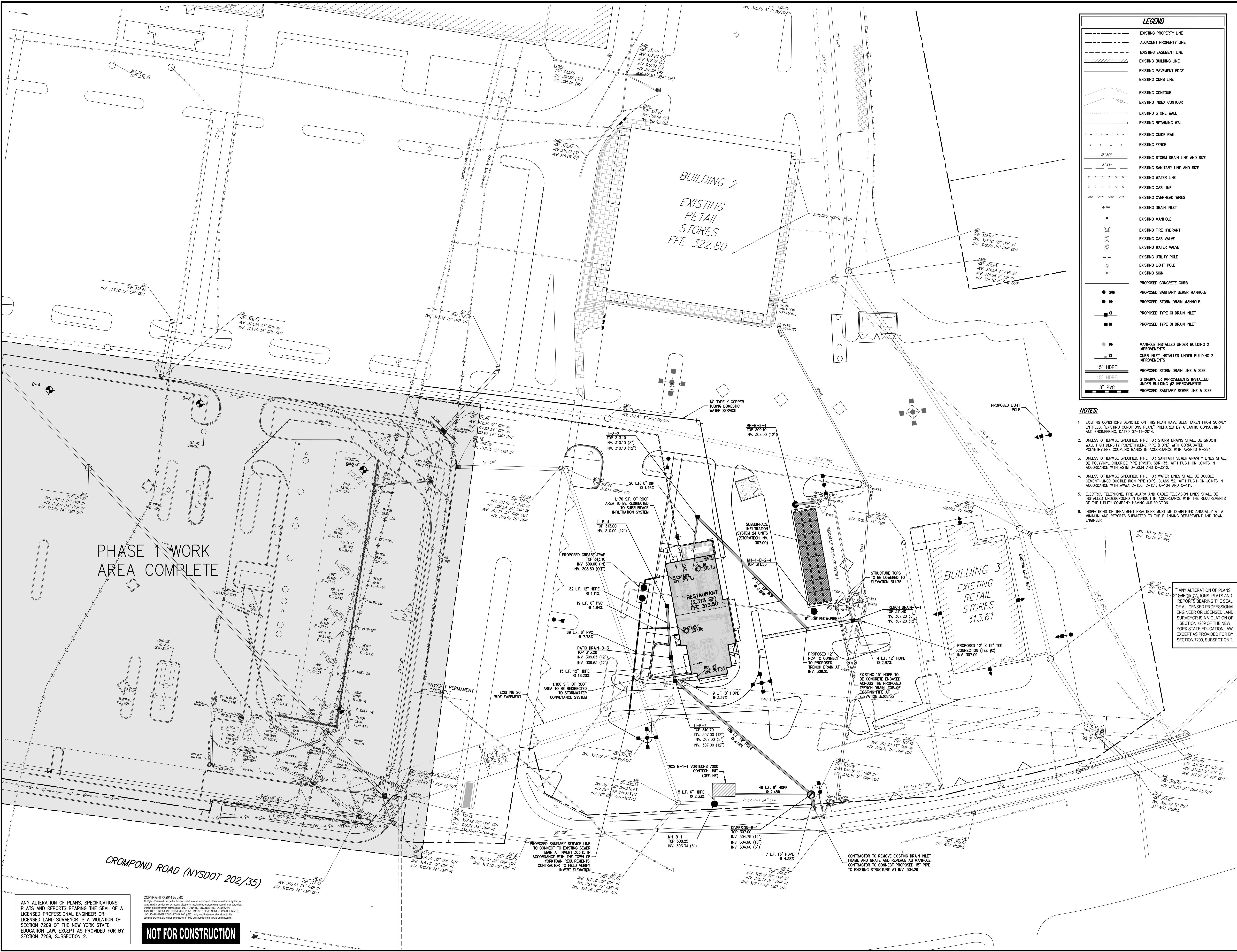


GRADING PLAN

STAPLES PLAZA REDEVELOPMENT
3303 CROMPOND ROAD
YORKTOWN HEIGHTS, NY 10598

SCALE:	BMS	APPROVED:	RA
DATE:	10/08/2014		
PROJECT NO.:	12148		
DRAWN BY:	SP-5	CHECKED BY:	

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7208 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



LEGEND

[Symbol]	EXISTING PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING EASEMENT LINE
[Symbol]	EXISTING BUILDING LINE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING INDEX CONTOUR
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING RETAINING WALL
[Symbol]	EXISTING GUIDE RAIL
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING STORM DRAIN LINE AND SIZE
[Symbol]	EXISTING SANITARY LINE AND SIZE
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING OVERHEAD WIRES
[Symbol]	EXISTING DRAIN INLET
[Symbol]	EXISTING MANHOLE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING GAS VALVE
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	PROPOSED CONCRETE CURB
[Symbol]	PROPOSED SANITARY SEWER MANHOLE
[Symbol]	PROPOSED STORM DRAIN MANHOLE
[Symbol]	PROPOSED TYPE CI DRAIN INLET
[Symbol]	PROPOSED TYPE DI DRAIN INLET
[Symbol]	MANHOLE INSTALLED UNDER BUILDING 2 IMPROVEMENTS
[Symbol]	CURB INLET INSTALLED UNDER BUILDING 2 IMPROVEMENTS
[Symbol]	PROPOSED STORM DRAIN LINE & SIZE
[Symbol]	PROPOSED SANITARY SEWER LINE & SIZE
[Symbol]	15" HDPE
[Symbol]	8" PVC

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY ENTITLED, "EXISTING CONDITIONS PLAN," PREPARED BY ATLANTIC CONSULTING AND ENGINEERING, DATED 07-11-2014.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE SMOOTH WALL HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH CORRUGATED POLYETHYLENE COUPLING BANDS IN ACCORDANCE WITH AASHTO M-294.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND E-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 52, WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - INSPECTIONS OF TREATMENT PRACTICES MUST BE COMPLETED ANNUALLY AT A MINIMUM AND REPORTS SUBMITTED TO THE PLANNING DEPARTMENT AND TOWN ENGINEER.

REVISION

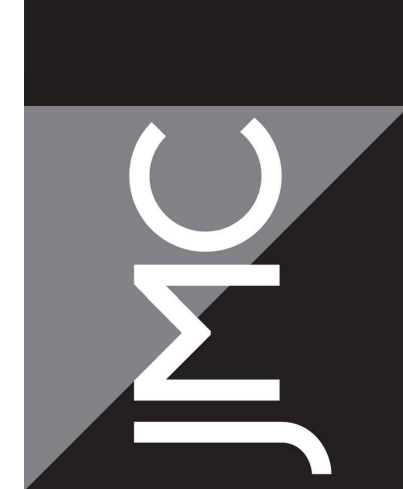
NO.	DATE	DESCRIPTION
1.	07/09/2014	DC
2.	03/20/2014	DC
3.	11/04/2015	DC
4.	02/24/2016	DC
5.	02/12/2016	DC
6.	02/12/2016	DC
7.	08/31/2016	DC

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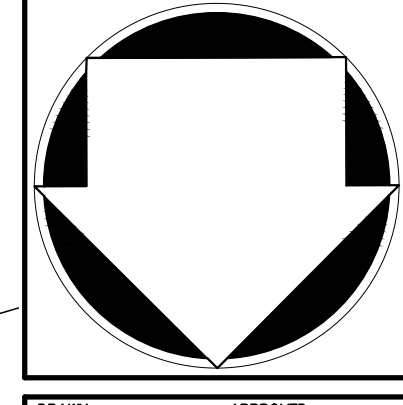
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SITE UTILITIES PLAN

STAPLES PLAZA REDEVELOPMENT
 3303 CROMPOND ROAD
 YORKTOWN HEIGHTS, NY 10598



DATE: 10/08/2014
SCALE: 1"=20'
PROJECT NO.: 12148
DATE: 10/08/2014
BY: [Signature]
CHECKED BY: [Signature]
DESIGNED BY: [Signature]

SP-6

PHASE 1 WORK AREA COMPLETE

CROMPOND ROAD (NYS DOT 202/35)

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

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Temporary Erosion and Sediment Control Inspection and Maintenance Checklist:

Erosion and Sediment Control Measure	Inspection/Maintenance Intervals	Inspection/Maintenance Requirements
Stabilized Construction Entrance	Daily	<ul style="list-style-type: none"> Periodic top dressing with additional aggregate as required Clean sediment in public right-of-ways immediately
Silt Fence	Weekly + After Each Rain	<ul style="list-style-type: none"> Remove & redistribute sediment when bulges develop in the silt fence. Refer to Figures A5.11, A5.12, A5.13 & A5.14 within the NYSDEC New York State Standard and Specifications for Erosion and Sediment Control
Inlet Protection	Weekly + After Each Rain	<ul style="list-style-type: none"> Correct all damage immediately. Notify design engineer if significant erosion has occurred between structures as a liner of stone or other suitable material may be required in this section of the channel. Remove sediment accumulated behind the dam as needed to allow the channel to drain through the stone check dam and prevent large flows from carrying sediment over the dam. Replace stones as needed to maintain the design cross section of the structures.
Stone Check Dam	Weekly + After Each Rain	<ul style="list-style-type: none"> Correct all damage immediately. Notify design engineer if significant erosion has occurred between structures as a liner of stone or other suitable material may be required in this section of the channel. Remove sediment accumulated behind the dam as needed to allow the channel to drain through the stone check dam and prevent large flows from carrying sediment over the dam. Replace stones as needed to maintain the design cross section of the structures.

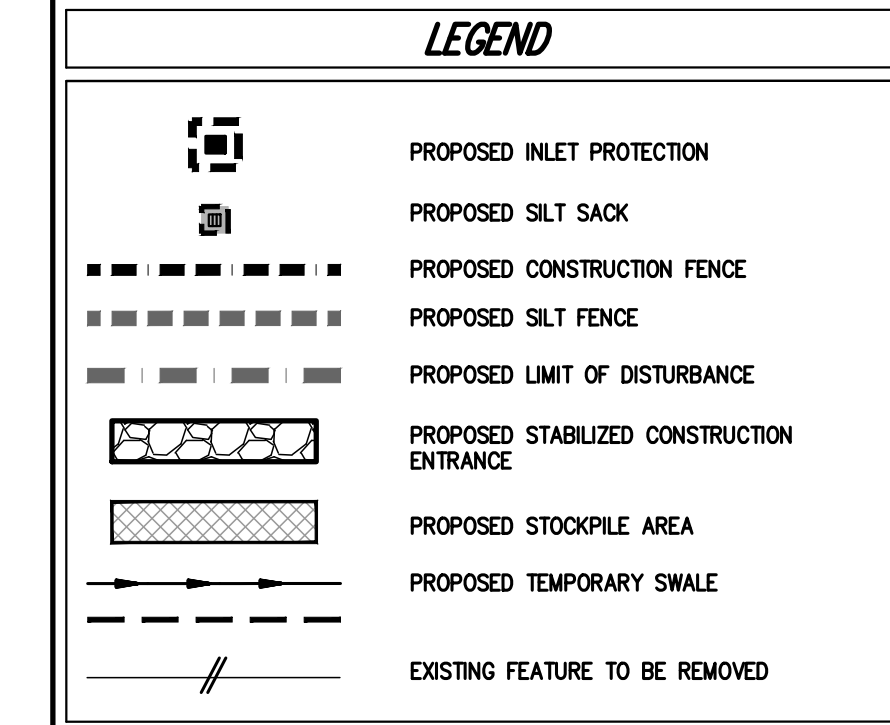
Permanent Stormwater Practice Inspection and Maintenance Checklist:

Stormwater Management Practice	Inspection/Maintenance Intervals	Inspection/Maintenance Requirements
Drain Inlets	Monthly	<ul style="list-style-type: none"> Check for blockage and/or erosion at top of each inlet. Repair/remove as necessary. Check for sediment and debris collected within sumps and clean out as necessary.
Vortechs Water Quality Structure	Quarterly + After Major Storms (See Maintenance Guidelines in Appendix D)	<ul style="list-style-type: none"> Open access covers for visual inspection and measure the distance from the standing water surface to the sediment pile with a measuring stick or tape. If less than 4 feet, insert hose from vacuum truck into the sump and screen through both access covers to clean out the standing water, layer of oil, sediment, trash, etc. The screen must be power washed to ensure it is free of trash and debris. Flush all sediment to access manhole and remove using a vacuum truck.
StormTech Subsurface Infiltration Facility	Semi-Annually + After Major Storms (See Maintenance Guidelines in Appendix H)	<ul style="list-style-type: none"> Check level of sediment accumulated within the isolator row through the access manhole. If 3 inches of sediment or greater, clean out utilizing a high pressure water nozzle to scour and suspend sediments. Flush all sediment to access manhole and remove using a vacuum truck.
Porous Pavement and Permeable Pavers	Monthly and As Needed	<ul style="list-style-type: none"> Ensure that paving area is clean of debris Ensure that paving dewaters between storms Ensure that the area is clean of sediments Mow upland and adjacent areas, and seed bare areas
	Quarterly	<ul style="list-style-type: none"> Vacuum sweep frequently to keep surface free of sediments
	Annually	<ul style="list-style-type: none"> Inspect the surface for deterioration or spalling

Permanent Stormwater Practice Inspection and Maintenance Checklist: (CONTINUED)

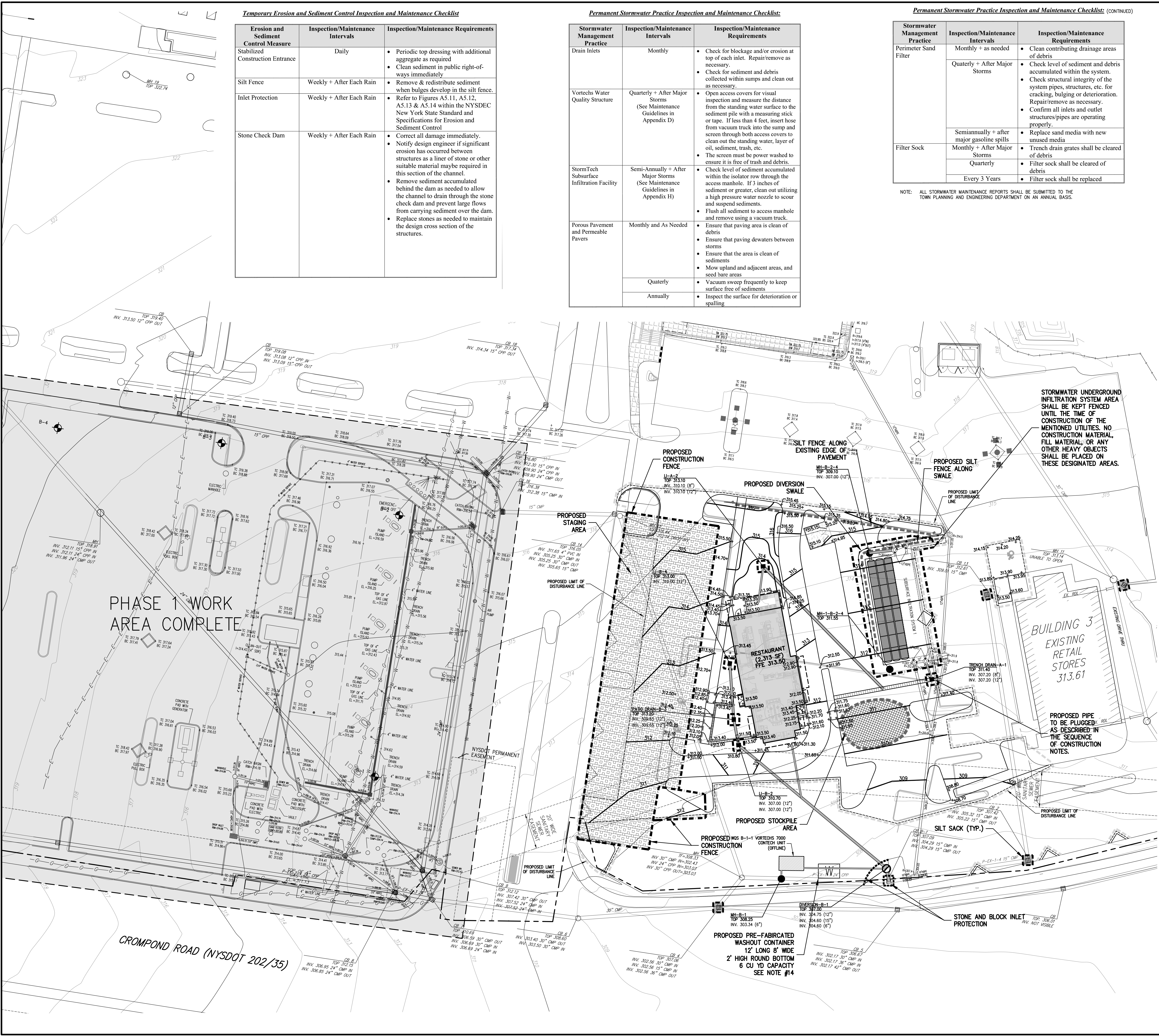
Stormwater Management Practice	Inspection/Maintenance Intervals	Inspection/Maintenance Requirements
Perimeter Sand Filter	Monthly + as needed Quarterly + After Major Storms	<ul style="list-style-type: none"> Clean contributing drainage areas of debris Check level of sediment and debris accumulated within the system. Check structural integrity of the system pipes, structures, etc. for cracking, bulging or deterioration. Repair/remove as necessary. Confirm all inlets and outlet structures/pipes are operating properly.
Filter Sock	Semiannually + after major gasoline spills Monthly + After Major Storms Quarterly Every 3 Years	<ul style="list-style-type: none"> Replace sand media with new unused media Trench drain grates shall be cleared of debris Filter sock shall be replaced

NOTE: ALL STORMWATER MAINTENANCE REPORTS SHALL BE SUBMITTED TO THE TOWN PLANNING AND ENGINEERING DEPARTMENT ON AN ANNUAL BASIS.



NOTES:

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- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 6 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS:
 - CREeping RED FESCUE 30 %
 - PERENNIAL RYE GRASS 70 %
- GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE RESPAVED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
- CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
- ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
- THE CONTRACTOR SHALL INSPECT DOWNSIDE CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
- AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
- STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDER EXISTING TRAFFIC CIRCULATION ROUTES.
- CONTRACTOR SHALL HAVE THE SWEEPER TRUCK ON SITE FOR THE DURATION OF THE CONSTRUCTION. ANY VISIBLE TRACKING OF SEDIMENT ONTO THE PAVED AREA SHALL BE CLEARED ON A DAILY BASIS.
- CONCRETE WASHOUT AREA
 - A. PERFORM WASHOUT OF IN DESIGNATED CONCRETE WASH AREAS ONLY.
 - B. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND, OR INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
 - C. DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS.
 - D. CONCRETE WASHOUT AREAS TO BE PREFABRICATED CONCRETE WASHOUT CONTAINERS. CONTRACTOR TO COORDINATE DELIVERY SERVICE AND PROVIDE REGULAR MAINTENANCE AND DISPOSAL OF SOLID LIQUID WASTE.
 - E. INSPECT AND VERIFY THAT CONCRETE WASHOUT BEST MANAGEMENT PRACTICES ARE IN PLACE PRIOR TO THE COMMENCEMENT OF CONCRETE WORK.
 - F. DURING PERIODS OF CONCRETE WORK, INSPECT DAILY TO VERIFY CONTINUED PERFORMANCE. CHECK OVERALL CONDITION, PERFORMANCE. CHECK REMAINING CAPACITY (IF FULL), AND CHECK FOR LEAKS.
 - G. WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 INCHES.
 - H. IF THE WASHOUT IS NEARING CAPACITY, DISPOSE OF THE WASTE MATERIAL IN AN APPROVED MANNER.
 - I. DO NOT DISCHARGE LIQUID OR SLURRY TO WATERWAYS, STORM DRAINS OR DIRECTLY ONTO GROUND.
 - J. PLACE A SECURE, NON-COLLAPSING, NON-WATER COLLECTING COVER OVER THE CONCRETE WASHOUT FACILITY PRIOR TO PREDICTED WEATHER TO PREVENT ACCUMULATION AND OVERFLOW OF PRECIPITATION.
 - K. REMOVE AND DISPOSE OF HARDENED CONCRETE AND RETURN THE STRUCTURE TO A FUNCTIONAL CONDITION.



SEQUENCE OF CONSTRUCTION

- CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH EROSION AND SEDIMENT CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:
- INSTALL INLET PROTECTION AND SILT FENCE.
 - THE STORMWATER UNDERGROUND INFILTRATION SYSTEM AREA SHALL BE KEPT FENCED UNTIL THE TIME OF CONSTRUCTION OF THE MENTIONED UTILITIES. NO CONSTRUCTION MATERIAL, FILL MATERIAL, OR ANY OTHER HEAVY OBJECTS SHALL BE PLACED ON THESE DESIGNATED AREAS.
 - REMOVE CURBS, EXISTING RAISED WALKWAYS AND ASPHALT IN PORTION OF THE PROPERTY WHICH IS TO BE MODIFIED.
 - BEGON BUILDING RENOVATION CONSTRUCTION.
 - REMOVE EXISTING SEWAGE TREATMENT SYSTEM.
 - INSTALL SILT FENCE AND TEMPORARY DIVERSION SWALES AT PERIMETER OF THE UNDERGROUND INFILTRATION SYSTEM TO DIVERT ALL RUNOFF DURING UNDERGROUND CONSTRUCTION.
 - INSTALL STORM DRAIN AND DETENTION SYSTEM COMPLETE (IMMEDIATELY INSTALL INLET PROTECTIONS FOR ALL INLETS).
 - INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
 - FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
 - CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
 - COMPLETE SITE AND BUILDING UPDATES IN ACCORDANCE WITH STAGING.

DATE
07/08/2014 DC

REVISION

1.	REVISED PER TOWN BOARD SPECIAL PERMIT	07/08/2014 DC
2.	SUBMISSION TO PLANNING BOARD	03/20/2014 DC
3.	REVISED SWPPP SUBMISSION	11/04/2015 DC
4.	REVISED PER TOWN BOARD SPECIAL PERMIT	02/24/2016 DC
5.	REVISED PER TOWN BOARD SPECIAL PERMIT	02/12/2016 DC
6.	REVISED PER TOWN BOARD SPECIAL PERMIT	02/12/2016 DC
7.	PLANNING BOARD SUBMITTAL RESOLUTION CONDITIONS	08/31/2016 DC

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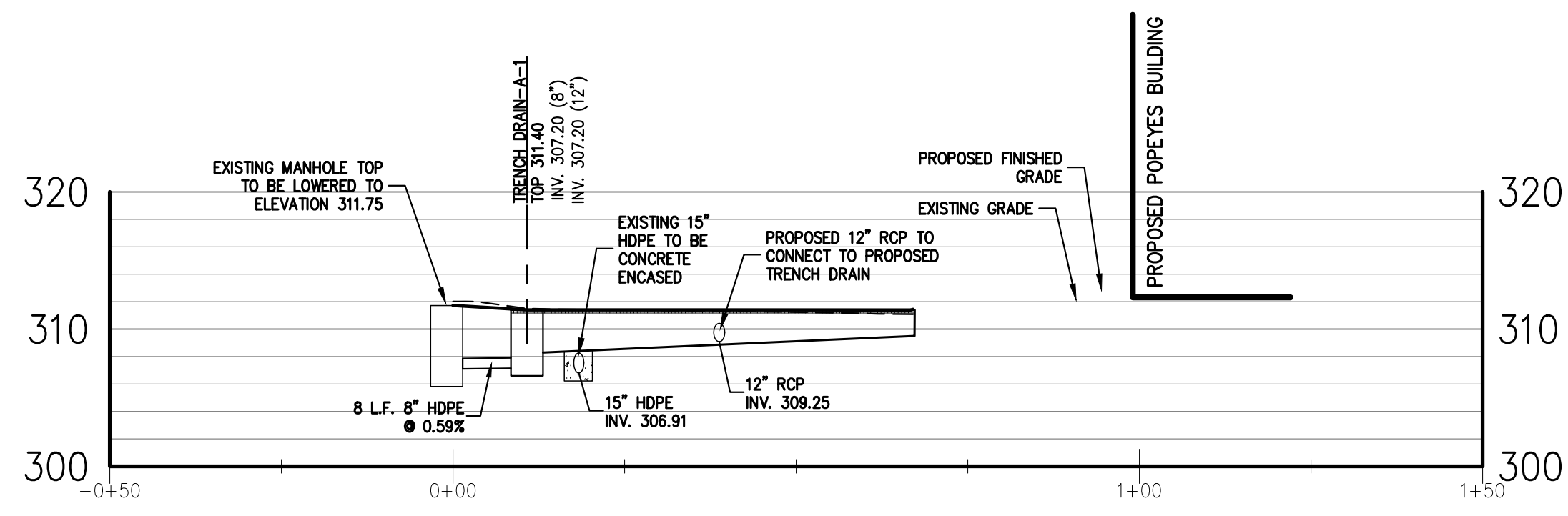
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SITE SEDIMENT AND EROSION PLAN

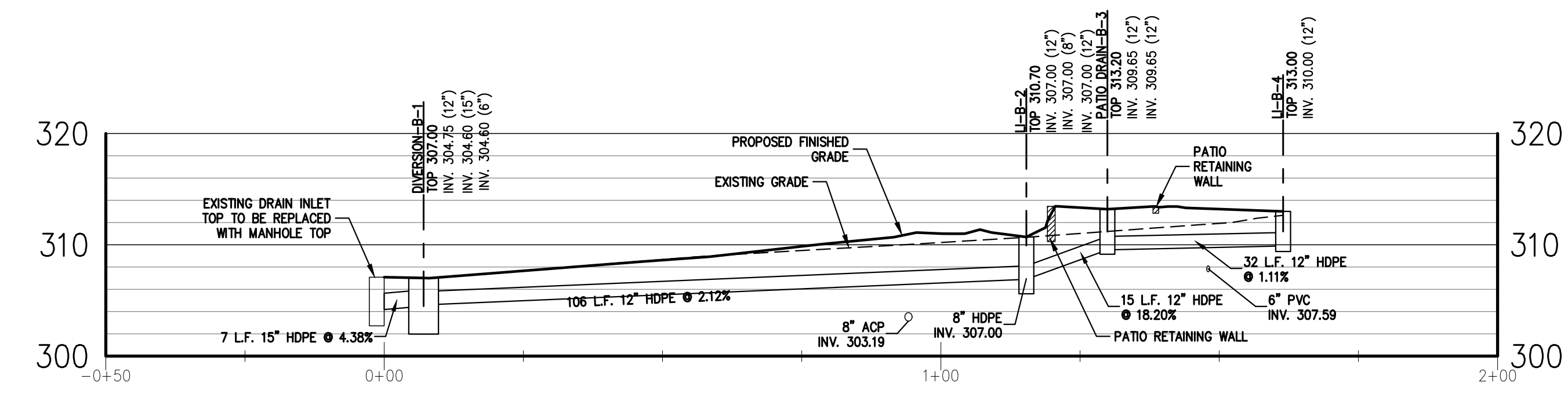
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SP-7



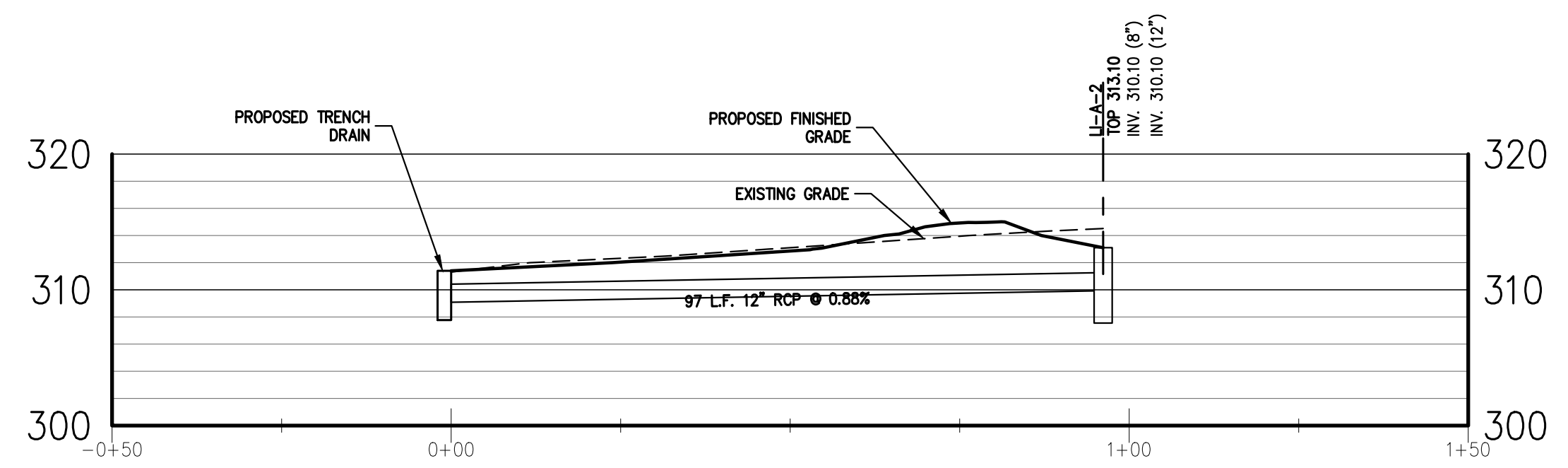
EX MH TO BUILDING

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=10'



EX DI TO LI-B-4

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=10'



TRENCH DRAIN TO LI-A-2

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=10'

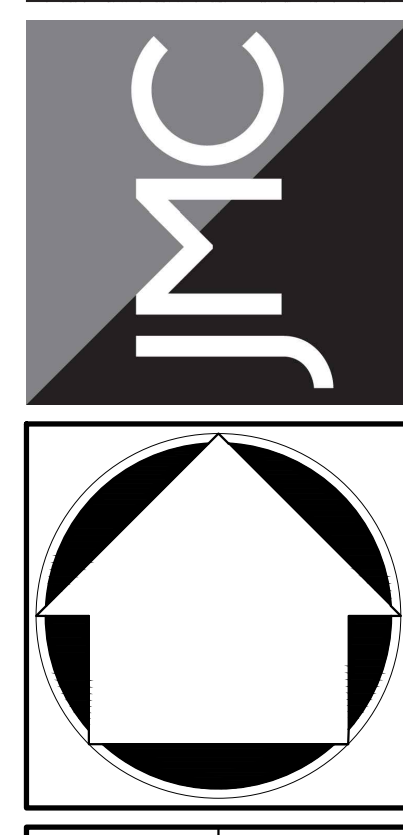
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Drawn:	BMS	Approved:	RA
Scale:	1" = 20'		
Date:	03/03/2016		
Project No:	12148		
1000-SIE	PROFILES	UTILS	
Drawing No:	SP-8		

STORMWATER PROFILES
STAPLES PLAZA REDEVELOPMENT
3303 CROMPOND ROAD
YORKTOWN HEIGHTS, NY 10598



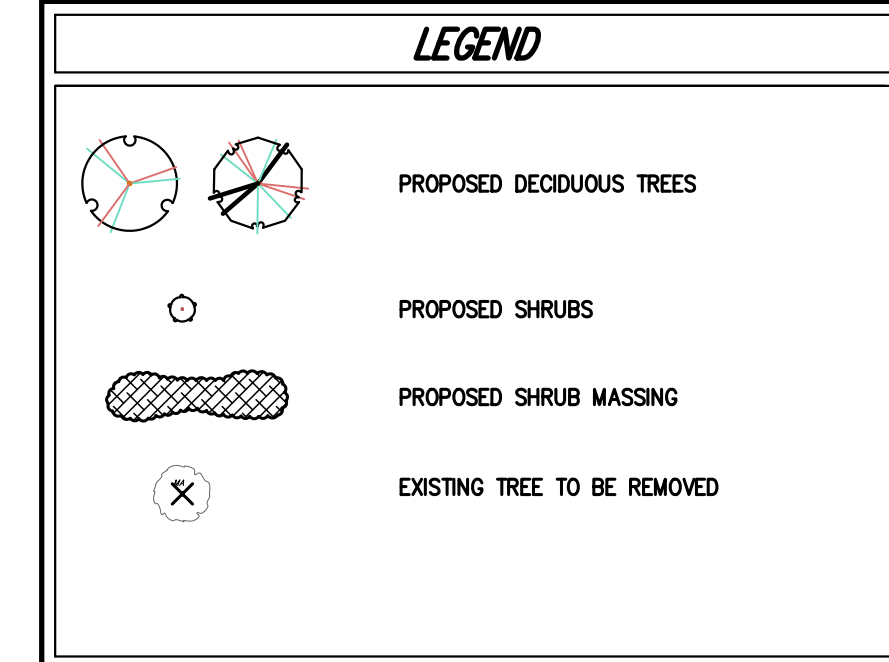
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APPLICANT:
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YORKTOWN HEIGHTS, NY 10598
ARCHITECT:
JAMES D. SMITH ARCHITECT
522 BAG LANE
CENTREVILLE, MA 02632

No.	Revision	Date	By
1.	REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION TO PLANNING BOARD	07/06/2014	DC
2.	SUBMISSION TO PLANNING BOARD	03/20/2014	DC
3.	INVOSEP SWPPP SUBMISSION	11/04/2015	DC
4.	REVISED PER TOWN BOARD SPECIAL PERMIT	03/24/2016	DC
5.	REVISED PER TOWN BOARD SPECIAL PERMIT	05/12/2016	DC
6.	REVISED PER APPROVAL RESOLUTION CONDITIONS	07/07/2016	DC
7.	PLANNING BOARD SUBMISSION CONDITIONS	08/31/2016	BMS

PLANT SCHEDULE WORK AREA

TREES	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
AR	6	Red Maple / <i>Acer Rubrum</i> 'Red Sunset'	3" - 3 1/2" Cal.	B & B	
GT	14	Shademaster Honeylocust / <i>Gleditsia Triacanthos Inermis</i> 'Shademaster'	3" - 3 1/2" Cal.	B & B	
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
IG	58	Compact Inkberry / <i>Ilex glabra</i> 'Shamrock'	3' - 4' Height		
TOE	7	Emerald Arborvitae / <i>Thuja occidentalis</i> 'Emerald'	7' - 8' HEIGHT	B & B	
ANNUALS/PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
EP	144	Purple Coneflower / <i>Echinacea purpurea</i> 'Bright Star'	1 gal		
PALS	54	Little Spire Russian Sage / <i>Perovskia atriplicifolia</i> 'Little Spire' TM	1 gal		
RFG	72	Black-eyed Susan / <i>Rudbeckia fulgida sullivanii</i> 'Goldstrum'	1 gal		
GRASSES	QTY	COMMON NAME / BOTANICAL NAME	CAL./HT.	ROOT COND.	REMARKS
PAH	205	Hamel Dwarf Fountain Grass / <i>Pennisetum alopecuroides</i> 'Hamel'	2 gal.		
SHRUB AREAS	QTY	COMMON NAME / BOTANICAL NAME	CONT	ROOT COND.	REMARKS
HMS	93	Stella de Oro Daylily / <i>Hemerocallis</i> x 'Stella de Oro'	1 gal		
JP	84	Parson's Juniper / <i>Juniperus davurica</i> 'Parsonii'	3 gal		
PR	171	Red Ace Potentilla / <i>Potentilla fruticosa</i> 'Red Ace' TM	2 gal		
SA	193	Autumn Joy Sedum / <i>Sedum</i> x 'Autumn Joy'	1 gal		



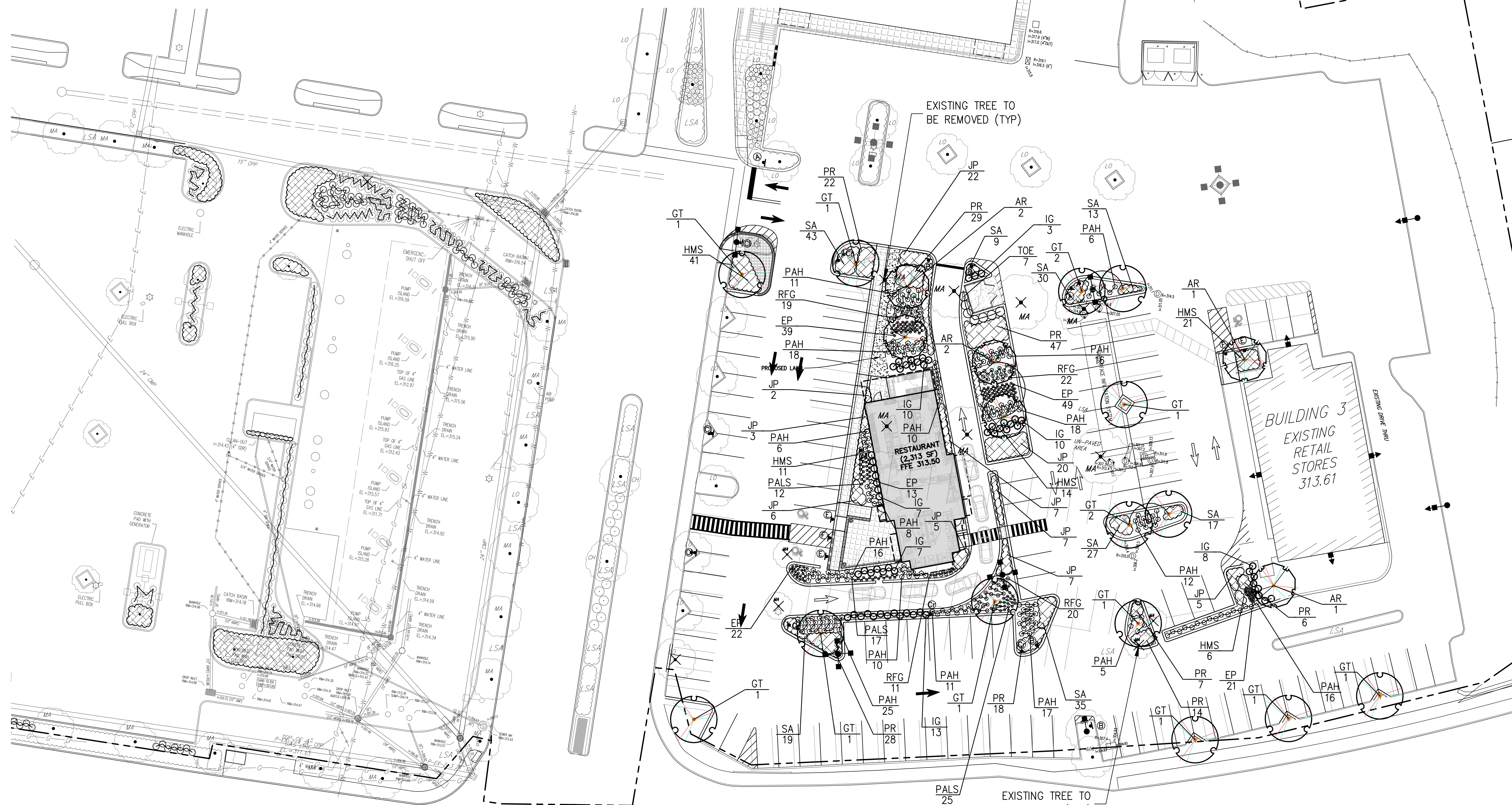
- NOTES:**
- ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK. PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
 - ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-SOED, TOWNSHIP FREE, SHREDDED HARDWOOD.
 - PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
 - ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
 - ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 - PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SAN-SCALE, MINOR INJURY, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTABLE DISTORTIONS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 - ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BARERoot STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 - ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

EXISTING LANDSCAPING ABBREVIATIONS

CH	CHERRY
LO	HONEY LOCUST
MA	MAPLE
OK	OAK
LSA	LANDSCAPED AREA

- LANDSCAPED AREA REVITALIZATION NOTES:**
- ALL LANDSCAPED AND PARKING AREAS SHALL BE CLEANED OF DEAD VEGETATION, DEBRIS, & TRASH.
 - REMOVE WEATHERED MULCH FROM ALL PLANTING BEDS AND PLACE 4" OF FRESH SHREDDED HARDWOOD MULCH.
 - AVOID MOUNDING OF MULCH AROUND TRUNKS OF TREES & SHRUBS, AS THIS PROMOTES ROT AND DRAMATICALLY REDUCES SURVIVAL RATE OF PLANTINGS.
 - ALL EXISTING TREES TO REMAIN IN IMPROVEMENT AREA DEPICTED HEREON SHALL BE EVALUATED BY A CERTIFIED ARBORIST AS FOLLOWS:
 - ASSESS TREE HEALTH AND CONDITION.
 - DETERMINE TYPE OF PRUNING NECESSARY TO MAINTAIN OR IMPROVE THE HEALTH, APPEARANCE AND SAFETY OF TREES.
 - DIAGNOSE DISEASES AND INFESTATION PROBLEMS AND PROVIDE SOLUTIONS AND TREATMENTS.
 - RECOMMEND TREE REMOVAL AND REPLACEMENT IF NECESSARY.

- FOUR SEASON LANDSCAPE MAINTENANCE PLAN**
- WINTER:**
- TREES, SHRUBS, AND GROUNDCOVERS
- IF RAIN AND SNOW ARE LACKING, WATER NEWLY PLANTED EVERGREENS.
 - TRIM ORNAMENTAL GRASSES IN PLANTING BEDS.
 - PROTECT TREES AND SHRUBS FROM SNOW FLOW DAMAGE.
 - PROTECT TREES FROM STOCK PILED SNOW.
- SPRING:**
- TREES, SHRUBS, AND GROUNDCOVERS
- PRUNE AND CLEAN UP DEAD, BROKEN, OR DISEASED BRANCHES.
 - RAKE, FERTILIZE, AND GROOM GROUNDCOVERS.
 - MULCH PLANTING BEDS TO PROVIDE A MINIMUM OF 3" MULCH.
 - PRUNE SUMMER-FLOWERING SHRUBS.
 - REMOVE ANY DEAD SHRUBS OR GROUNDCOVERS AND REPLACE AS NECESSARY.
 - CUT AND TRIM VINES FROM TREES AND SHRUBS AS NECESSARY.
 - INSPECT PERIMETER BUFFER AREAS FOR WEEDS AND VINES. REMOVE AS NECESSARY TO PROMOTE HEALTHY GROWTH OF EXISTING VEGETATION.
- SUMMER:**
- TREES, SHRUBS, AND GROUNDCOVERS
- WEED AS NEEDED AROUND TREES AND PLANTING BEDS.
 - MAINTAIN MULCH IN PLANTING BEDS.
 - REGULARLY CHECK FOR INSECT OR DISEASE DAMAGE. TREAT VEGETATION AS MAY BE NECESSARY.
 - TRIM HEDGES AFTER THE FIRST NEW GROWTH FLUSH. (± JUNE 30TH)
 - DEADHEAD FADED FLOWERS.
 - PRUNE SPRING-BLOOMING SHRUBS, AFTER FLOWERS FADE.
- FALL:**
- TREES, SHRUBS, AND GROUNDCOVERS
- WEED AS NEEDED AROUND TREES AND PLANTING BEDS.
 - MAINTAIN MULCH IN PLANTING BEDS.
 - TRIM SHRUBS AND TREES.
 - REMOVE LEAVES FROM PLANTING BEDS AND LAWN AREA.
- NEW VEGETATION:**
- WATER DAILY FOR FIRST 3 WEEKS. REDUCE WATERING TO 3 TIMES A WEEK FOR THE NEXT 3 WEEKS. WATER AS REQUIRED AFTER WEEK 6.
 - FERTILIZE FIRST YEAR SPRING AND FALL.
 - APPLY AN ANTI-DESICCANT SPRAY (LATE FALL/EARLY WINTER) TO RHODODENDRON PLANTINGS FOR THE FIRST TWO YEARS AFTER PLANTING.



CROMPOND ROAD
(NYS DOT 202/35)

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLANTS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

NOT FOR CONSTRUCTION

JMC

SITE LANDSCAPING PLAN

STAPLES PLAZA REDEVELOPMENT
3303 CROMPOND ROAD
YORKTOWN HEIGHTS, NY 10598

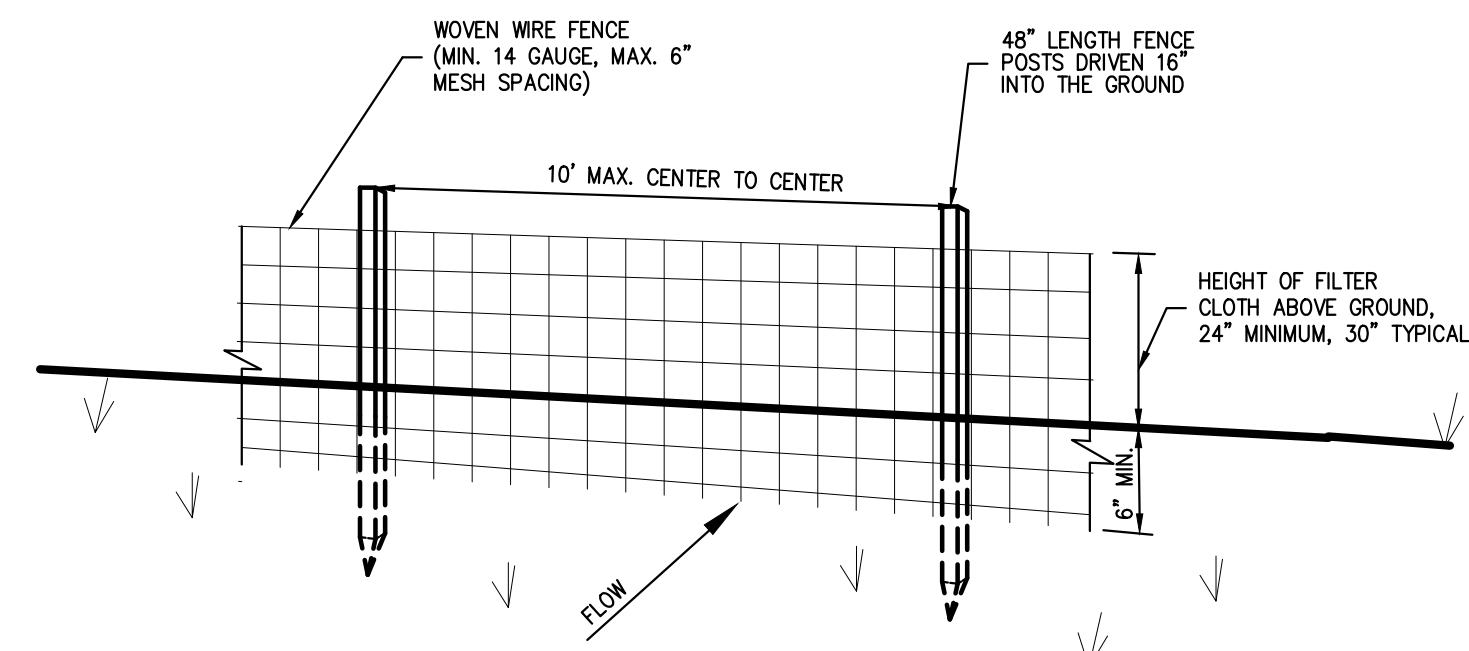
AVS FOODS, INC. (DBA BOPEYES)
135 TIMBER LAKE COURT
YORKTOWN HEIGHTS, NY 10598

YORKTOWN, LLC
321 RAILROAD AVENUE
GREENWICH, CT 06830

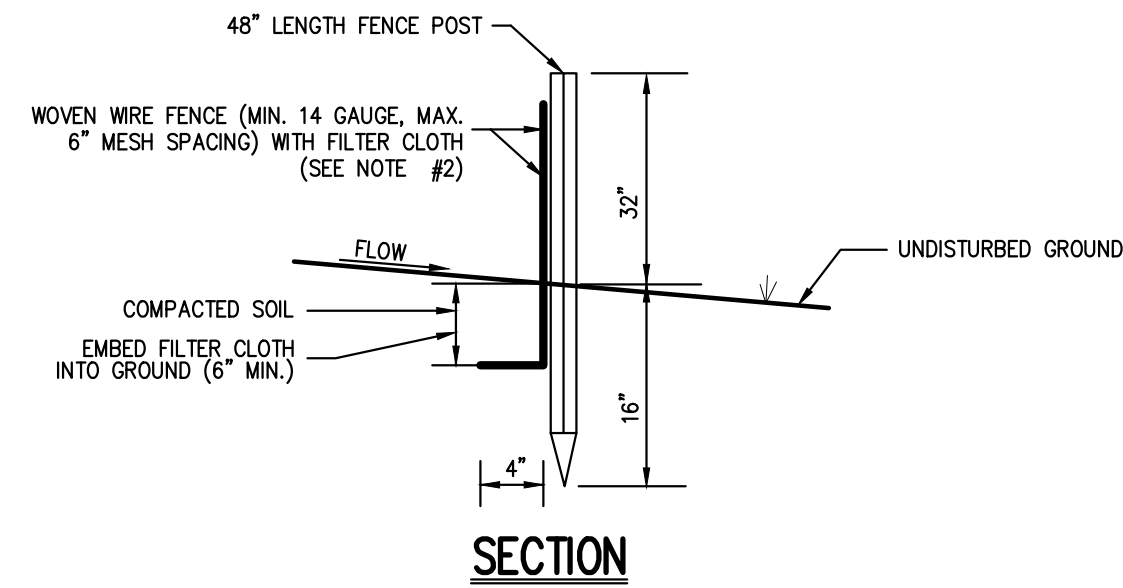
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REVISION: 1. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION TO PLANNING BOARD, 2. SUBMISSION TO PLANNING BOARD, 3. NYSDSP SWPPP SUBMISSION, 4. REVISED PER TOWN BOARD SPECIAL PERMIT, 5. REVISED PER TOWN BOARD SPECIAL PERMIT, 6. REVISED PER TOWN BOARD SPECIAL PERMIT, 7. PLANNING BOARD SUBMISSION TO RESOLVE CONDITIONS

DESIGNED BY: BMS, APPROVED BY: RA, SCALE: 1" = 20', DATE: 10/08/2014, PROJECT NO: 12148, SHEET NO: 000-LAND, LAY: LAND, LANS: LANDSCAPE, DRAWING NO: SP-9



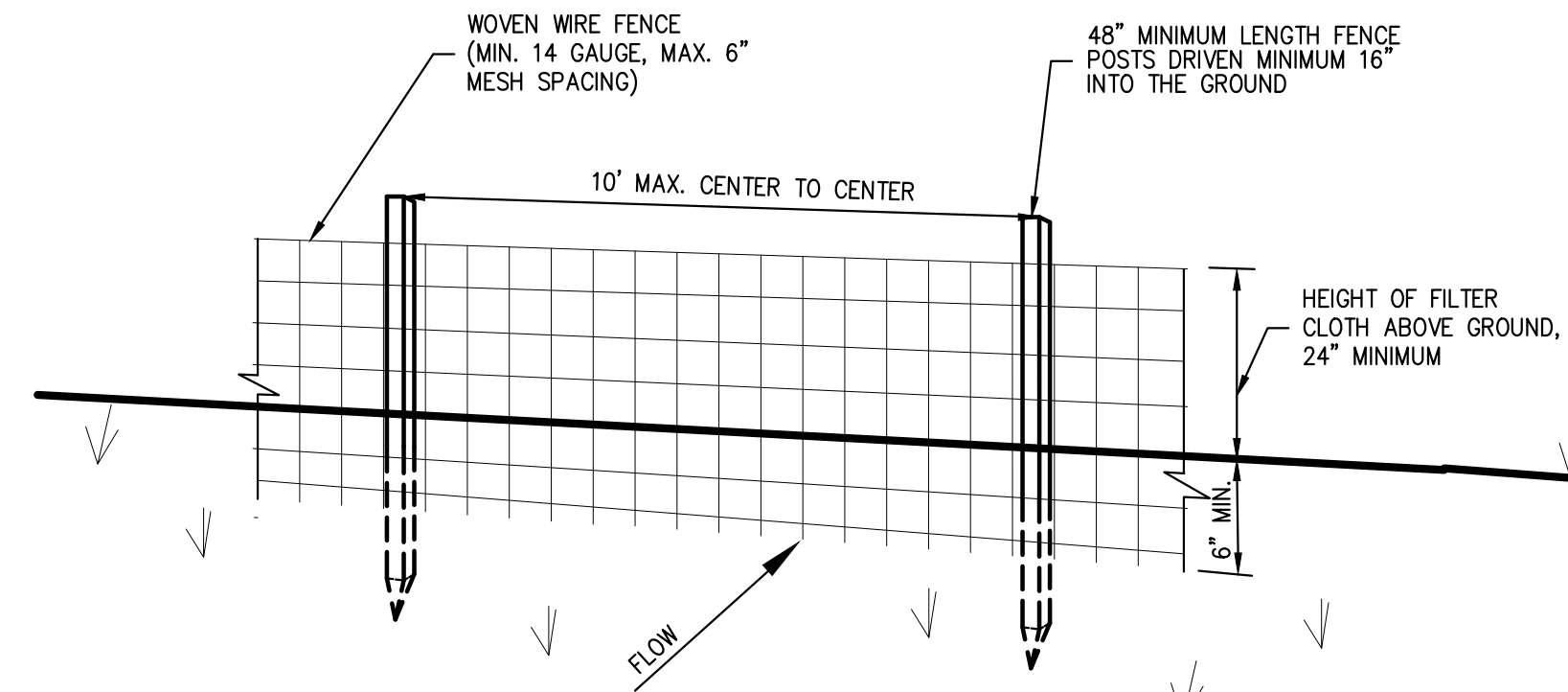
PERSPECTIVE VIEW



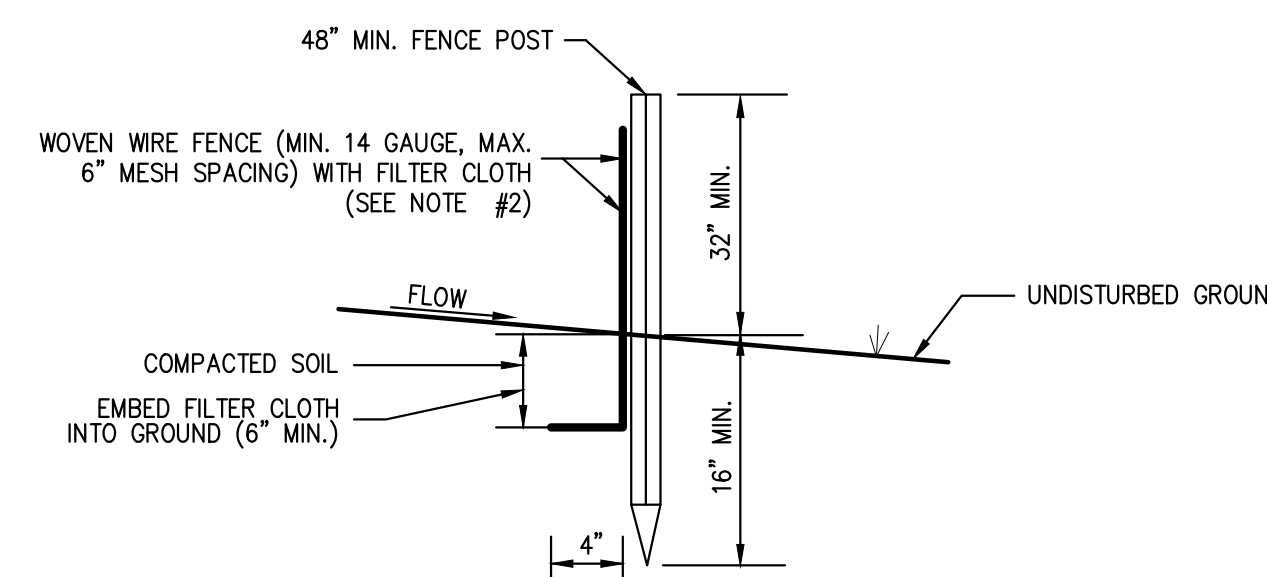
SECTION

NOTES:

1. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
2. FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLIINKA T140N, OR APPROVED EQUAL.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUAL.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



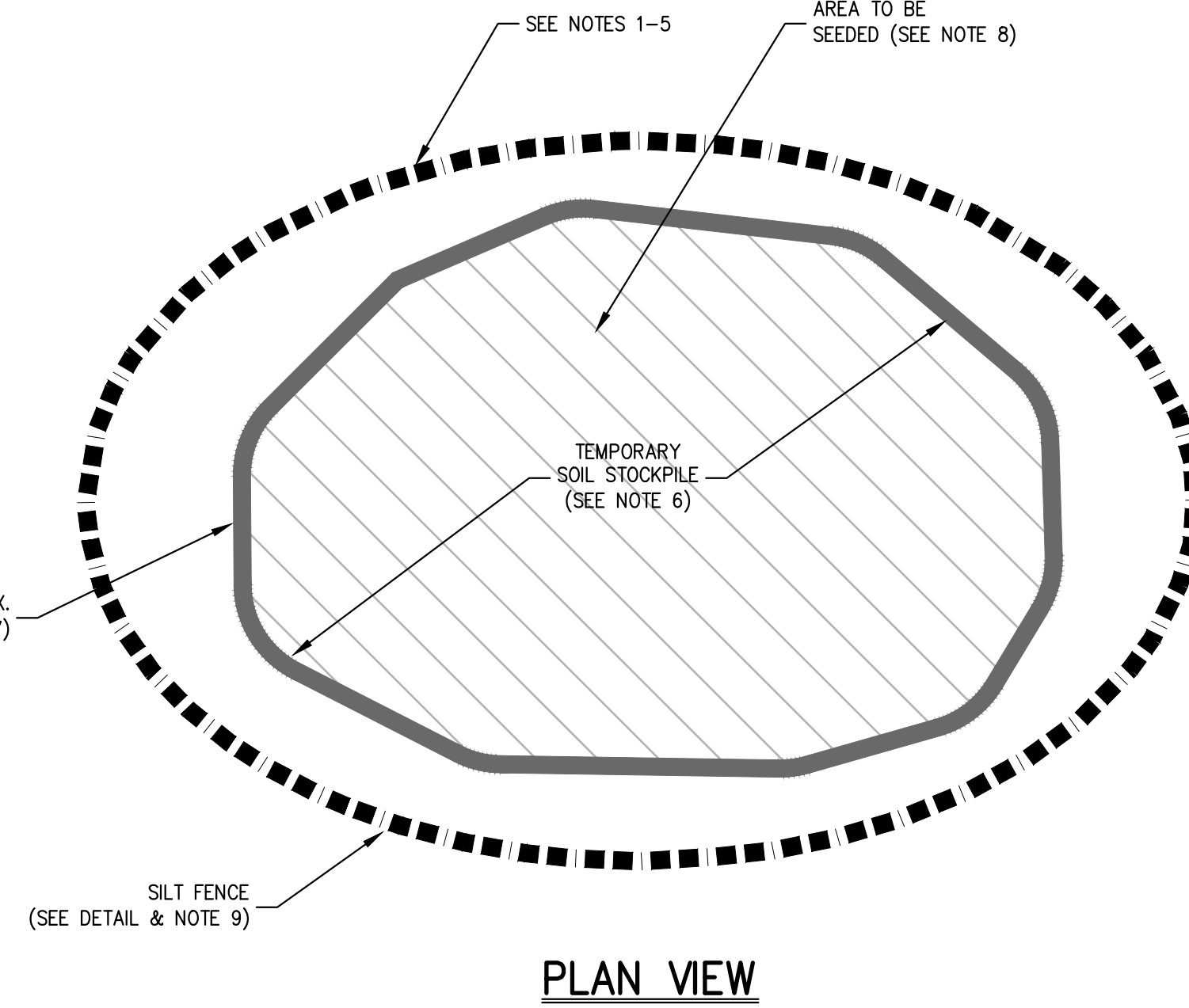
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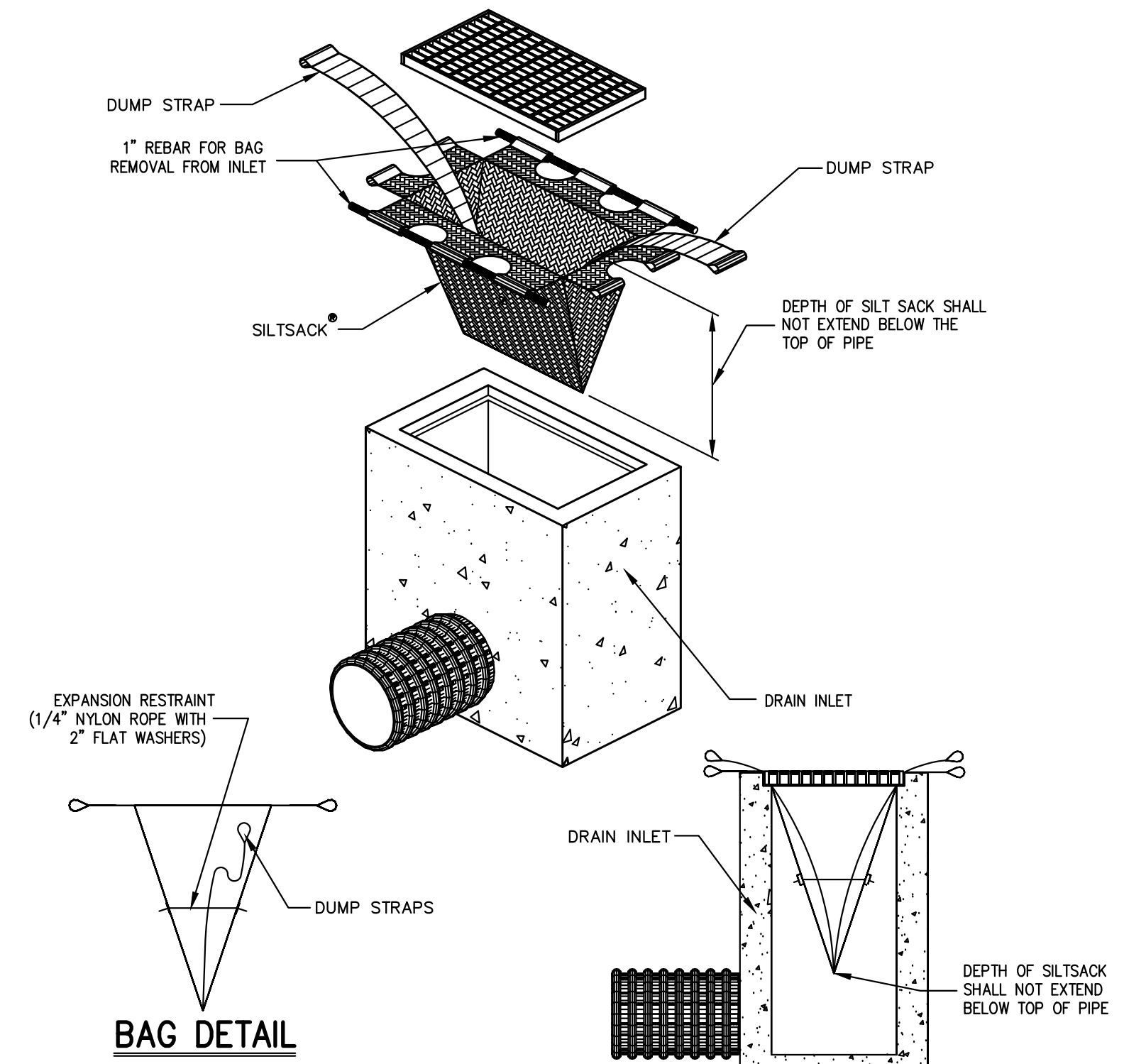
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5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
6. THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
7. ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
8. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL; WINTER RYE (CEREAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
9. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.



PLAN VIEW



BAG DETAIL

INSTALLATION DETAIL

HI-FLOW SILT SACK AS MANUFACTURED BY AC ENVIRONMENTAL OR APPROVED EQUAL® (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	260 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	25 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3785	420 FS
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-3358	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SEVE
FLOW RATE	ASTM D-4481	200 GAL/MIN/SQ FT
PERMITIVITY	ASTM D-4481	1.5 SEC. -1

SILT FENCE

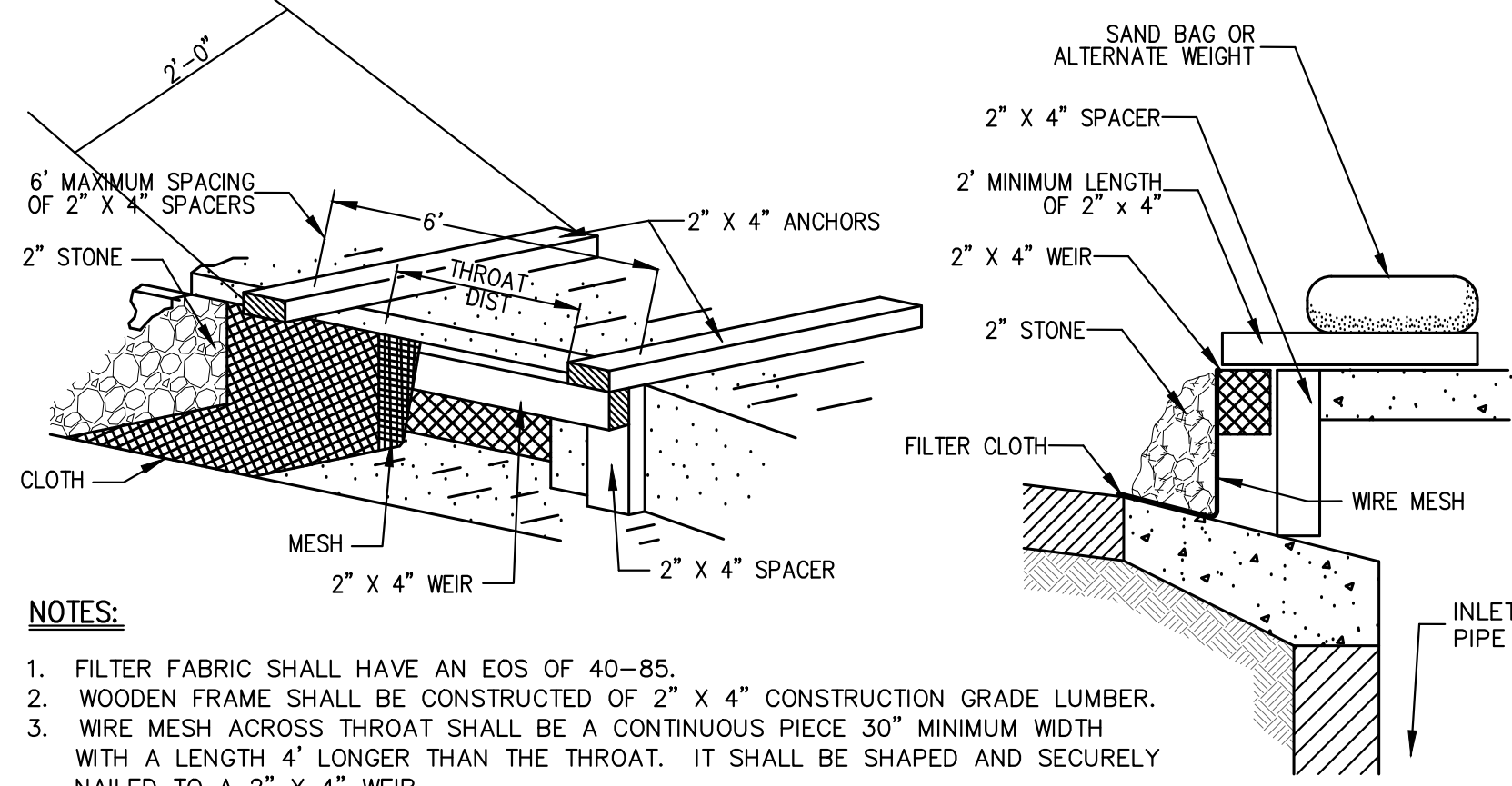
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TEMPORARY SOIL STOCKPILE WITH SILT FENCE

2

SILT SACK

3



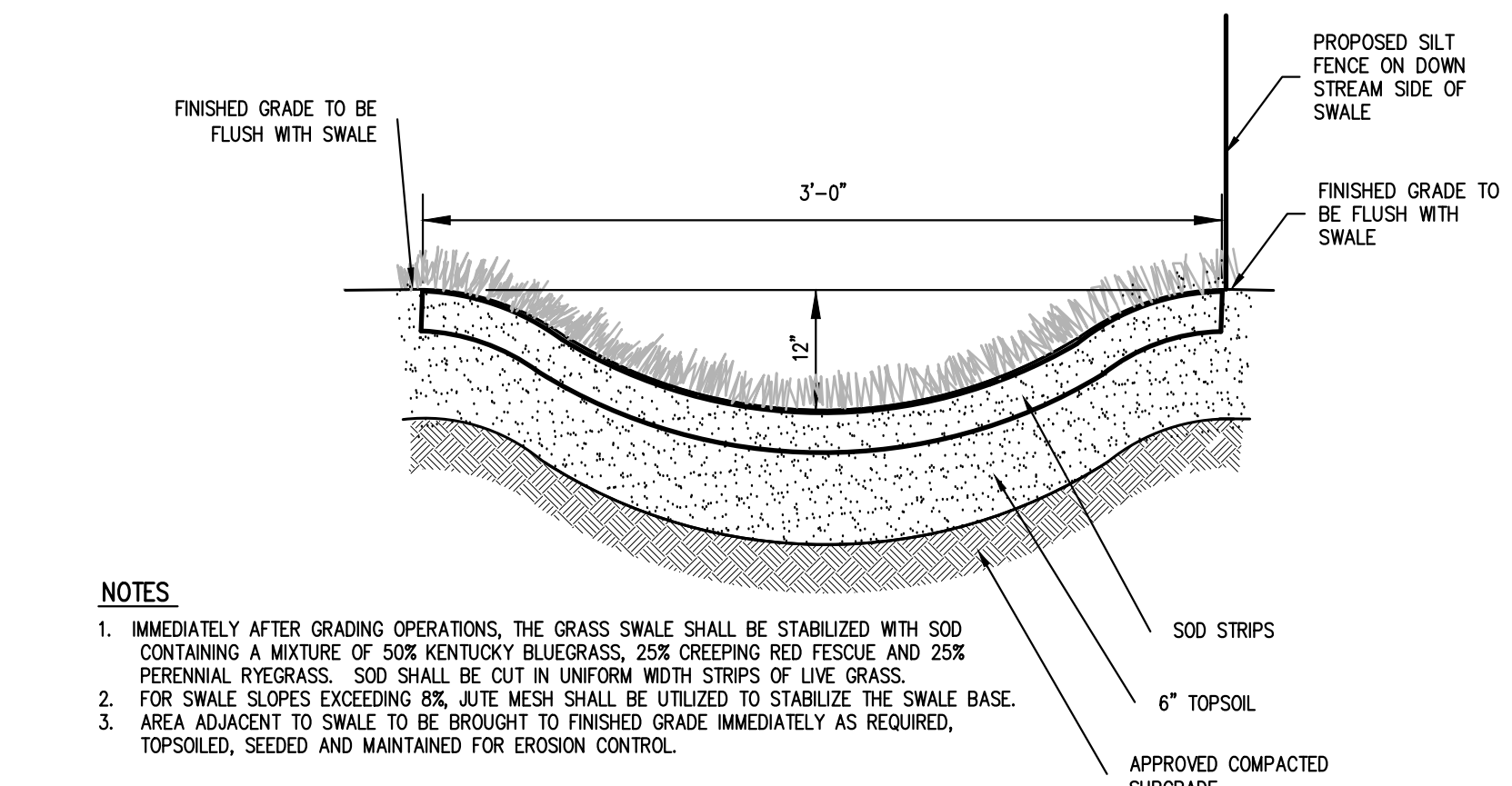
NOTES:

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" X 4" CONSTRUCTION GRADE LUMBER.
3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30" MINIMUM WIDTH WITH A LENGTH 4" LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" X 4" WEIR.
4. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" X 4" ANCHORS 2' LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.
5. INLET PROTECTION SHALL BE INSPECTED FREQUENTLY, MAINTAINED, REPAIRED OR REPLACED TO MAINTAIN EFFECTIVENESS OF INSTALLATION.
6. INLET PROTECTION SHALL BE REMOVED WHEN DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
7. IF A SIDEWALK EXISTS, THE CONTRACTOR SHALL PROVIDE PROTECTIVE FENCING (SEE DETAIL) TO PROTECT THE PUBLIC.
8. THE WEIR SHALL BE SECURELY NAILED TO 2" X 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.

MAXIMUM DRAINAGE AREA 1 ACRE

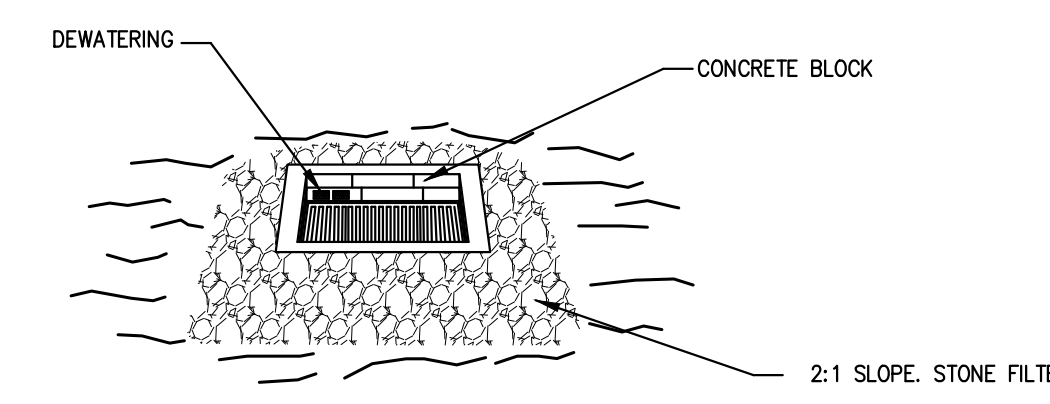
DROP CURB INLET PROTECTION STRUCTURE

4

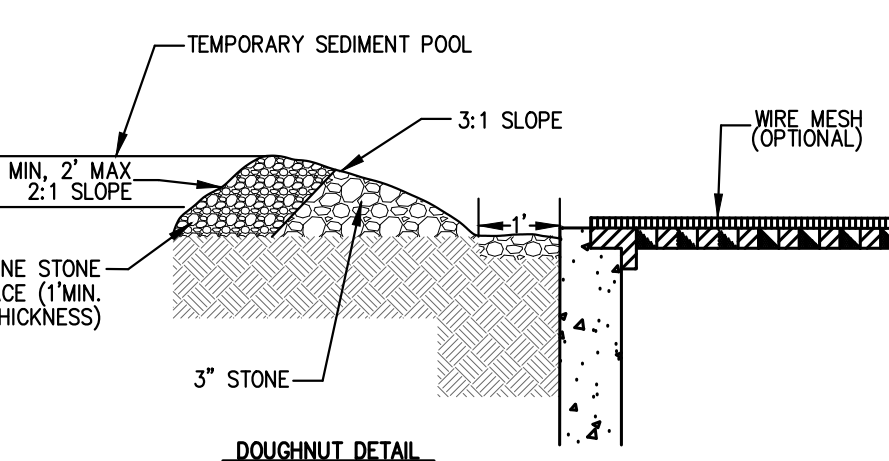


NOTES:

1. IMMEDIATELY AFTER GRADING OPERATIONS, THE GRASS SWALE SHALL BE STABILIZED WITH SOD CONTAINING A MIXTURE OF 50% KENTUCKY BLUEGRASS, 25% CREEPING RED FESCUE AND 25% PERENNIAL RYEGRASS. SOD SHALL BE CUT IN UNIFORM WIDTH STRIPS OF LIVE GRASS.
2. FOR SWALE SLOPES EXCEEDING 1:1 THE MESH SHALL BE UTILIZED TO STABILIZE THE SWALE BASE.
3. AREA ADJACENT TO SWALE TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED, TOPSOILED, SEEDED AND MAINTAINED FOR EROSION CONTROL.



STONE & BLOCK DETAIL



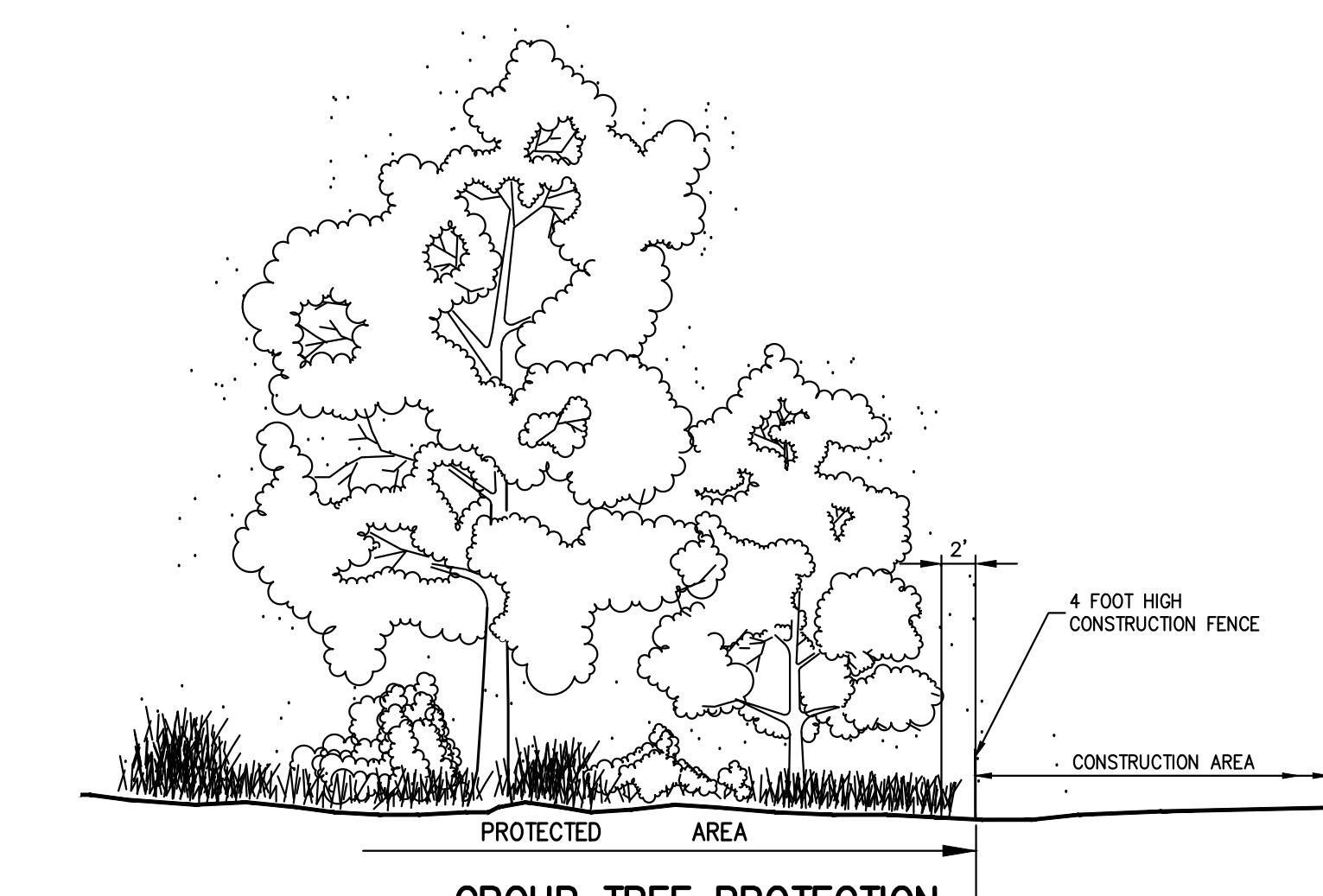
DOUGHNUT DETAIL

NOTES:

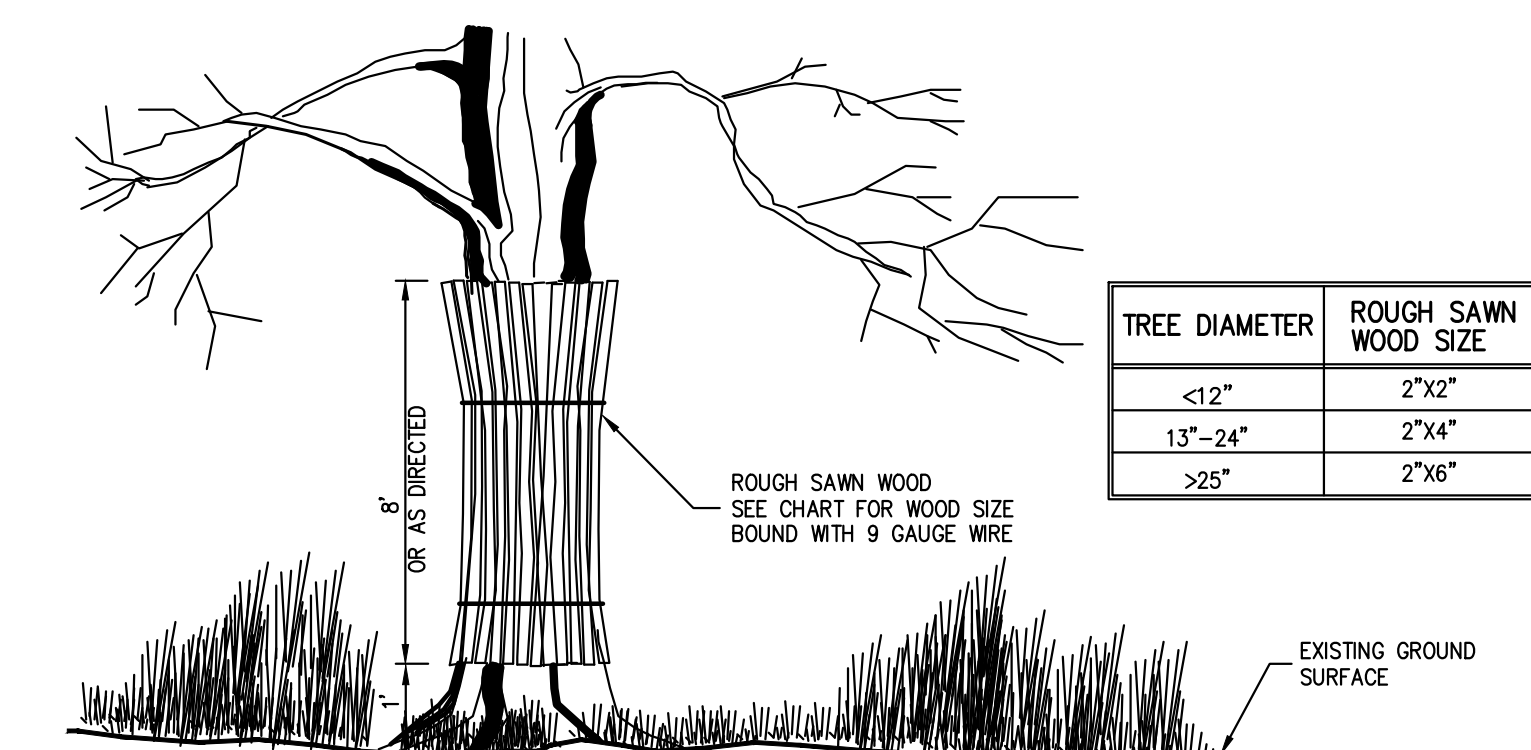
1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
3. USE CLEAN STONE 1/2" TO 3/4" IN DIAMETER PLACED 2" BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3" STONE AS SHOWN ON THE DRAWINGS.

STONE & BLOCK DROP INLET PROTECTION

6



GROUP TREE PROTECTION



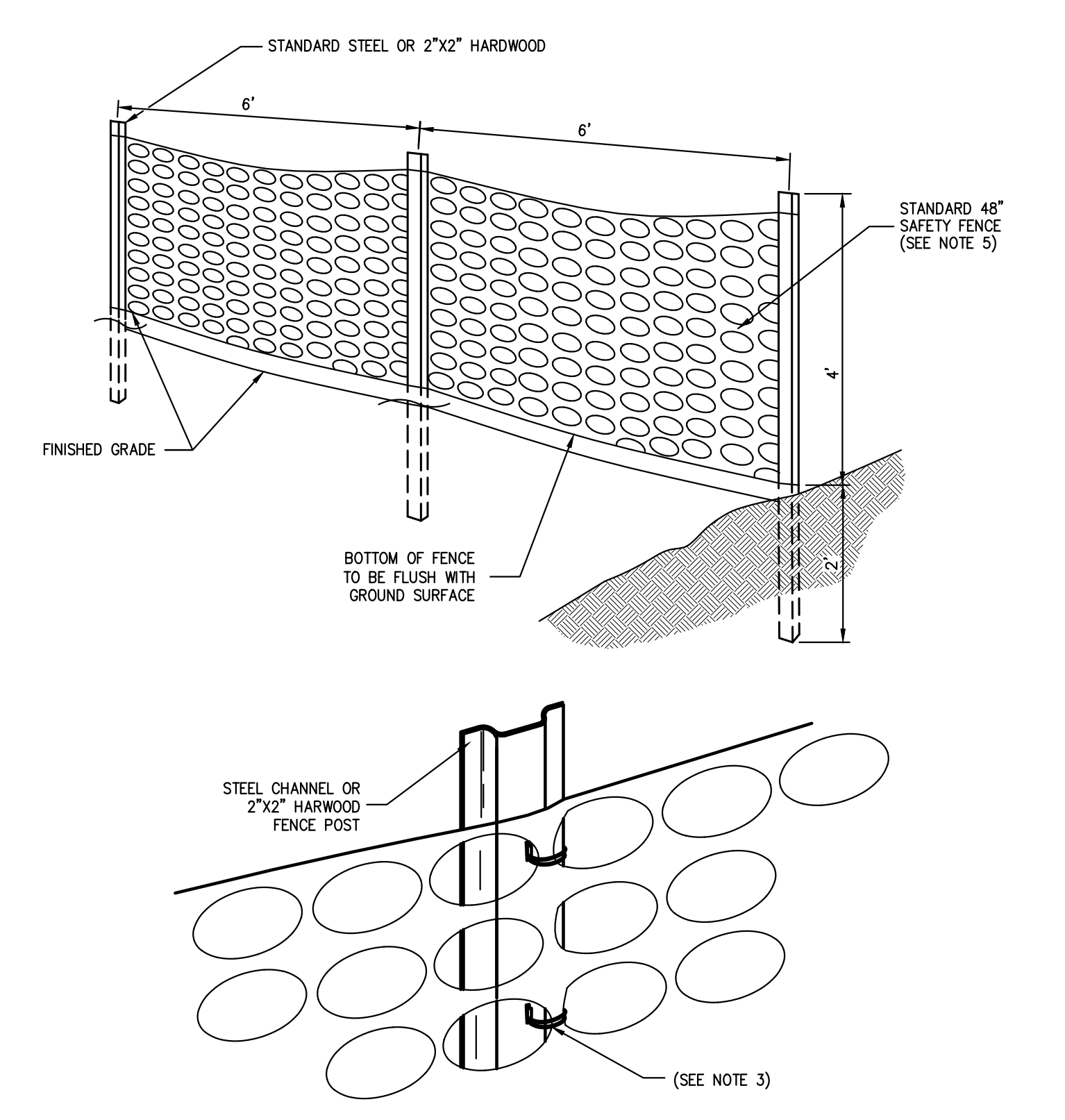
INDIVIDUAL TREE PROTECTION (ARMOR TYPE)

TREE DIAMETER	ROUGH SAWN WOOD SIZE
<12"	2"x2"
13"-24"	2"x4"
>25"	2"x6"

ROUGH SAWN WOOD SIZE SEE CHART FOR WOOD SIZE BOUND WITH 9 GAUGE WIRE

TREE PROTECTION

7



NOTES:

1. SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
2. DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SHAGGING OF FENCE MATERIAL.
4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
5. PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADRI ENTERPRISES, INC. OR APPROVED EQUAL.
6. REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.

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CONSTRUCTION FENCE

8

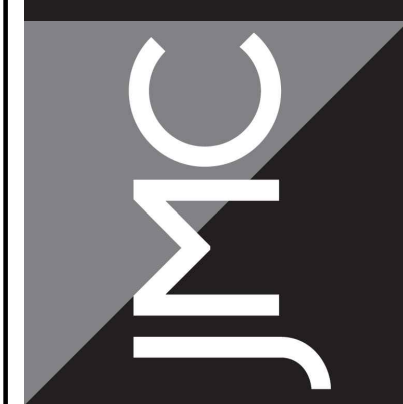
TEMPORARY DIVERSION SWALE

5

REV	DATE	DESCRIPTION
1	07/06/2014 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
2	03/20/2014 DC	SUBMISSION TO PLANNING BOARD
3	11/04/2015 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
4	02/24/2016 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
5	05/12/2016 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
6	07/12/2016 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
7	08/31/2018 DC	PLANNING BOARD SUBMITTAL RESOLUTION CONDITIONS

AVS FOODS, INC. (DBA POPEYES)
135 TIMBER LAKE COURT
YORKTOWN HEIGHTS, NY 10598
UB YORKTOWN, LLC
321 RAILROAD AVENUE
GREENWICH, CT 06830

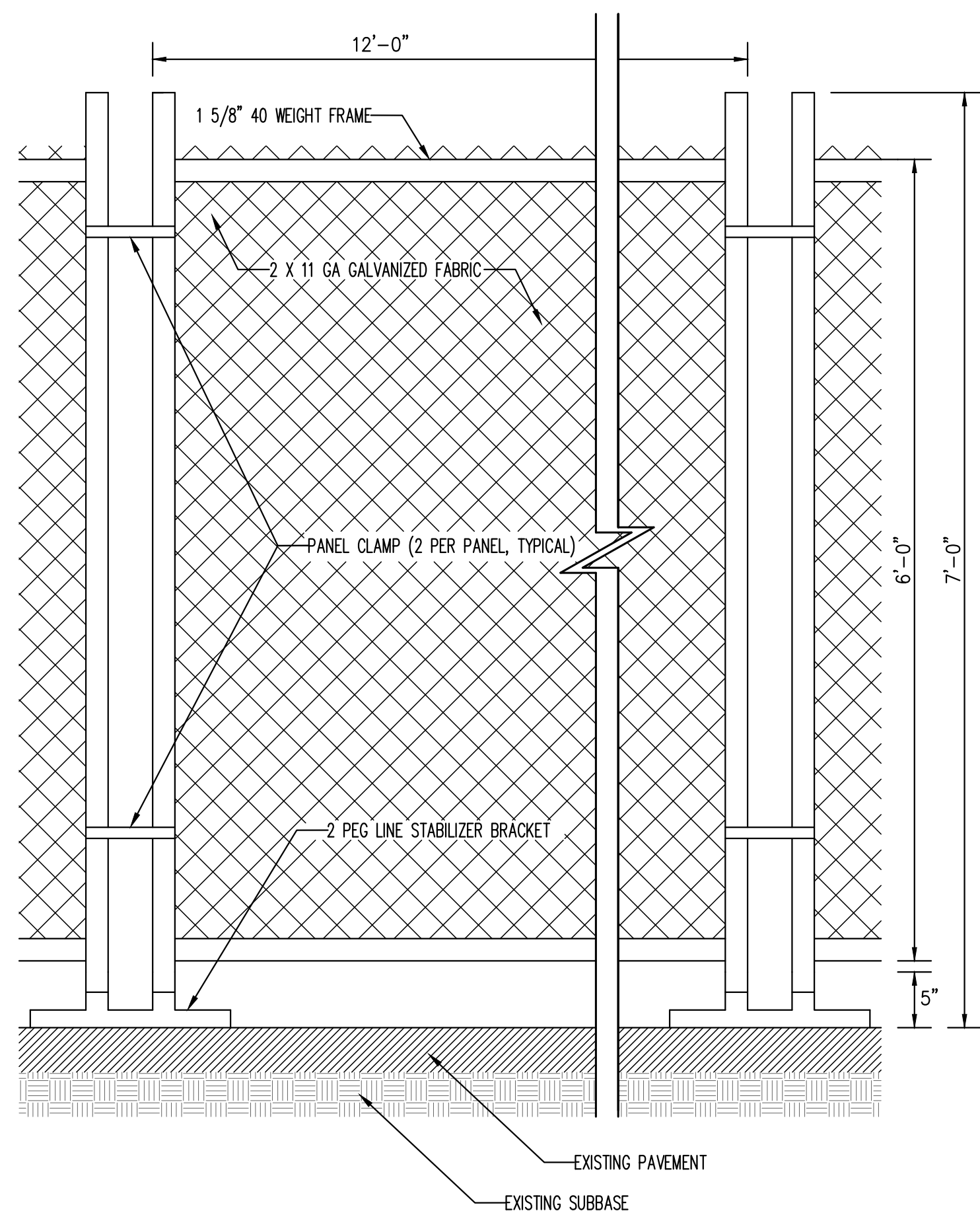
JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC
JMC Site Development Consultants, LLC
John Mayer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcplic.com



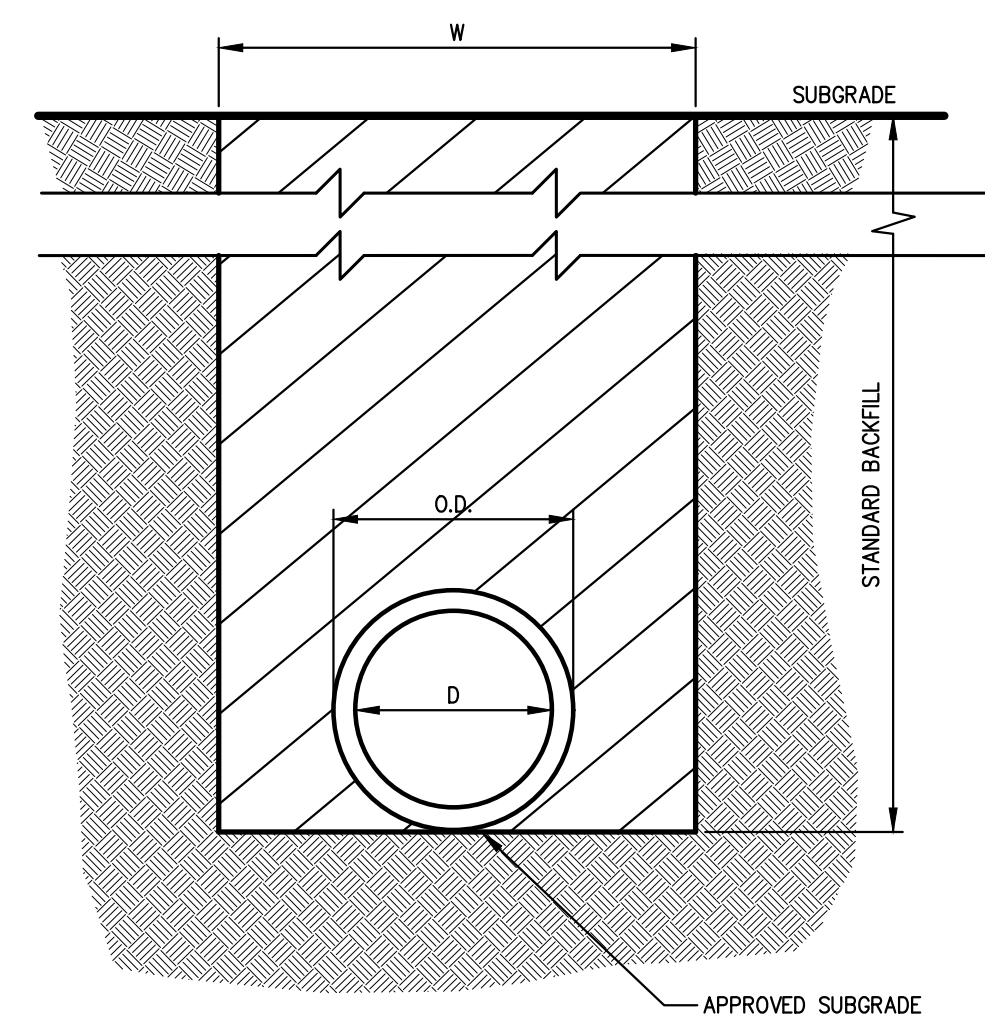
CONSTRUCTION DETAILS
STAPLES PLAZA REDEVELOPMENT
3303 CROMFORD ROAD
YORKTOWN HEIGHTS, NY 10598

DATE	BMS	APPROVED	RA
10/08/2014	N.T.S.		
12148			
SP-10			

SP-10



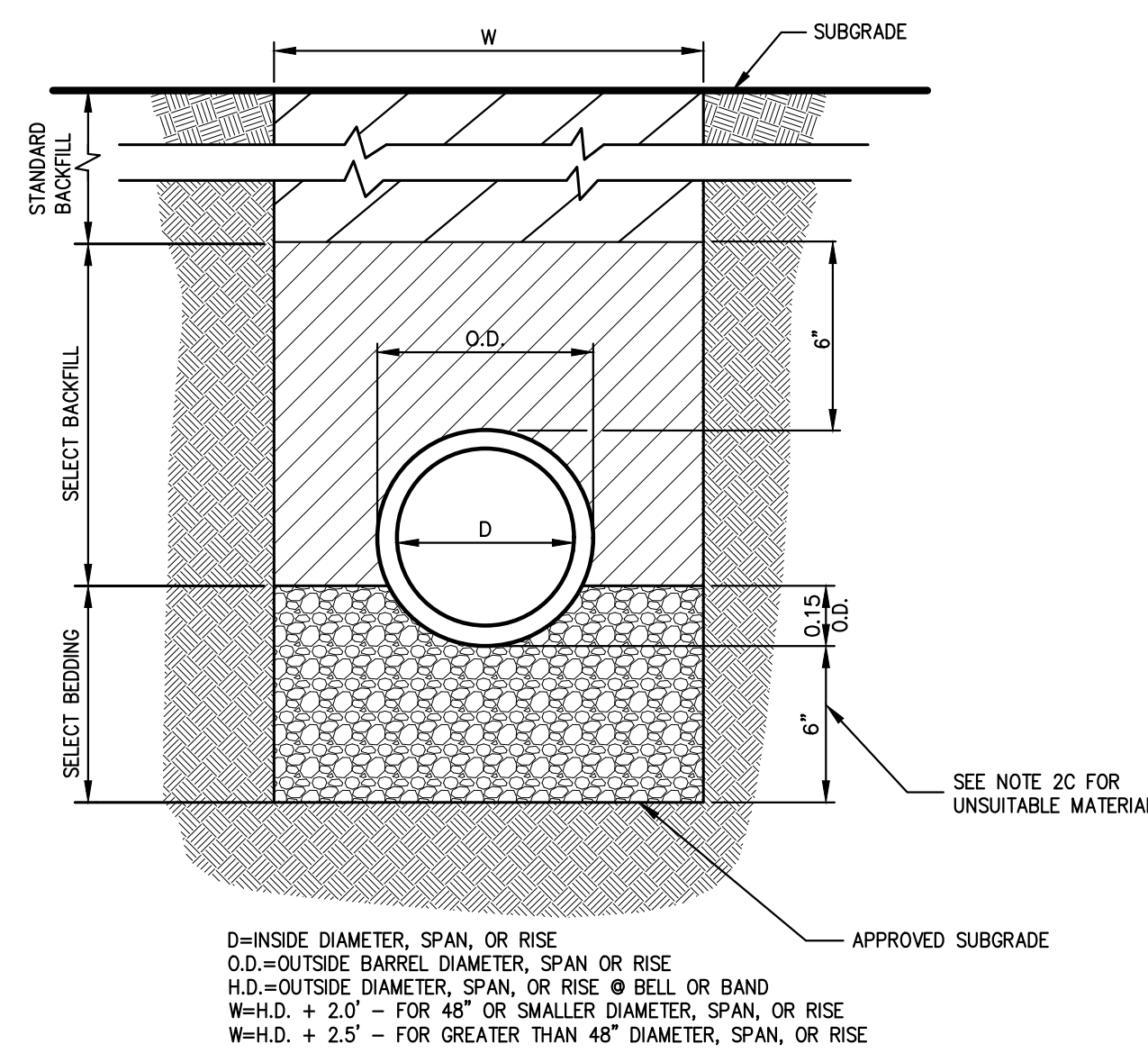
NOTE:
STABILIZER BRACKET TO BE HOT DIPPED GALVANIZED STEEL PIPE.



D=INSIDE DIAMETER, SPAN, OR RISE
O.D.=OUTSIDE DIAMETER, SPAN OR RISE
H.D.=OUTSIDE DIAMETER, SPAN, OR RISE
W.H.D. + 2.0' - FOR 48" OR SMALLER DIAMETER, SPAN, OR RISE
W.H.D. + 2.5' - FOR GREATER THAN 48" DIAMETER, SPAN, OR RISE

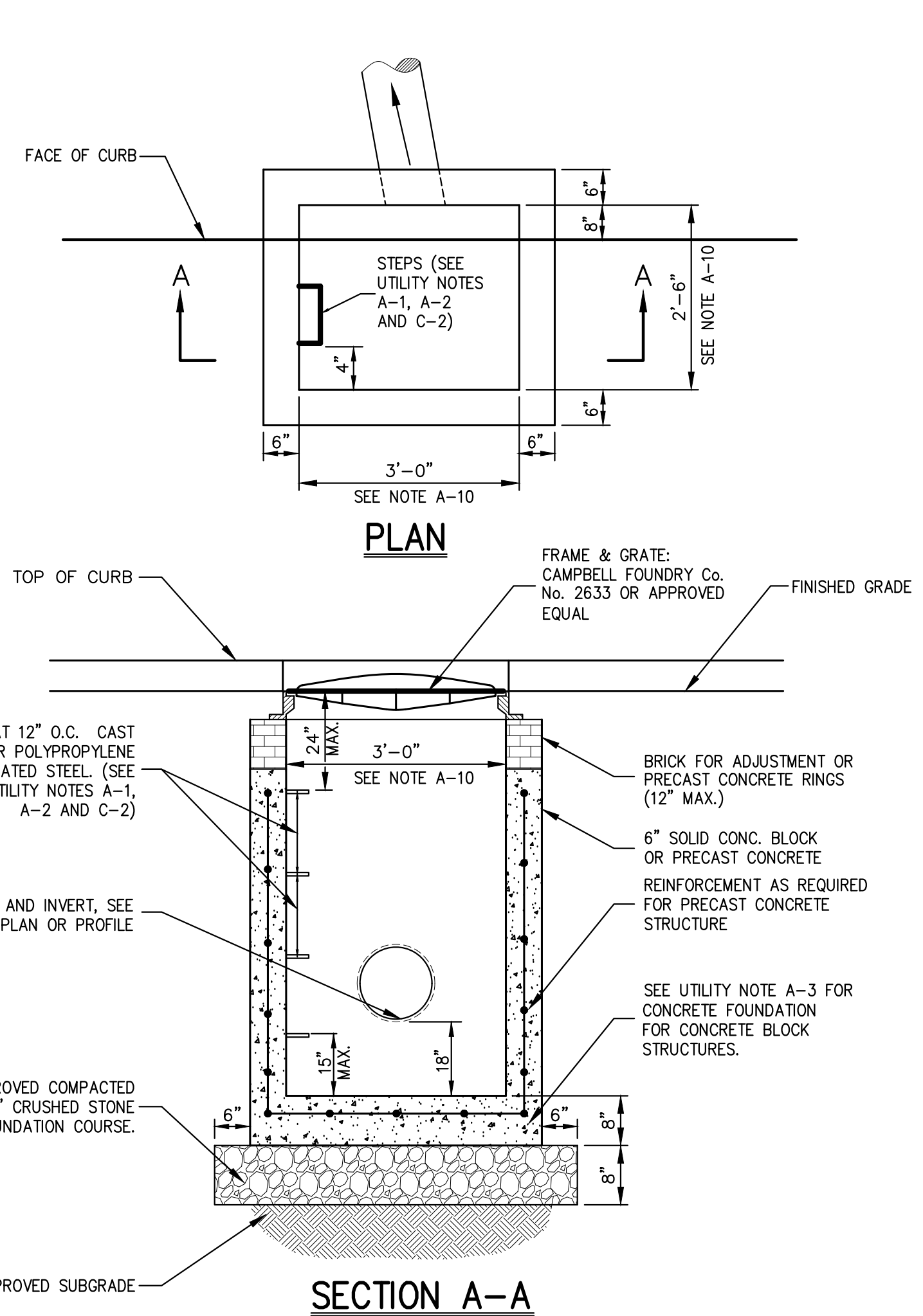
NOTES:

- IN FILL AREAS, EMBANKMENTS SHALL BE CONSTRUCTED TO A MAXIMUM OF 2 FEET ABOVE TOP OF PIPE BEFORE EXCAVATING TRENCH.
- FOR CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) INSTALLATION AND POLYVINYL CHLORIDE (PVC) PIPE AND CONDUIT INSTALLATION, USE TYPE II TRENCH.
- BACKFILL FOR PIPE SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES, UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [2.0] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.



NOTES:

- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
 - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
 - 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
- TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
 - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
 - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
 - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.
- FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
- BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES, UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN [2.0] MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.



NOTE:
1. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING [SP-12]

TEMPORARY CHAIN LINK CONSTRUCTION FENCE

9

TYPE I TRENCH (FLAT BOTTOM)

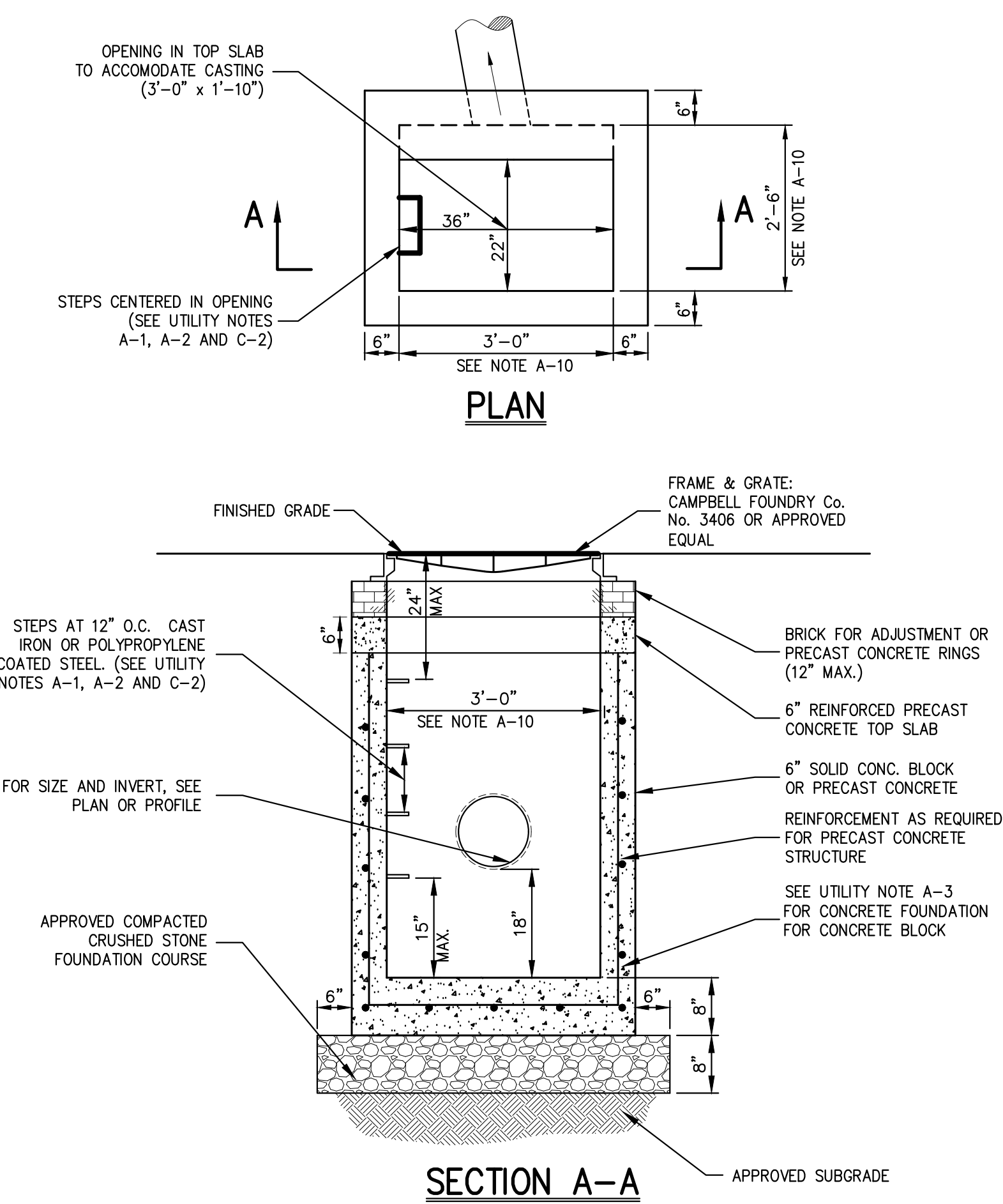
10

TYPE II TRENCH

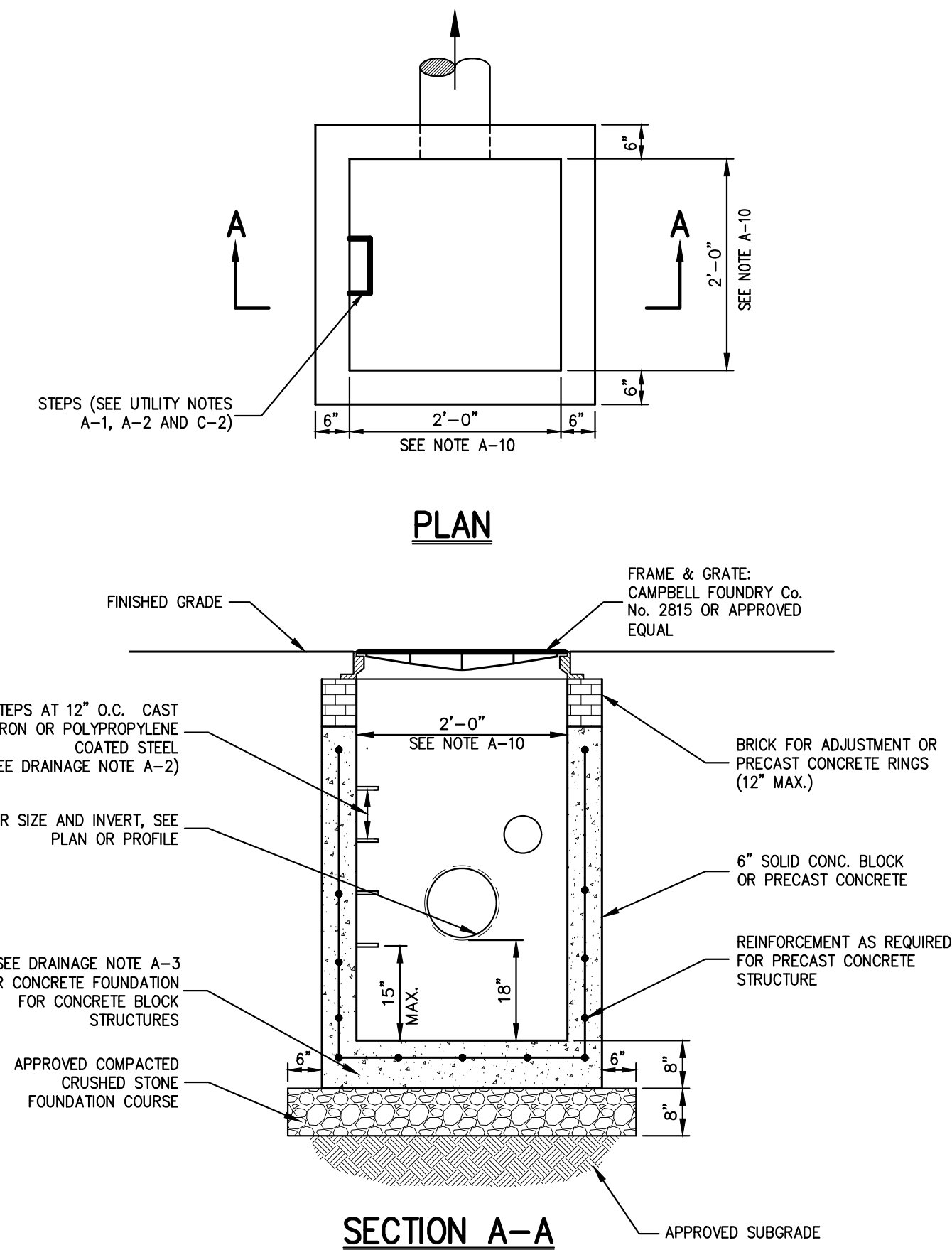
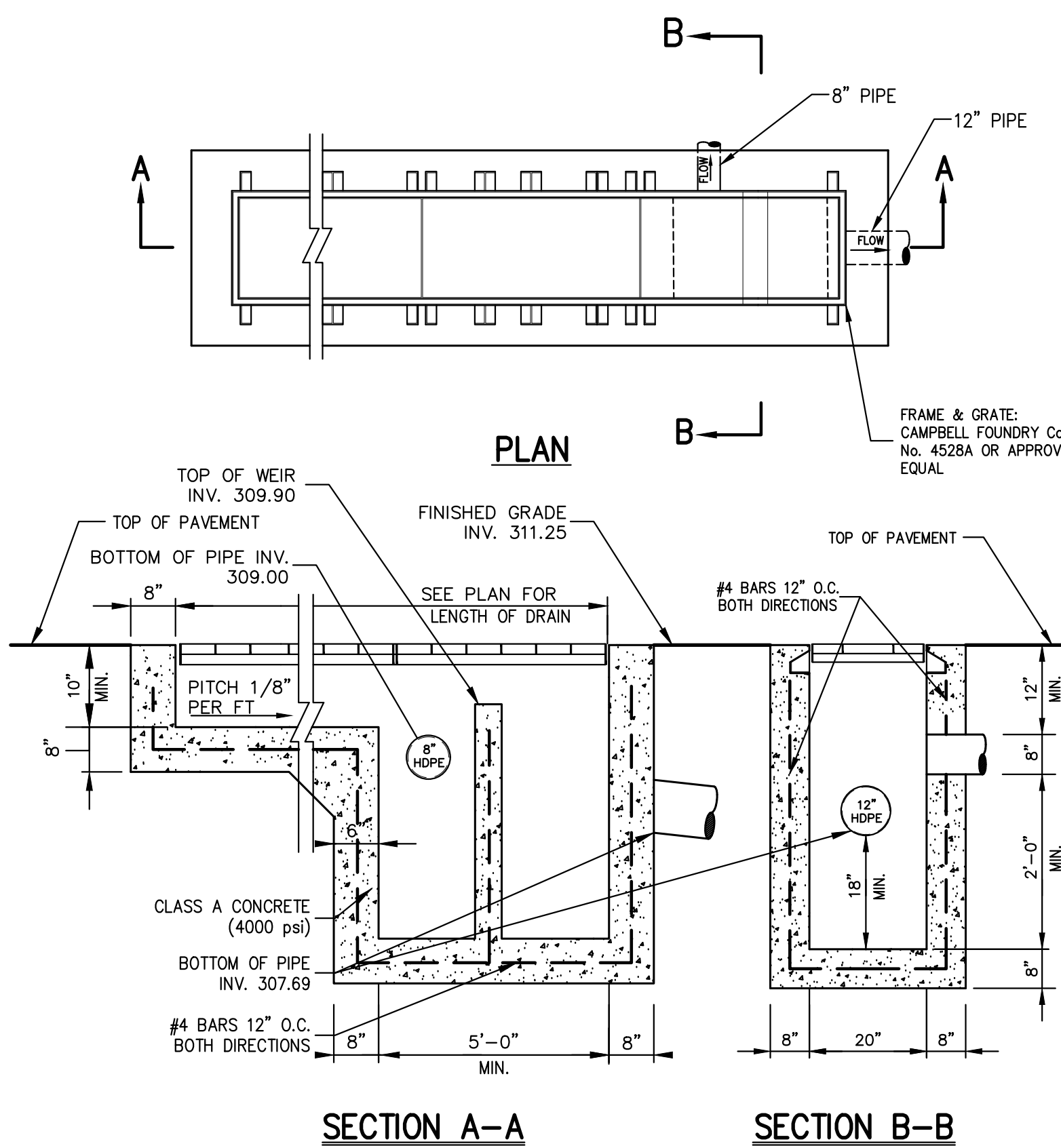
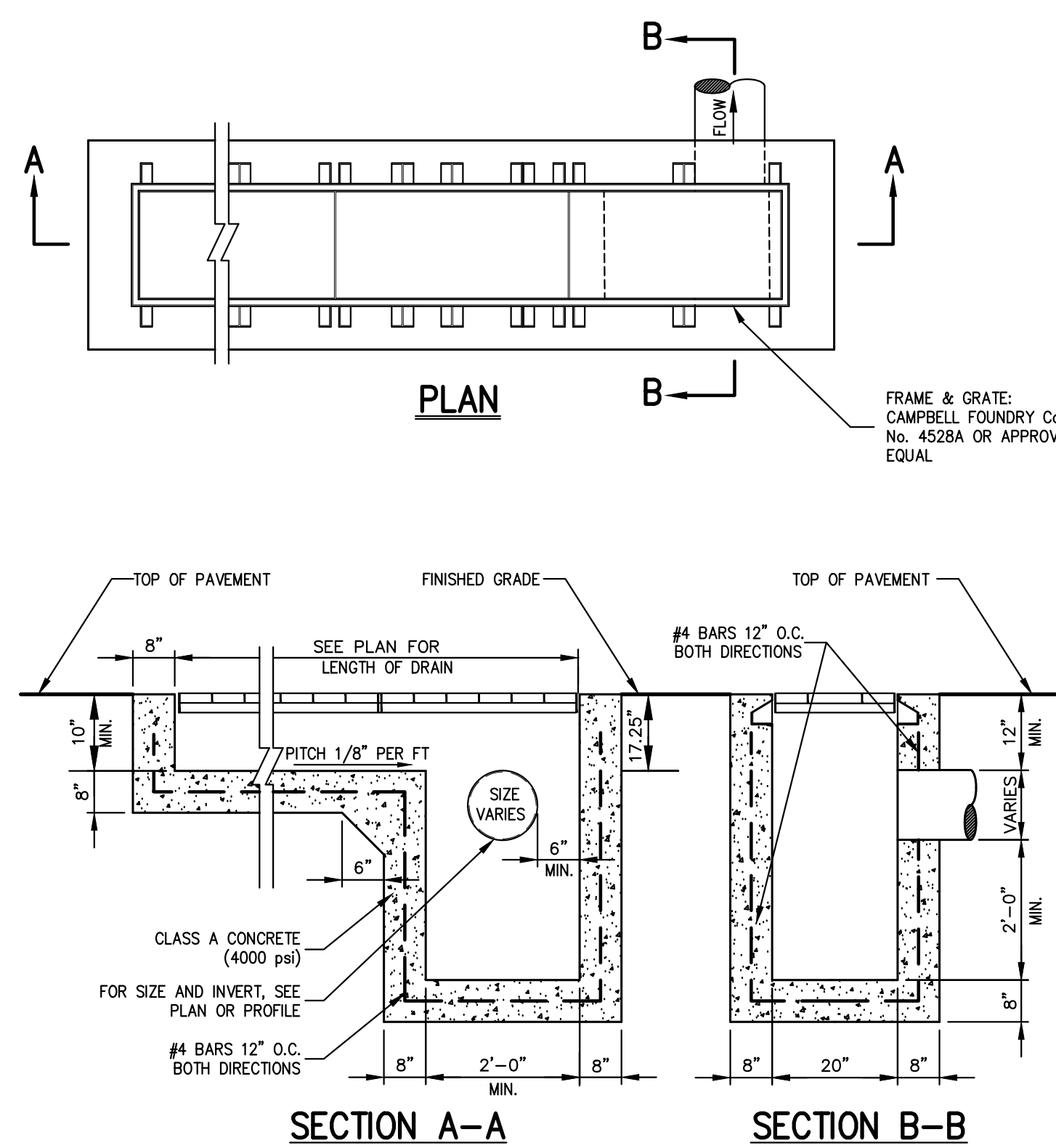
11

DRAIN INLET (TYPE CI)

12



NOTE:
1. REINFORCE PRECAST CONCRETE TOP SLAB AND REINFORCE PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
2. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING [SP-11]



NOTE:
1. SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING [SP-12]

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

DRAIN INLET (TYPE DI)

13

TRENCH DRAIN

14

MODIFIED TRENCH DRAIN

15

LAWN INLET (TYPE LI)

16

NO	REVISION	DATE
1.	REVISED PER TOWN BOARD SPECIAL PERMIT	07/06/2014 DC
2.	SUBMISSION TO PLANNING BOARD	03/20/2014 DC
3.	NYDEP SWPP SUBMISSION	11/04/2015 DC
4.	REVISED PER TOWN BOARD SPECIAL PERMIT	03/24/2016 DC
5.	REVISED PER TOWN BOARD SPECIAL PERMIT	05/12/2016 DC
6.	REVISED PER APPROVAL RESOLUTION CONDITIONS	07/10/2017 DC
7.	PLANNING BOARD SUBMISSION	08/31/2018 BMS

AVS FOODS, INC. (DBA POPEYES)
135 TIMBER LAKE COURT
YORKTOWN HEIGHTS, NY 10598

JMC YORKTOWN, LLC
321 RAILROAD AVENUE
GREENWICH, CT 06830

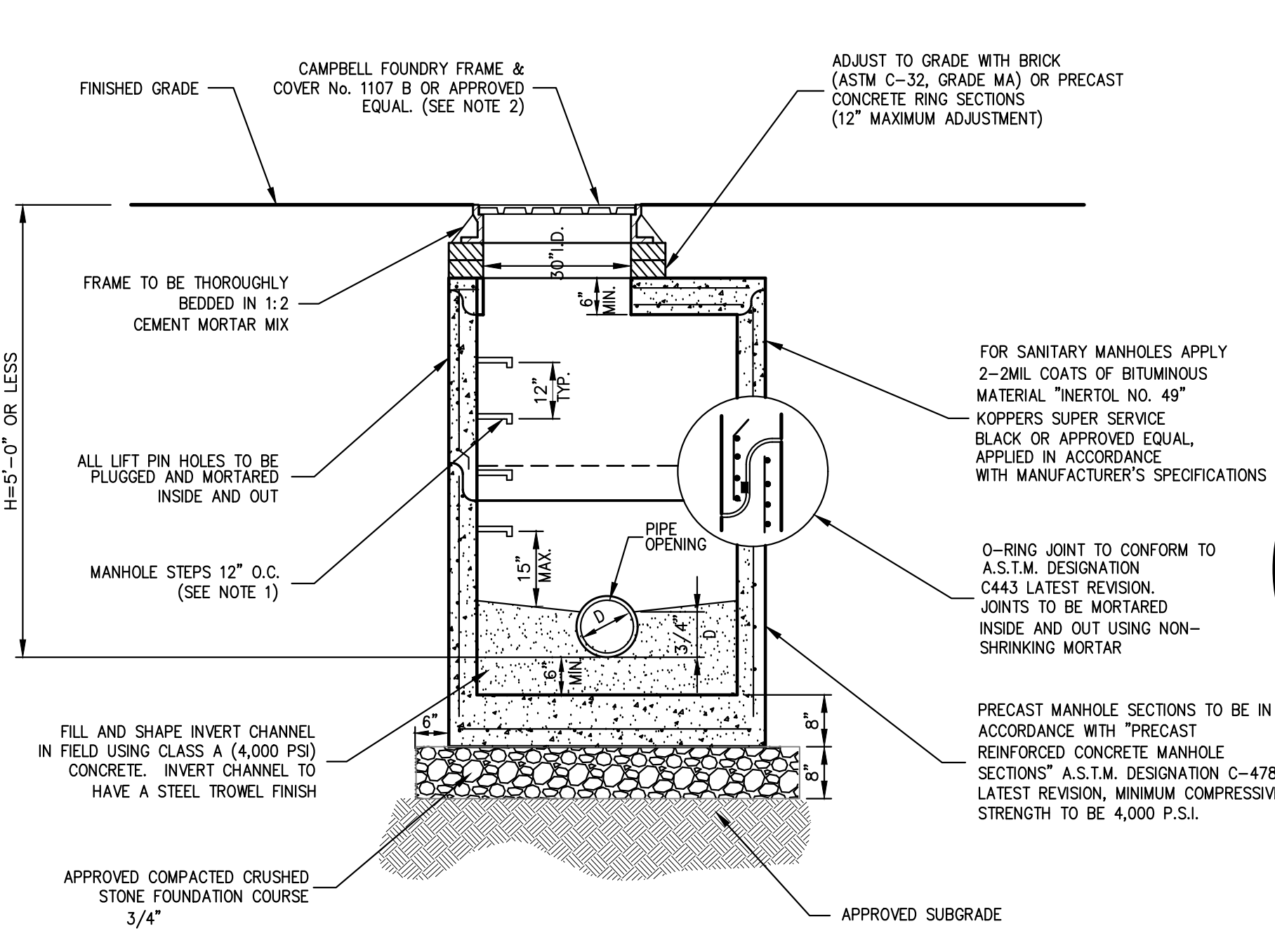
JMC Planning, Engineering, Landscape
Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Mayer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
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JMC

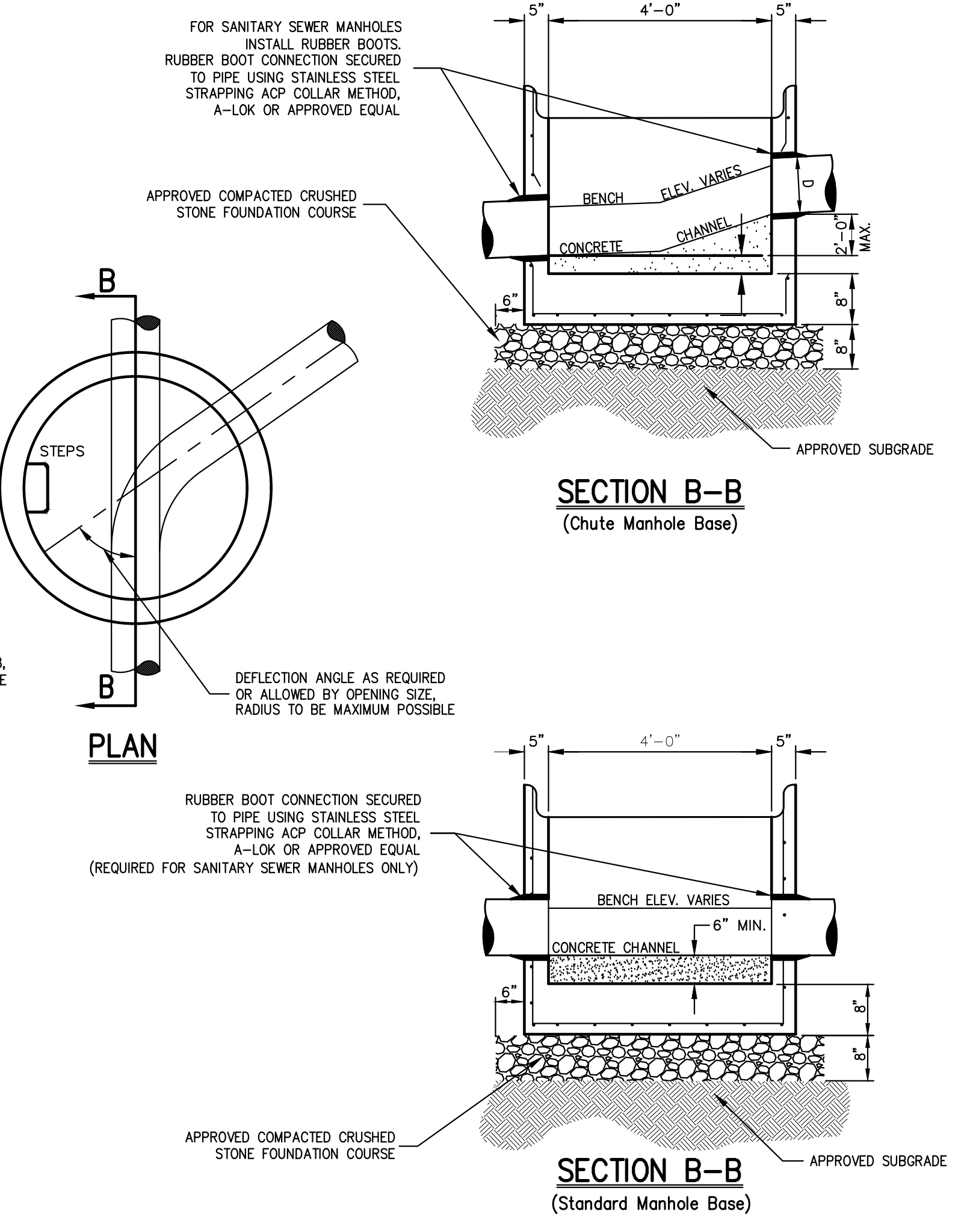
CONSTRUCTION DETAILS
STAPLES PLAZA REDEVELOPMENT
3303 CROMFORD ROAD
YORKTOWN HEIGHTS, NY 10598

DATE:	BMS	APPROVED:	RA
SCALE:	N.T.S.		
DATE:	10/08/2014		
PROJECT NO:	1214B		
DWG. SHEET NO.:	SP-11	TAB.	LS
DRAWING NO.:			

SP-11



- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NEENAH No. R-1981-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
 - UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.
 - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
 - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON DRAWING [XXXX].



NOTES PERTAINING TO DRAIN INLETS

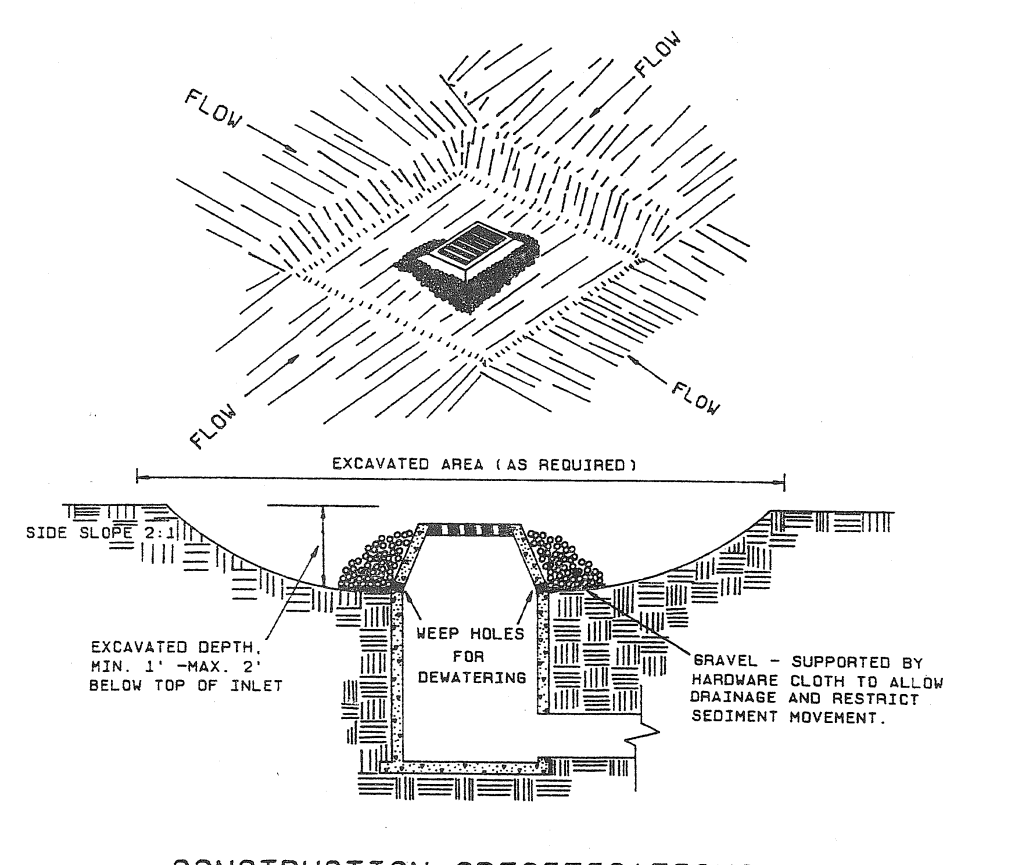
- STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A"(4000 psi) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIKKA-SET AS MANUFACTURED BY THE SIKKA CHEMICAL CORP.
- FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

NOTES PERTAINING TO MANHOLES

- PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES

- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.



CONSTRUCTION SPECIFICATIONS

- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
- WEEP HOLES SHALL BE PROTECTED BY STONE.
- PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPAIR OR REPLACE INLET PROTECTION TO MAINTAIN EFFECTIVENESS OF THE INSTALLATION.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES FULL BASIN WITH STABLE SOIL TO FINAL GRADE. COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

MANHOLE (TYPE A)
(H < 5'-0")

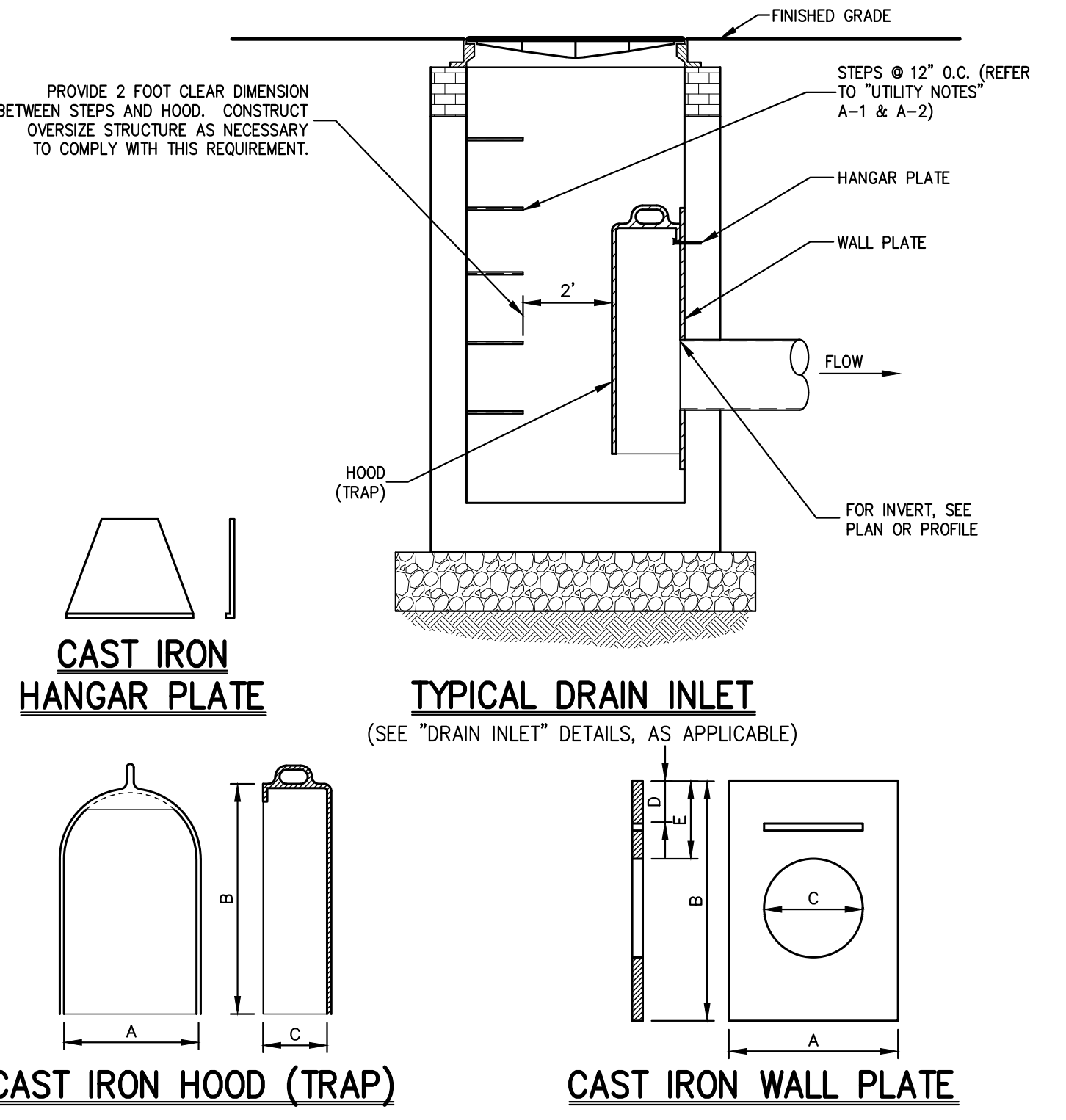
17

UTILITY NOTES

18

EXCAVATED DROP INLET PROTECTION

19



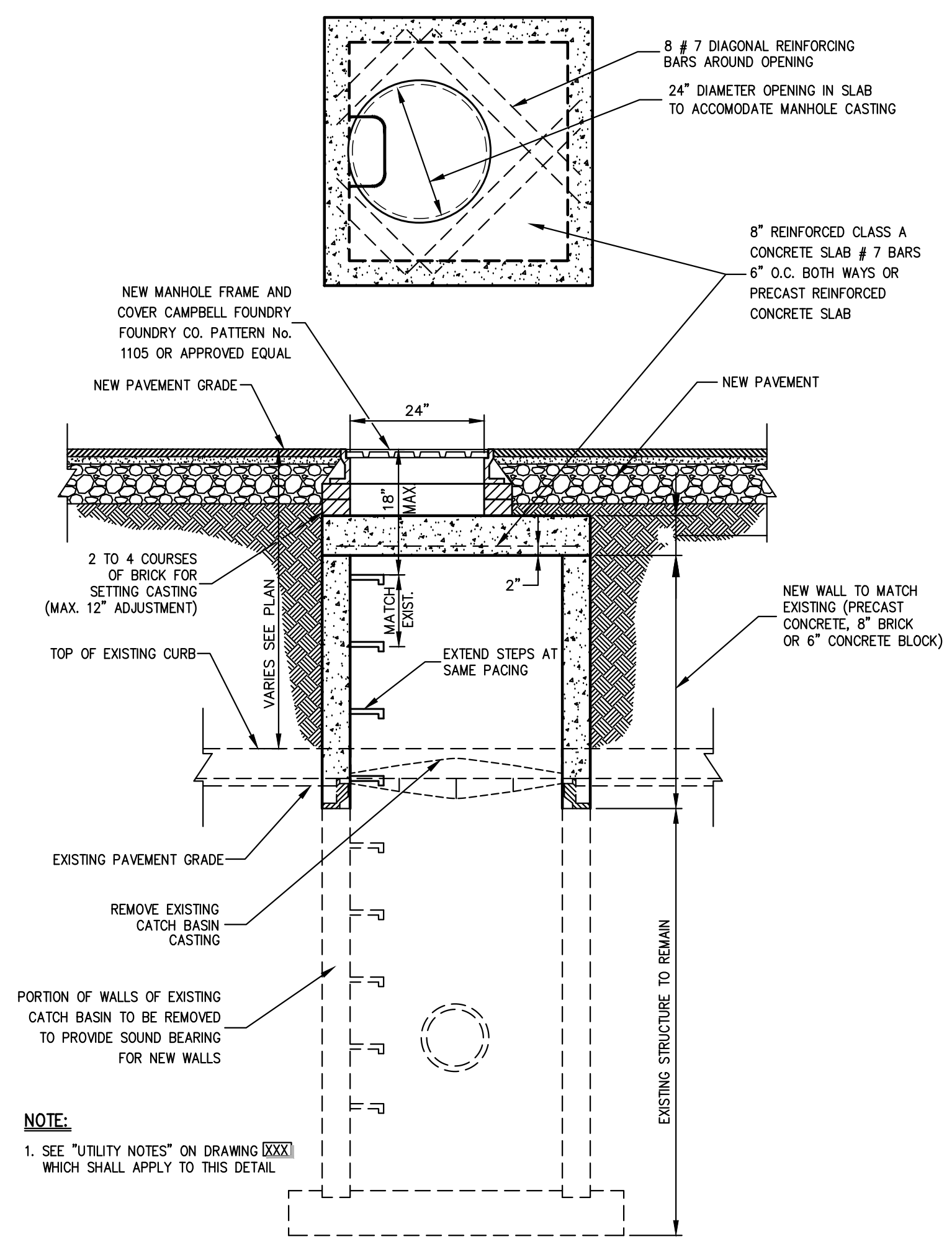
CAST IRON HOOD (TRAP)

PATTERN NUMBER	A	B	C	PIPE SIZE
2560	9 1/2	16	4 3/4	6
2561	11 1/2	20 1/2	5 3/8	8
2562	13 1/4	23 1/2	6 1/2	10
2563	15 1/4	26	7 1/2	12
2564	18	27	8	15
2565	20 1/2	27	8 1/2	18
2566	25 1/4	30	11 1/4	21

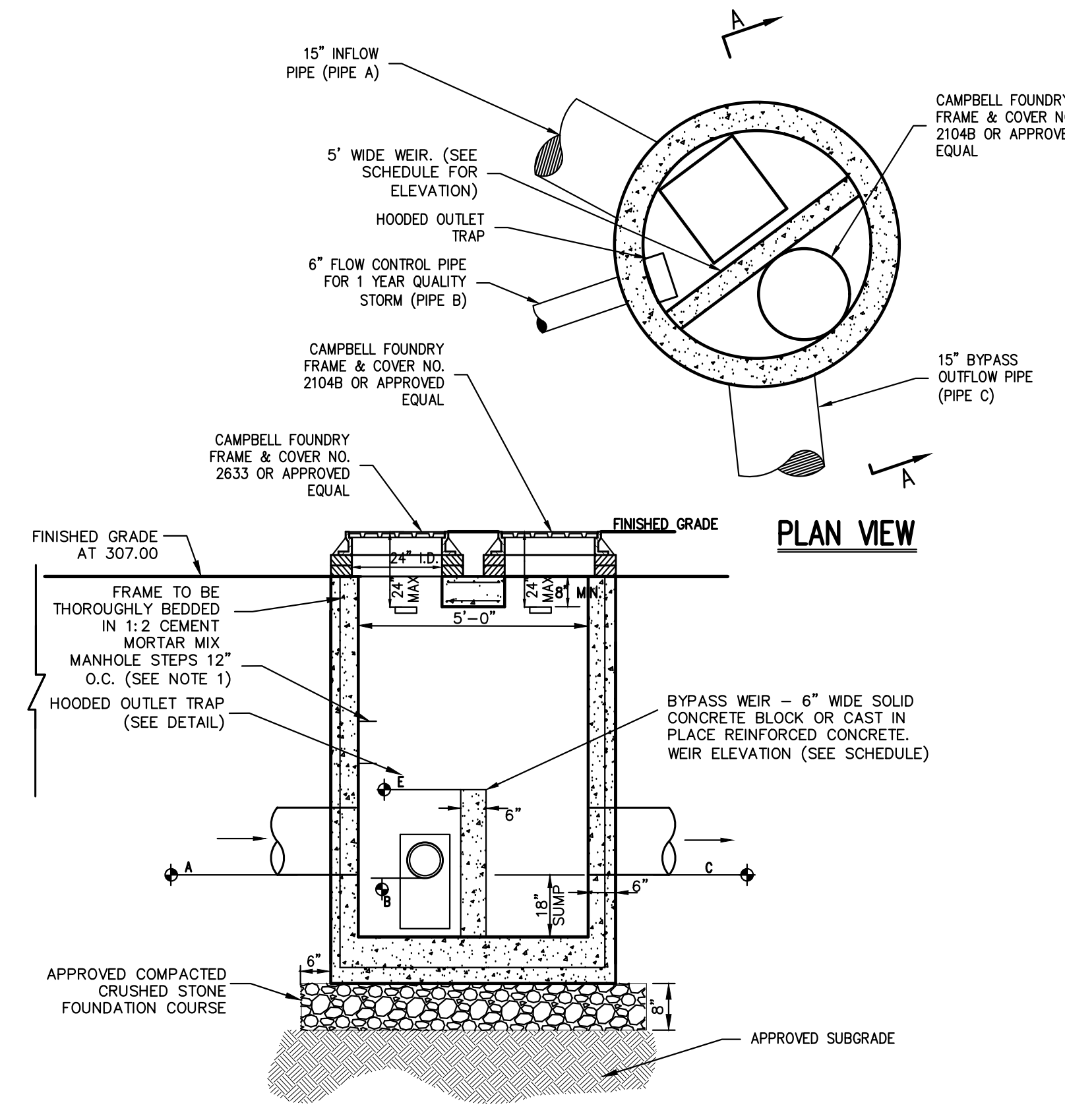
CAST IRON WALL PLATE

PATTERN NUMBER	A	B	C	D	PIPE SIZE	
2560	210	13	22	6	3/2	6
2561	210	13	22	10	3/2	8
2562	210	15	23	12 1/2	3/2	10
2563	210	22	33	15	6	12
2564	210	22	30	19 1/2	3/2	15
2565	210	23 1/2	35 1/2	21	5	18
2566	210	30 1/2	42 1/2	24	6	21

- NOTES:**
- PATTERN NUMBERS SHOWN REFER TO CAMPBELL FOUNDRY COMPANY.
 - CAST IRON HOOD (TRAP) SHALL BE FURNISHED WITH WALL PLATE AND HANGAR PLATE.



- NOTE:**
- SEE "UTILITY NOTES" ON DRAWING [XXXX] WHICH SHALL APPLY TO THIS DETAIL.



SCHEDULE OF INVERTS AND ELEVATIONS

BYPASS STRUCTURE	A		B		C		E WEIR ELEVATION
	SIZE	INVERT	SIZE	INVERT	SIZE	INVERT	
DIVERSION-B-1-1	15\"/>						

- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NEENAH No. R-1981-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
 - UNLESS OTHERWISE SPECIFIED, STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.
 - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
 - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON THIS DRAWING.
 - O-RING JOINTS TO CONFORM TO A.S.T.M. DESIGNATION C443 LATEST REVISION. JOINTS TO BE MORTARED INSIDE AND OUT USING NON-SHRINKING MORTAR.
 - PRECAST MANHOLE SECTIONS TO BE IN ACCORDANCE WITH "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" A.S.T.M. DESIGNATION C-478, LATEST REVISION, MINIMUM COMPRESSIVE STRENGTH TO BE 4000 P.S.I.

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HOODED OUTLET (TRAP)

20

CATCH BASIN CONVERTED TO MANHOLE

21

DIVERSION-B-1-1 (DIVERSION STRUCTURE)

22

X

DATE: 07/06/2014 (DC)
03/20/2014 (DC)
11/04/2015 (DC)
03/24/2016 (DC)
05/12/2017 (DC)
09/31/2018 (BMS)

REVISION: 1. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION TO PLANNING BOARD
2. SUBMISSION TO PLANNING BOARD
3. NYCEP SWPPP SUBMISSION
4. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION
5. REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION
6. REVISED PER APPROVAL RESOLUTION CONDITIONS
7. PLANNING BOARD SUBMISSION

AVS FOODS, INC. (DBA POPEYES)
1335 TIMBER LAKE COURT
YORKTOWN HEIGHTS, NY 10598

UB YORKTOWN, LLC
321 PALMBOAG AVENUE
GREENWICH, CT 06830

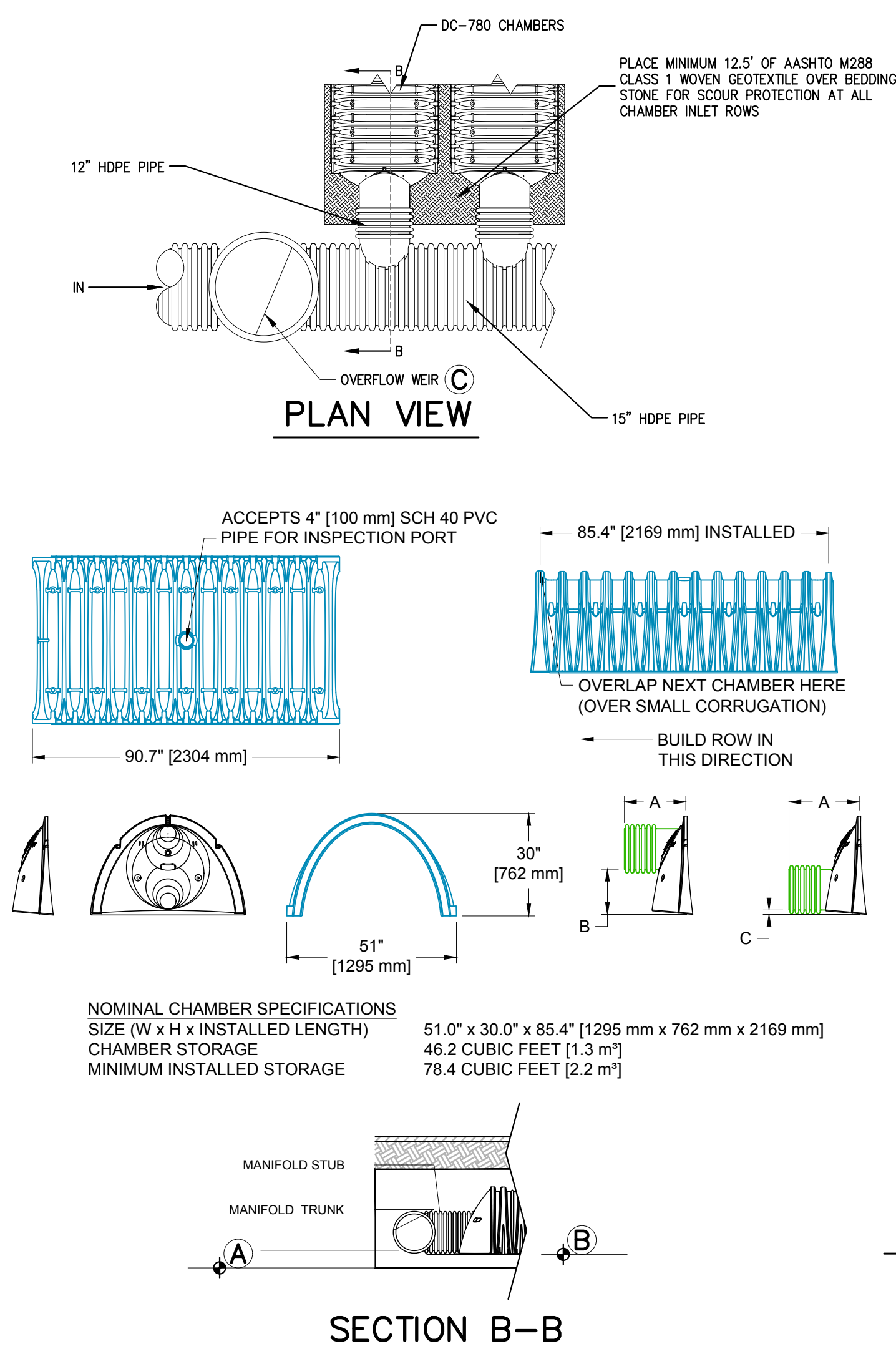
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
Voice 914.273.5225 • Fax 914.273.2102
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CONSTRUCTION DETAILS
STAPLES PLAZA REDEVELOPMENT
3303 CROMPOD ROAD
YORKTOWN HEIGHTS, NY 10598

DRAWN: BMS APPROVED: RA
SCALE: N.T.S.
DATE: 10/08/2014
PROJECT No: 12148
JOB NO: SP-12
DRAWING No: SP-12

SCHEDULE OF INVERTS

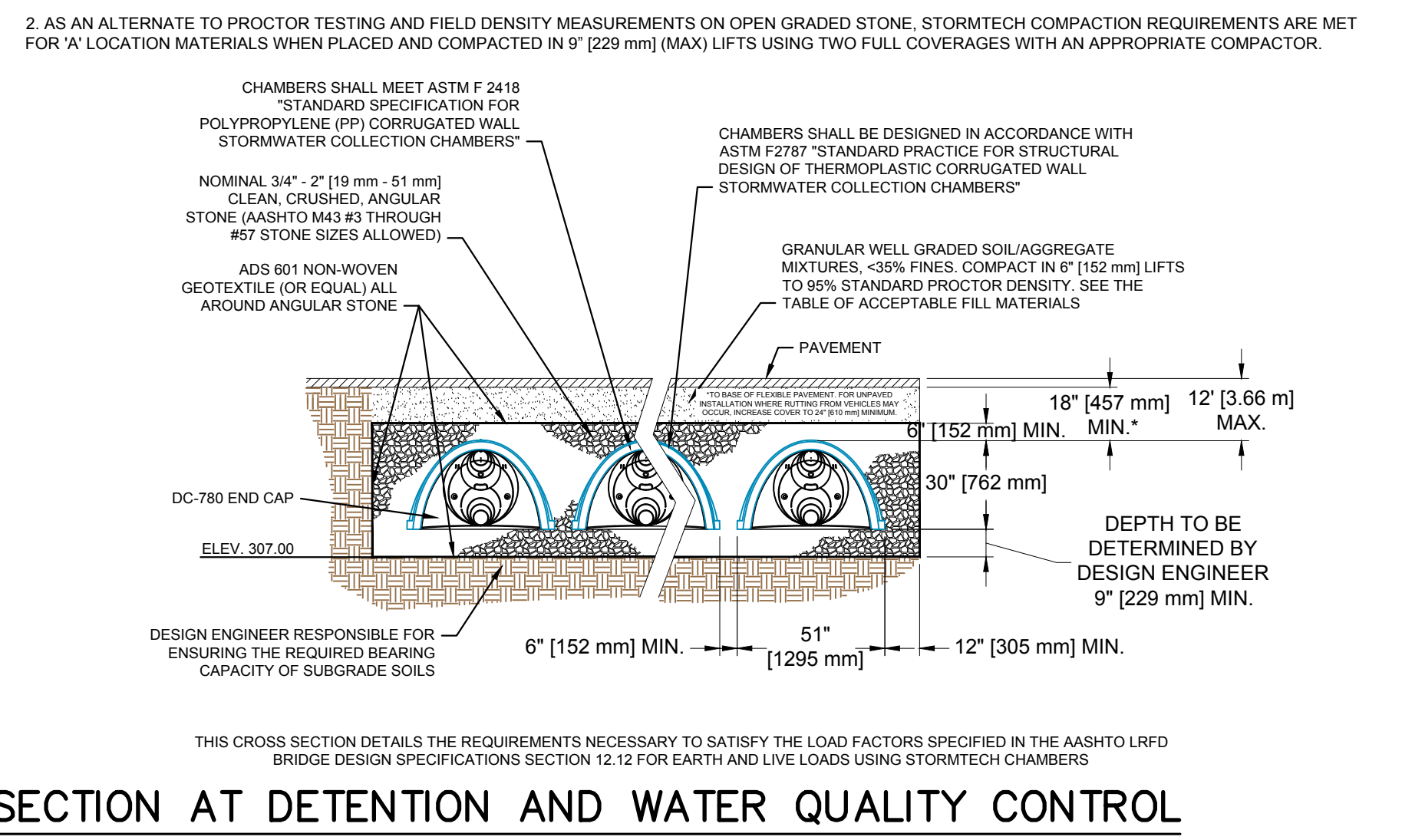
DESIGNATION	(A)	(B)	(C)
FOUNDATION BOTTOM			
CHAMBER BOTTOM	306.25	307.00	309.50
OVERFLOW WEIR			



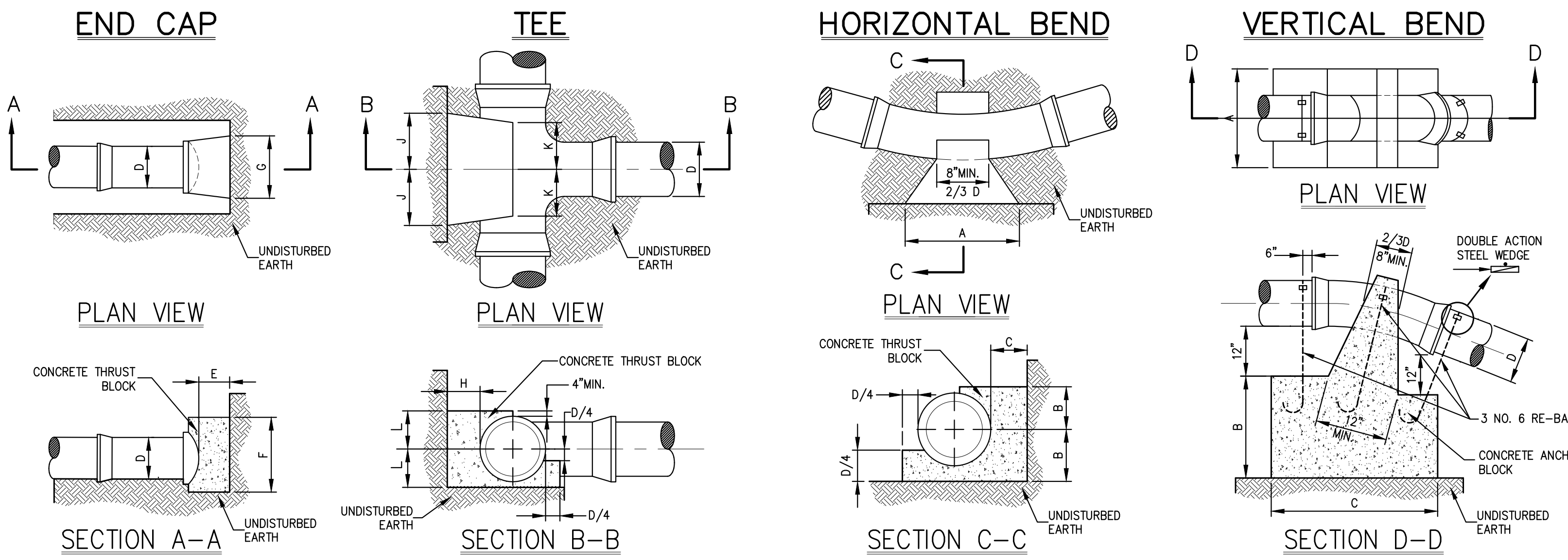
ACCEPTABLE FILL MATERIALS: STORMTECH DC-780 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
1. FILL MATERIAL FOR LAYER 1* STARTS FROM THE TOP OF THE 1\"/>	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS. MAY BE PART OF THIS LAYER.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS.
2. FILL MATERIAL FOR LAYER 2* STARTS FROM THE TOP OF THE EMBEDMENT STONE (B) LAYERS TO 18\"/>	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES. + 30% FINES. MOST PAVEMENT SUB-BASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3.357, 4.487, 5.56, 57, 6.67, 68, 7.75, 8, 89, 9, 10	SEIGN COMPACTION AFTER 1\"/>
3. EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A) LAYERS TO THE 1\"/>	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION 3/4 - 2 INCH (19 - 51 mm)	3.357, 4.487, 5, 56, 57	NO COMPACTION REQUIRED.
4. FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION 3/4 - 2 INCH (19 - 51 mm)	3.357, 4.487, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY.

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."
 2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9\"/>



SECTION AT DETENTION AND WATER QUALITY CONTROL



END CAP CHART TEE CHART HORIZONTAL BEND CHART VERTICAL BEND CHART

END CAP CHART		TEE CHART		HORIZONTAL BEND CHART		VERTICAL BEND CHART	
D	E	D	H	D	A	D	A
4"	6"	4"	6"	4"	1'-6"	4"	1'-6"
6"	8"	6"	8"	6"	1'-6"	6"	1'-6"
8"	10"	8"	10"	8"	1'-6"	8"	1'-6"
10"	12"	10"	12"	10"	1'-6"	10"	1'-6"
12"	1'-4"	12"	1'-4"	12"	1'-6"	12"	1'-6"
1'-4"	1'-8"	1'-4"	1'-8"	1'-4"	1'-6"	1'-4"	1'-6"
1'-8"	2'-0"	1'-8"	2'-0"	1'-8"	1'-6"	1'-8"	1'-6"
2'-0"	2'-5"	2'-0"	2'-5"	2'-0"	1'-6"	2'-0"	1'-6"
2'-5"	3'-0"	2'-5"	3'-0"	2'-5"	1'-6"	2'-5"	1'-6"
3'-0"		3'-0"		3'-0"	1'-6"	3'-0"	1'-6"

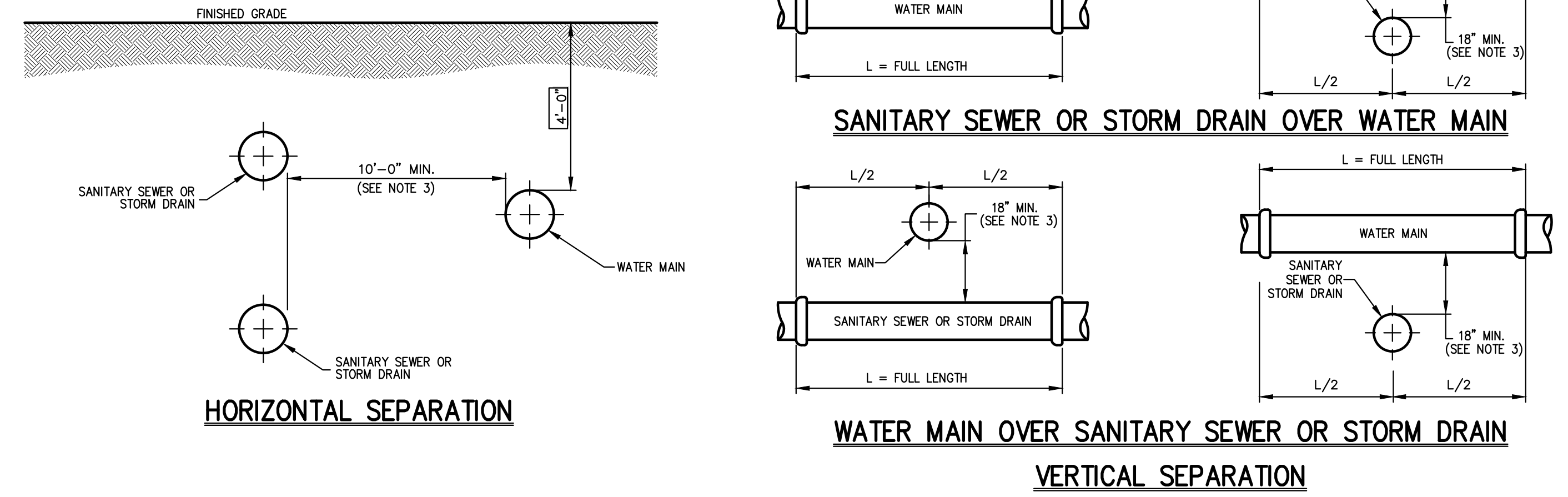
NOTES:
 1. ALL CONCRETE TO BE CLASS A (4,000 PSI).
 2. ALL DIMENSIONS ARE MINIMUMS. ALL ANCHOR AND THRUST BLOCKS SHALL BEAR ON UNDISTURBED EARTH.
 3. IN ALL CASES SHOWN, MEASUREMENT 'D' REFERS TO THE INSIDE PIPE DIAMETER.
 4. ANCHOR AND THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM FOR 100 PSI WATER PRESSURE AND SOIL RESISTANCE OF 2 KIPS PER SQ FT. CONTRACTOR SHALL ADJUST FOR OTHER CONDITIONS AND SUBMIT FOR APPROVAL.
 5. IF THE OWNER OF THE WATER SYSTEM REQUIRES A METHOD THAT RESTRAINS INDIVIDUAL JOINTS, EACH JOINT THAT FALLS WITHIN THE MINIMUM RESTRAINED LENGTH, MEASURED FROM THE CENTER OF THE FITTING, AS SHOWN ON THESE SHEETS SHALL BE RESTRAINED, AND SHALL WITHSTAND THE MAXIMUM PRESSURE APPLIED TO THE SYSTEM.
 6. CLASS A CONCRETE SHALL NOT BE PLACED UNDER WATER. THE CONTRACTOR SHALL Dewater THE EXCAVATION OR PLACE TYPE C CONCRETE USING APPROPRIATE UNDERWATER PLACEMENT TECHNIQUES.
 7. CONCRETE FOR THRUST BLOCKS SHALL NOT BE ALLOWED TO COVER OR INTERFERE WITH JOINT OR RESTRAINT HARDWARE. PLASTIC SHEETING OR BUILDING FELT MAY BE PLACED OVER PIPE OR FITTINGS TO PREVENT CONCRETE FROM ADHERING TO SURFACES.
 8. FOR BENDS, BEARING AREA SHALL BE PARALLEL TO THE EDGE OF THE FITTING AT THE FITTING MIDPOINT.
 9. FOR TEES, BEARING AREA SHALL BE PERPENDICULAR TO THE BRANCH (SINGLE LEG) AXIS.
 10. FOR REDUCERS, BEARING AREA SHALL BE PERPENDICULAR TO THE FITTING AXIS. THE MINIMUM THICKNESS ALONG THE FITTING AXIS SHALL BE 1\"/>

STORMTECH CHAMBERS DC-780

23

ANCHOR AND THRUST BLOCKS

24



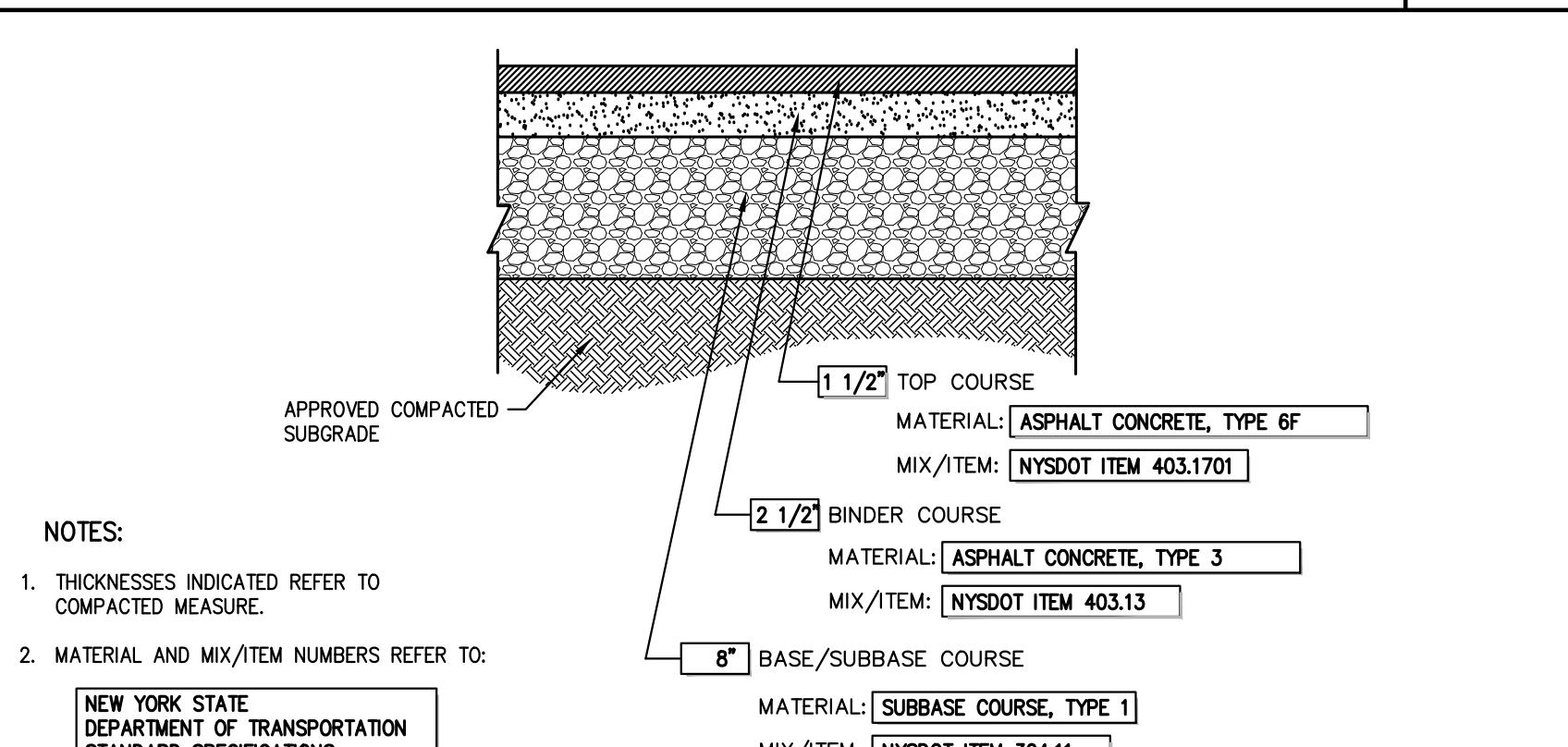
NOTES:
 1. NORMAL CONDITIONS:
 A. WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE LAD TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
 B. FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
 2. WATER MAIN CROSSING UNDER SANITARY SEWERS:
 A. VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
 B. ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
 C. FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
 3. IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL, IN WRITING ADVISE JOHN MEYER CONSULTING OF THE SPECIFIC CONDITIONS ENCOUNTERED. APPROVAL OF ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE PRIOR TO INSTALLATION.

SEPARATION OF WATER AND SANITARY SEWER/STORM DRAIN LINES

25

TRENCH PAVEMENT REPLACEMENT

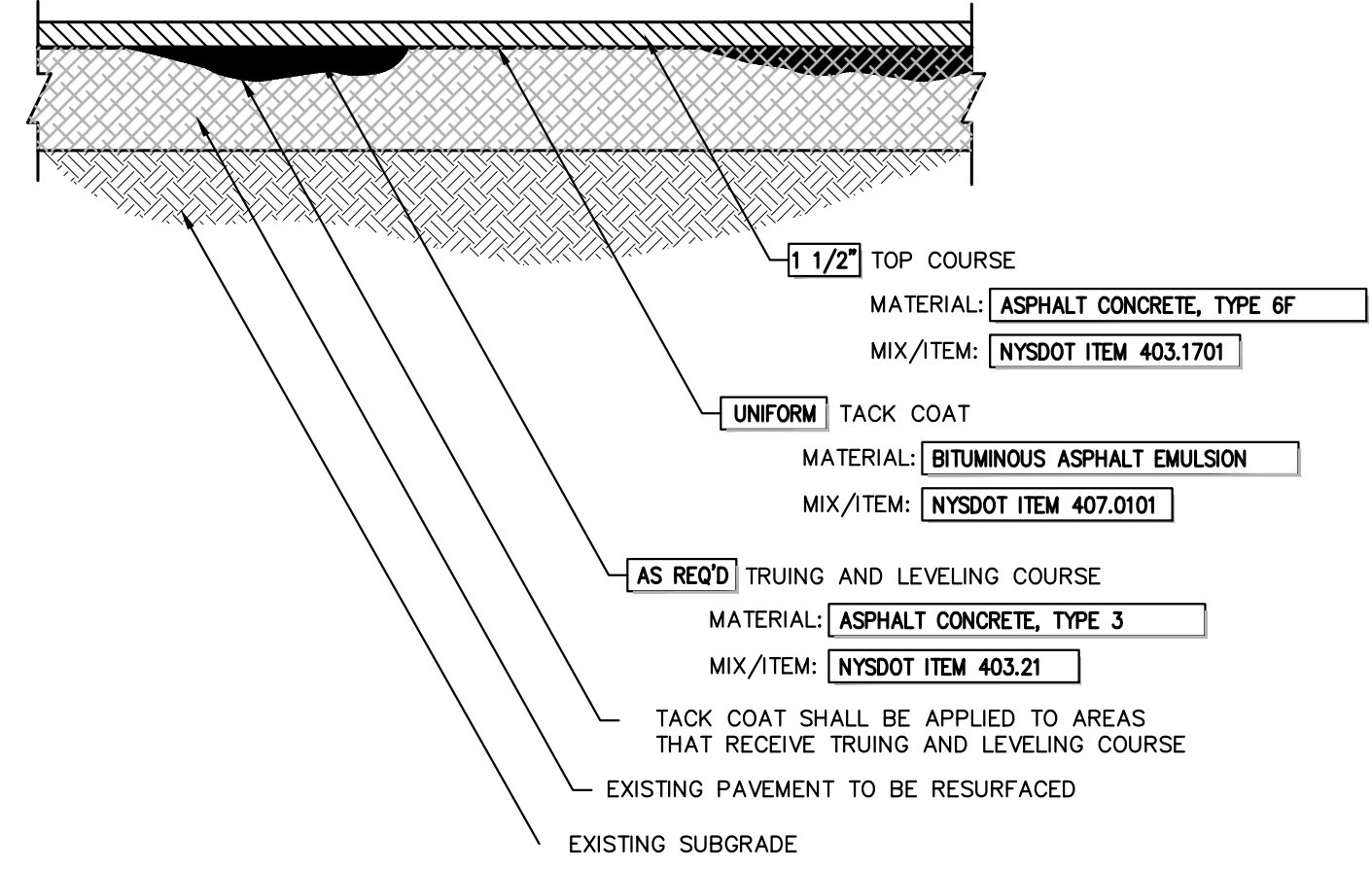
26



NOTES:
 1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
 2. MATERIAL AND MIX/ITEM NUMBERS REFER TO:
 NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

SITE PAVEMENT (Heavy Duty)

27



NOTES:
 1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
 2. ITEM NUMBERS REFER TO:
 NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

PAVEMENT RESURFACING

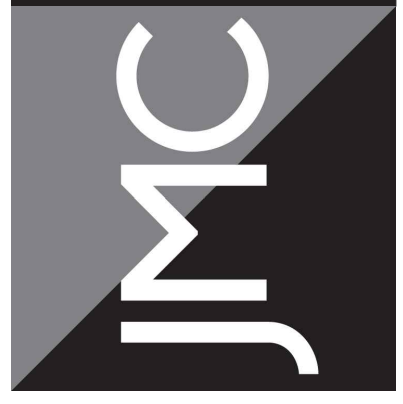
28

REVISION

NO.	DATE	DESCRIPTION
1.	07/05/2014	DC SPECIAL PERMIT BOARD
2.	11/04/2014	DC BOARD
3.	03/24/2016	DC SPECIAL PERMIT BOARD
4.	03/24/2016	DC SPECIAL PERMIT BOARD
5.	05/12/2016	DC SPECIAL PERMIT BOARD
6.	07/10/2017	DC RESOLUTION CONDITIONS
7.	08/21/2018	DC SUBMISSION

AVS FOODS, INC. (DBA POPEYES)
 135 TIMBER LANE COURT
 YORKTOWN HEIGHTS, NY 10598
 UB YORKTOWN, LLC
 321 RAILROAD AVENUE
 GREENWICH, CT 06830

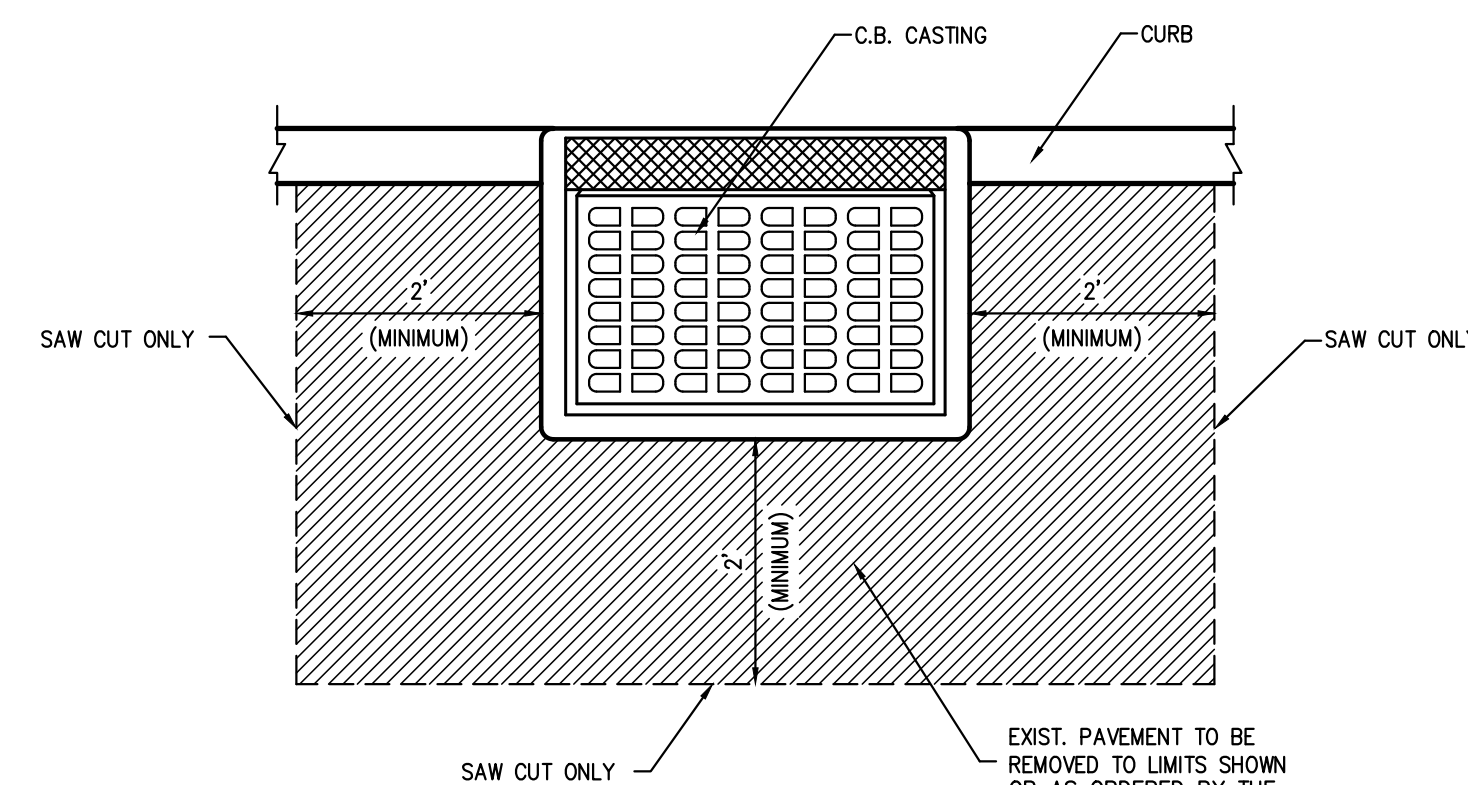
JMC Planning, Engineering, Landscaping, Architecture & Land Surveying, PLLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARBONOW, NY 11604
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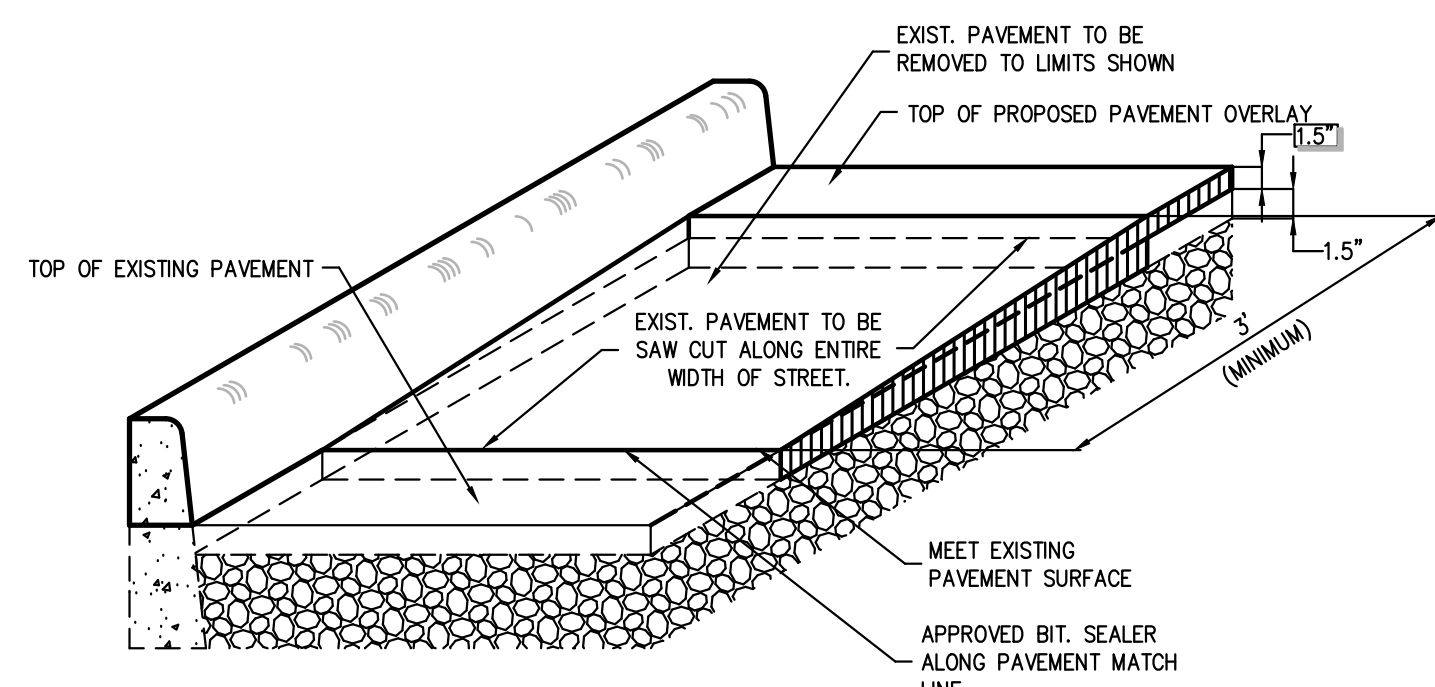
CONSTRUCTION DETAILS
 STAPLES PLAZA REDEVELOPMENT
 3303 CROMBIE ROAD
 YORKTOWN HEIGHTS, NY 10598

DRAWN:	BMS	APPROVED:	RA
SCALE:	N.T.S.		
DATE:	10/08/2014		
PROJECT No:	12148		
DATE: 10/13/13			
DRAWING No:	SP-13		

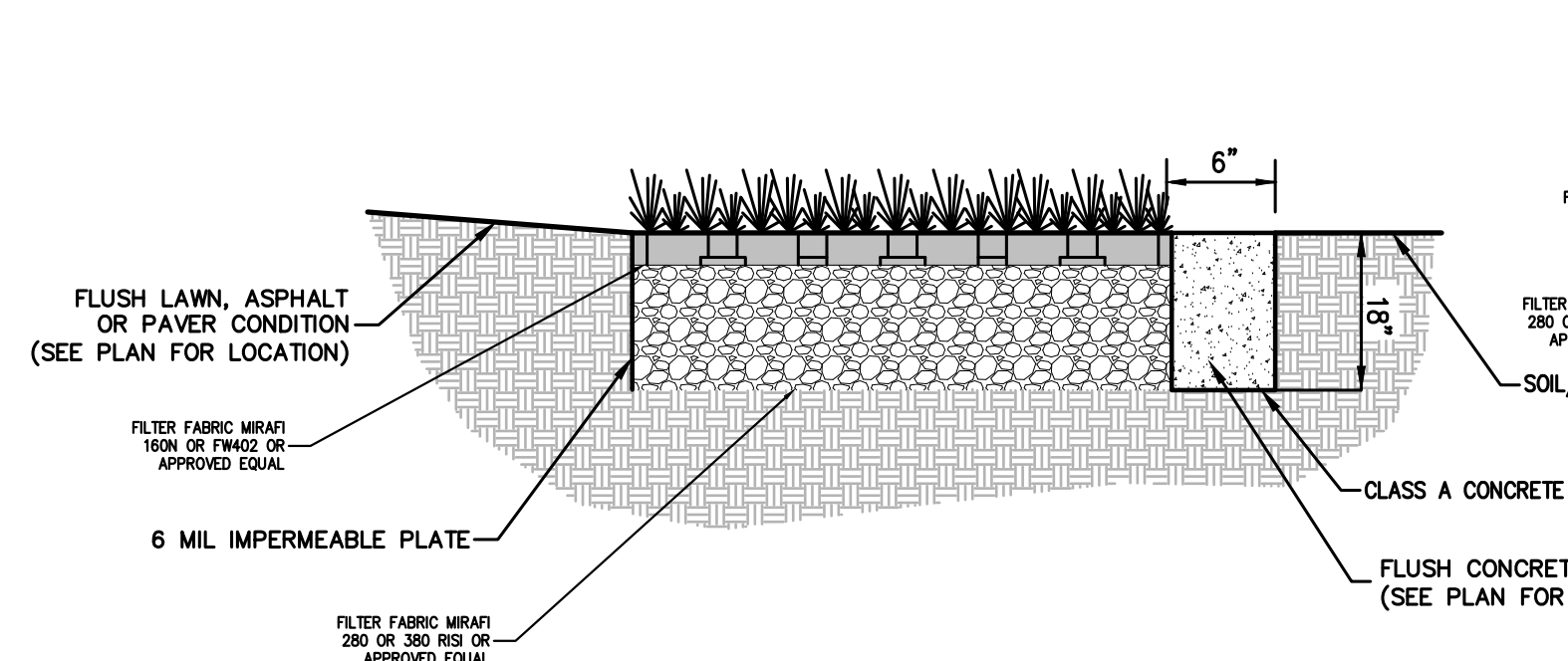
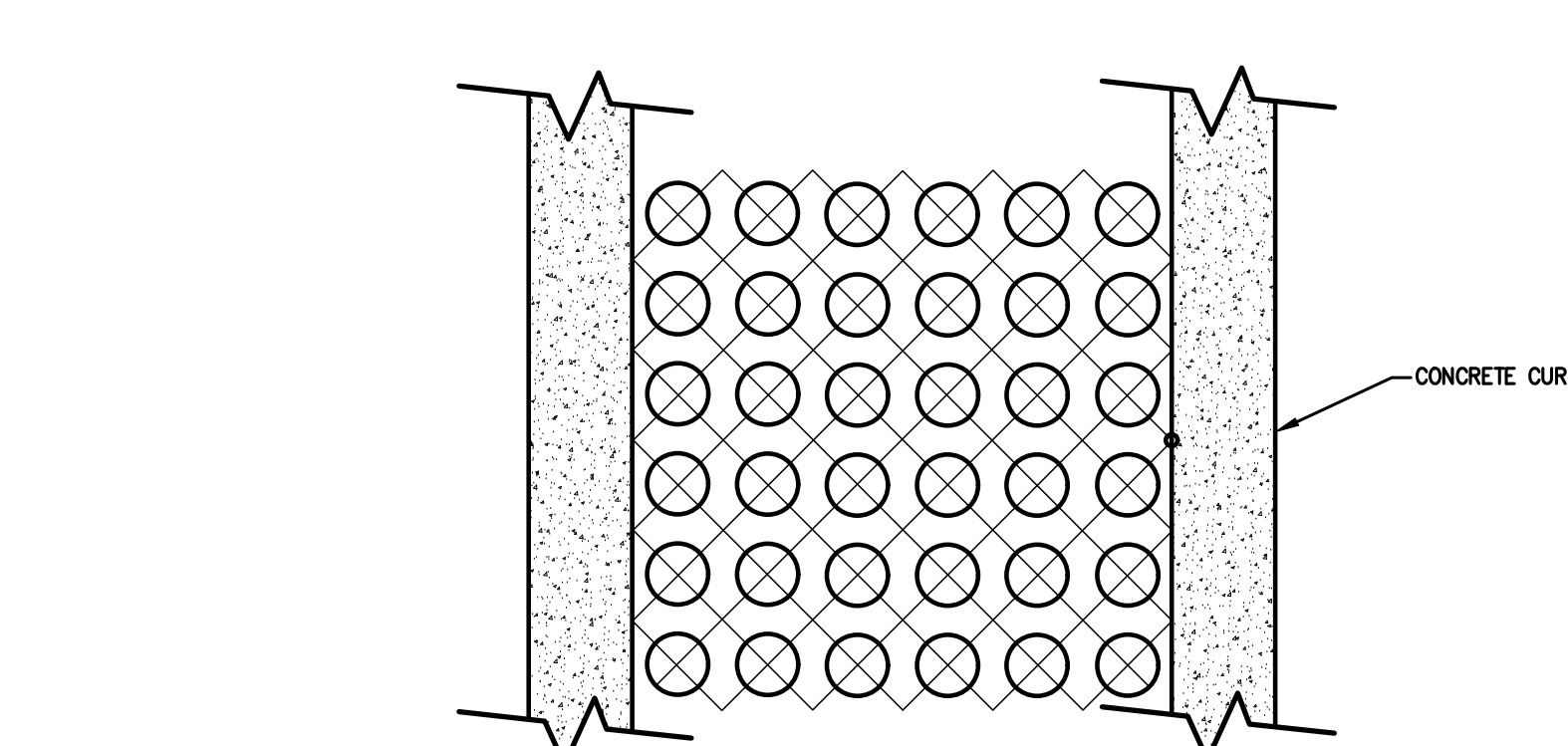
SP-13



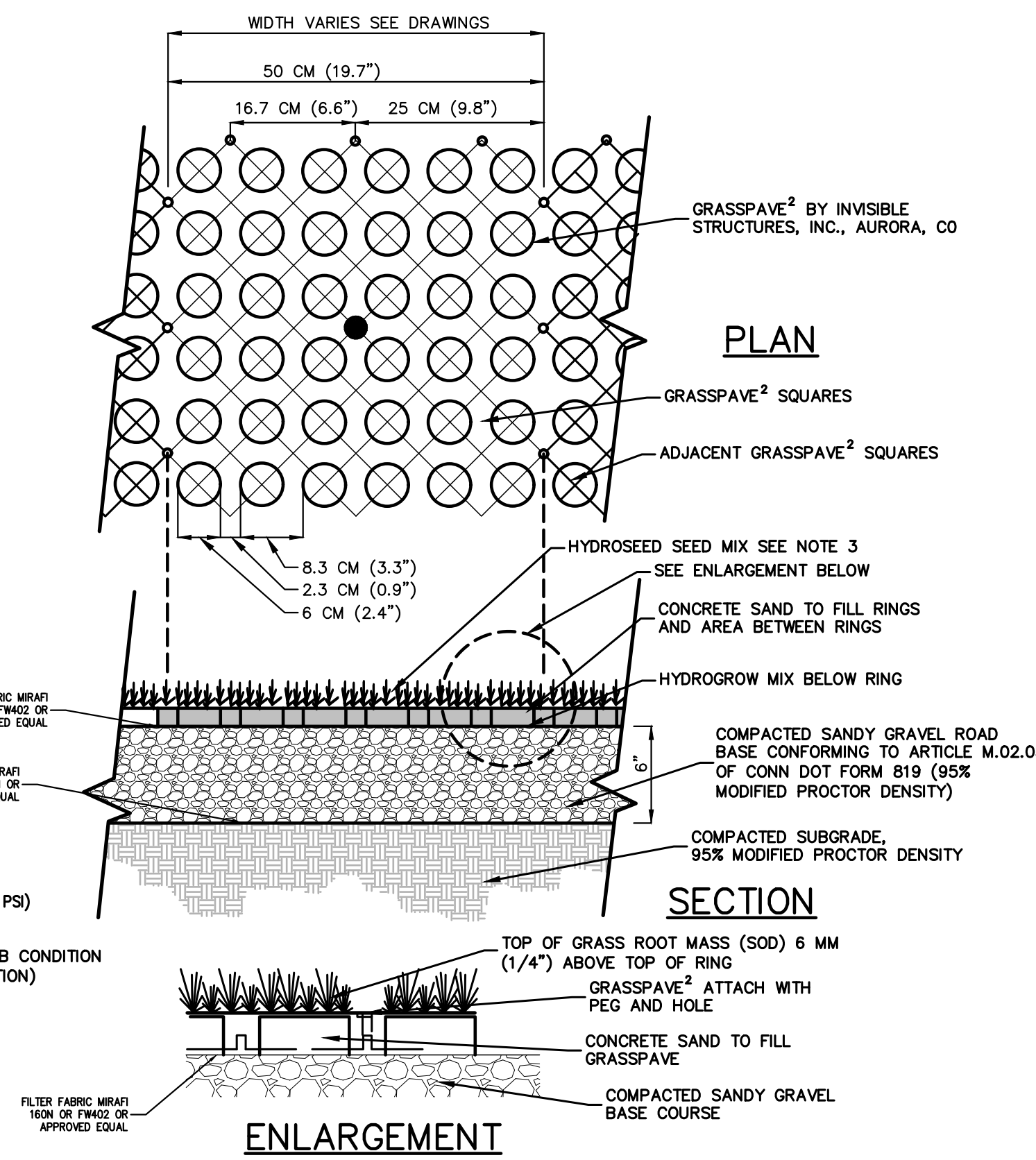
PAVEMENT REMOVAL DETAIL AT CATCHBASIN



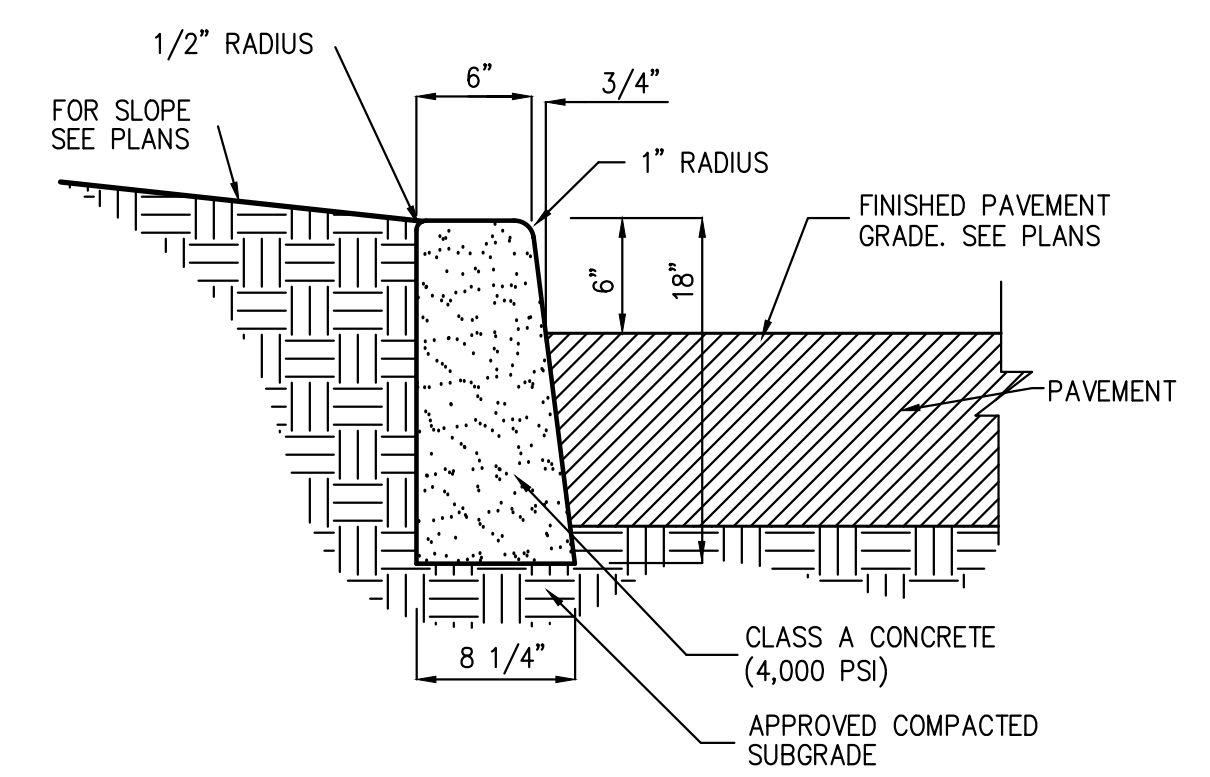
NOTE:
1. THE CONTRACTOR SHALL PROVIDE PAVEMENT KEYS AT ALL POINTS OF CONTACT WITH PAVEMENT NOT SLATED FOR RESURFACING AND AT ALL CATCHBASINS WITH CASTINGS THAT CANNOT BE RESET. KEYS SHALL BE SAW CUT AND PAVEMENT SHALL BE REMOVED IN ACCORDANCE WITH THE DIMENSIONS SHOWN OR AS ORDERED BY THE OWNER'S FIELD REPRESENTATIVE.



NOTES:
1. INSTALL AS PER MANUFACTURER'S TECHNICAL SPECIFICATIONS AND INSTALLATION PROCEDURES.
2. PREPARE SUBGRADE AS PER SECTION 2.00 OF CONN DOT FORM 816.
3. GRASS TO BE HYDROSEED WITH KENTUCKY BLUE (40%/RYE (40%), HEAVY APPLICATION. HYDROSEEDING MULCH SHALL BE WOOD OR PAPER.
4. GRASS PAPERS TO WITHSTAND 15-20 TON LOADING.
5. CONTRACTOR AND/OR WCCO SHALL BE RESPONSIBLE FOR THE IRRIGATION OF ALL GRASSPAVEZ AREAS AS MAY BE REQUIRED.



NOTES:
1. INSTALL AS PER MANUFACTURER'S TECHNICAL SPECIFICATIONS AND INSTALLATION PROCEDURES.
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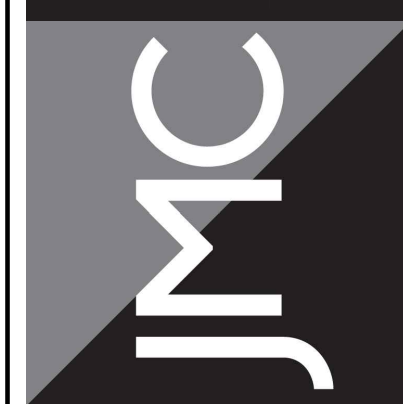
NOTES:
1. INSTALL 1/2" PREMOULDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
2. INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
3. LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
4. WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

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NO.	REVISION	DATE
1.	REVISED PER TOWN BOARD SPECIAL PERMIT SUBMISSION TO PLANNING BOARD	07/06/2014 DC
2.	HYDROSEED SWPPP SUBMISSION	03/20/2014 DC
3.	REVISED PER TOWN BOARD SPECIAL PERMIT	11/04/2015 DC
4.	REVISED PER TOWN BOARD SPECIAL PERMIT	03/24/2016 DC
5.	REVISED PER APPROVAL RESOLUTION CONDITIONS	05/17/2016 DC
6.	PLANNING BOARD SUBMISSION	07/10/2017 DC
7.		09/31/2018 DC

AVS FOODS, INC. (DBA POPPEYES)
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UB YORKTOWN, LLC
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CONSTRUCTION DETAILS
STAPLES PLAZA REDEVELOPMENT
3303 CROMFORD ROAD
YORKTOWN HEIGHTS, NY 10598

DATE	BY	APPROVED	RA
10/08/2014	N.T.S.		
12148			
SP-14			

PAVEMENT KEYING

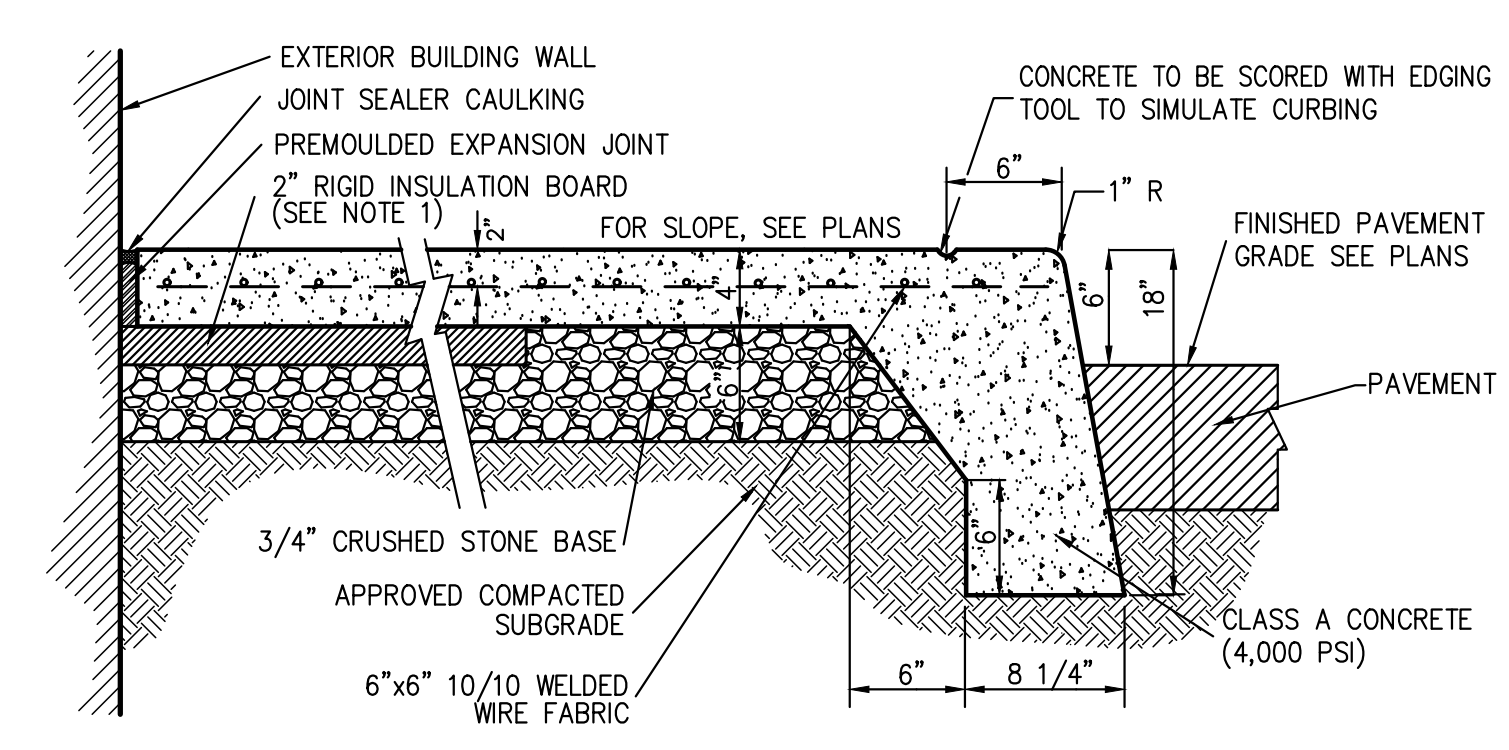
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GRASS PAVERS

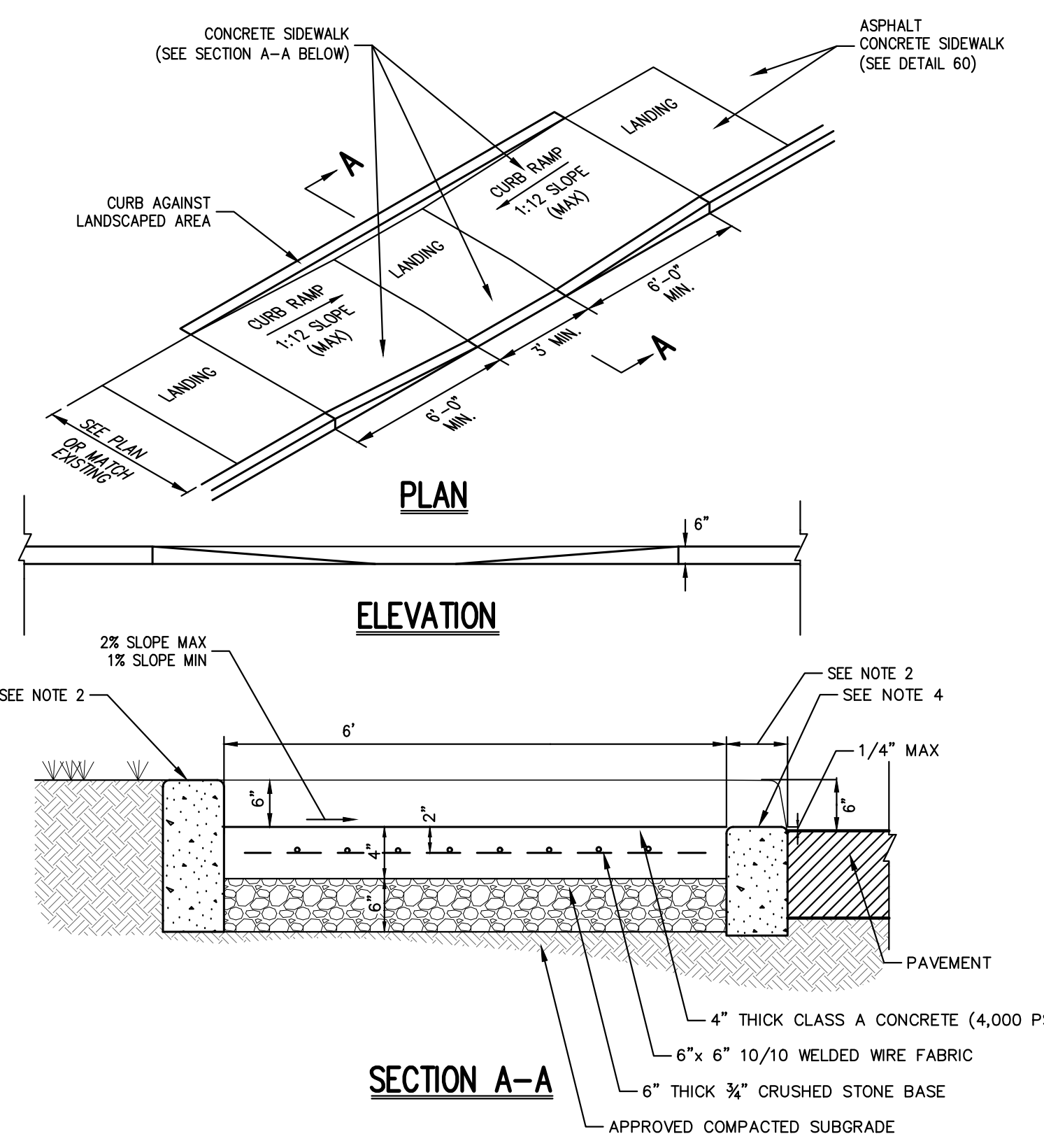
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CAST-IN-PLACE CONCRETE CURB

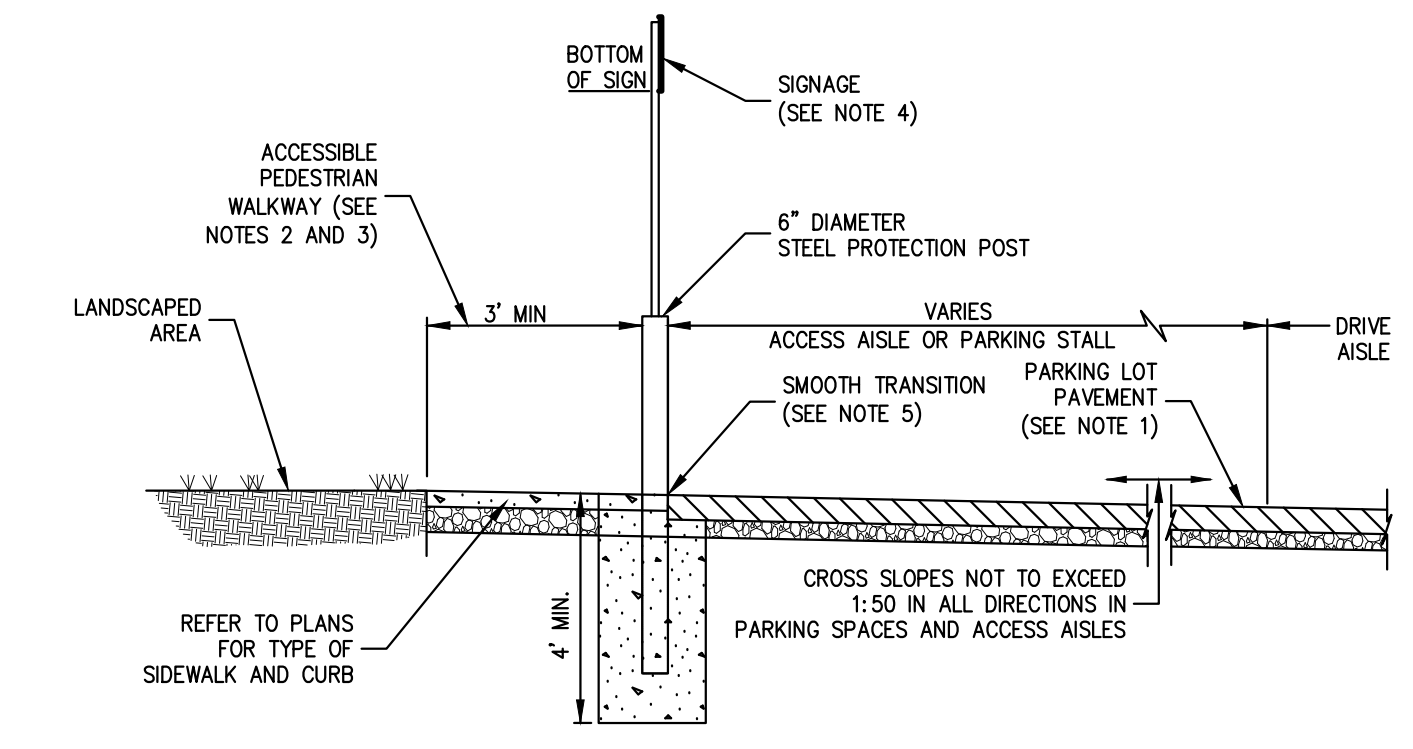
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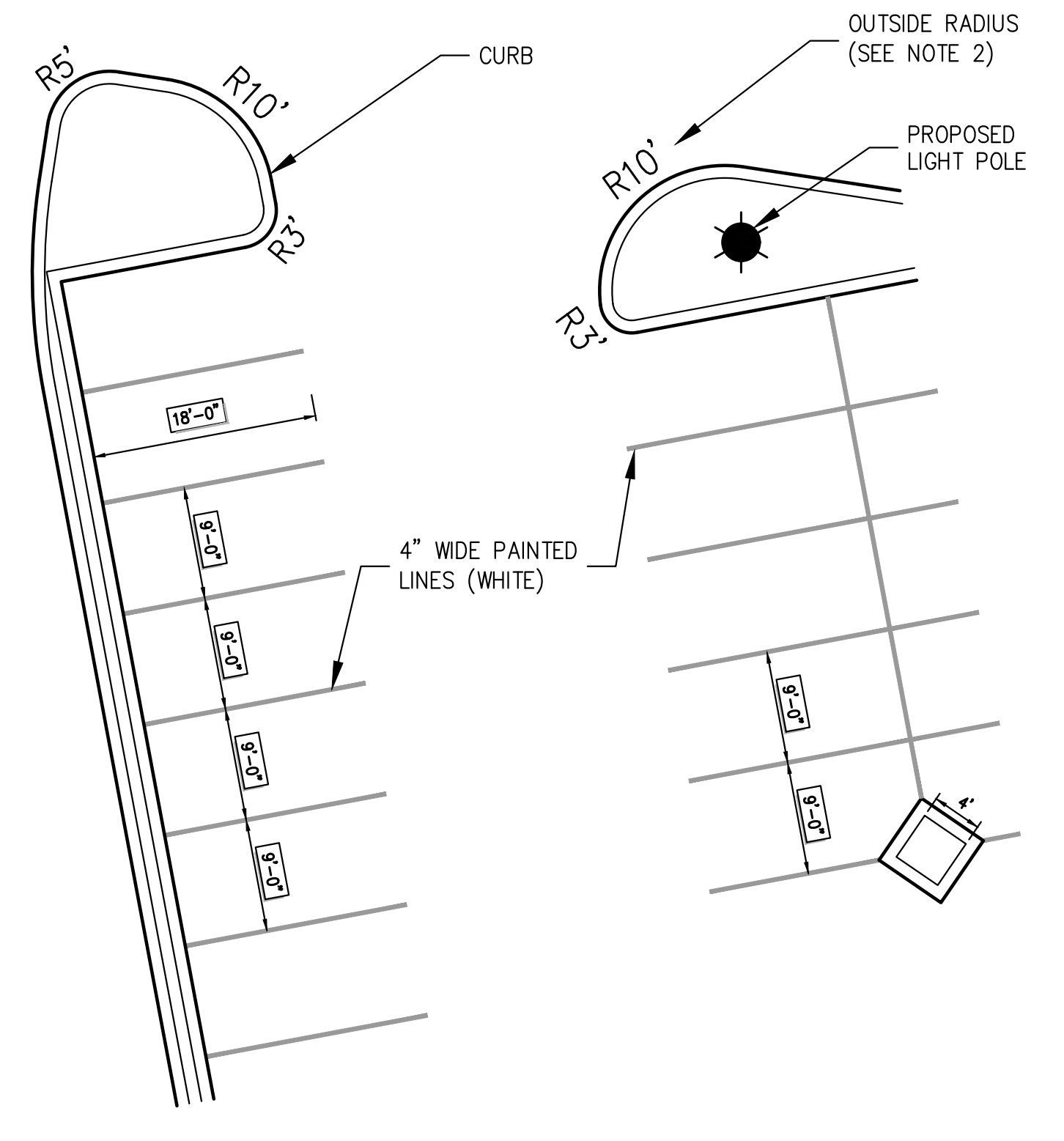
NOTES:
1. PROVIDE 2" RIGID INSULATION BOARD AT ALL DOORWAY OPENINGS AND EXTEND 6" MIN. IN ALL DIRECTIONS OR TO CONSTRUCTION/CONSTRUCTION JOINT, WHICHEVER IS GREATER.
2. JOINT SEALER CAULKING SHALL BE GACO AS-3, ONE PART ACRYLIC BY GATES INC. OR APPROVED EQUAL. PREMOULDED EXPANSION JOINT SHALL BE FLEXCELL OR APPROVED EQUAL.
3. PROVIDE JOINT SEALER & PREMOULDED EXPANSION JOINT AT ALL BLDG WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.).
4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.
5. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.



NOTES:
1. A MINIMUM OF 3-FOOT CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
2. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
3. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
4. CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.
5. PROVIDE 1/2" PRE-MOLDED EXPANSION JOINTS IN CONCRETE SIDEWALK AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
6. PROVIDE CONSTRUCTION JOINTS IN CONCRETE SIDEWALK AT 5' INTERVALS UNLESS OTHERWISE DIRECTED.
7. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
8. CONCRETE SIDEWALK SHALL HAVE LIGHT BROOM FINISH.



NOTES:
1. THIS SHEET IS INTENDED TO DEPICT THE DIMENSIONAL REQUIREMENTS OF TYPICAL ACCESSIBLE PARKING SPACES, THE SIDEWALK, CURBING, AND PAVEMENT MATERIAL SHALL BE AS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.
2. LOCATION - PARKING SPACES FOR USE BY PERSONS WITH DISABILITIES SHALL BE IN THE SPACES CLOSEST TO THE NEAREST ACCESSIBLE BUILDING OR FACILITY ENTRANCE ON AN ACCESSIBLE ROUTE.
3. SURFACE SLOPES - SLOPES AT ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ADJOINING WALKWAYS SHALL NOT EXCEED 1:50 IN ANY DIRECTION.
4. SIGNAGE - EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED BY PERMANENTLY INSTALLED ABOVE GROUND SIGNS WHICH DISPLAY THE INTERNATIONAL SYMBOL OF ACCESS. EACH ACCESS AISLE SHALL BE MARKED BY PERMANENTLY INSTALLED ABOVE GROUND SIGNS INDICATING THAT PARKING IS NOT PERMITTED IN THE AISLE. SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED AS SHOWN IN THE PROTECTION POST BASE DETAIL. THE BOTTOMS OF THE SIGNS LOCATED ON POST INSTALLED IN PAVED AREAS SHALL BE AT LEAST 7" ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7" ABOVE THE ADJACENT PAVEMENT SURFACE.
5. A SMOOTH FLUSH TRANSITION MUST BE PROVIDED BETWEEN ALL PEDESTRIAN WALKWAYS AND THE ACCESSIBLE PARKING SPACES AND AISLES.



NOTES:
1. COLOR OF PAINT SHALL BE WHITE.
2. OUTSIDE RADIUS MAY VARY DEPENDING ON SHAPE OF ISLAND. RADIUS SHALL BE AS SHOWN ON LAYOUT PLAN.

BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK

32

DROP CURB & RAMP (CONCRETE)

33

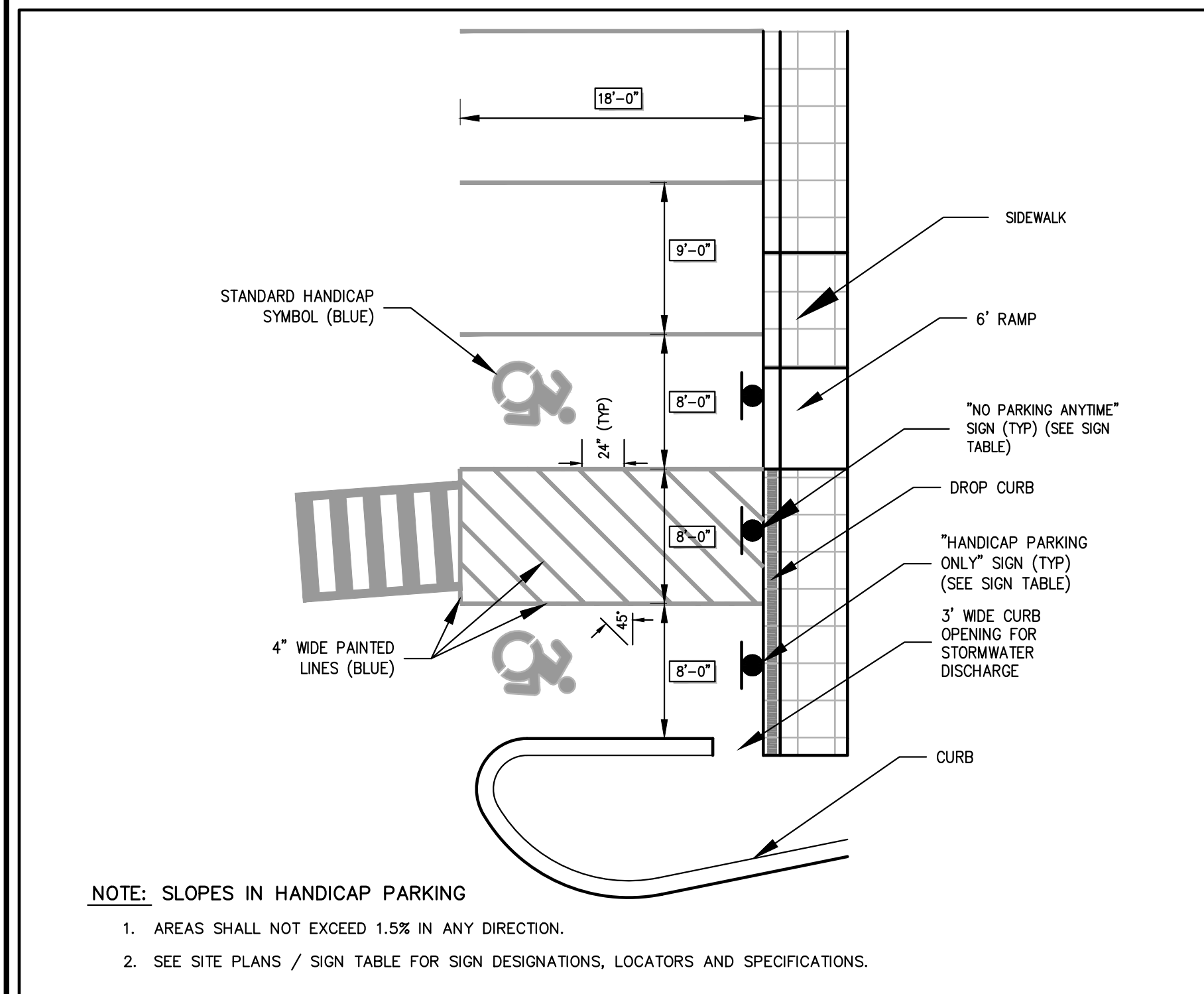
TYPICAL ACCESSIBLE PARKING STALL AND AISLE (TYPE C)

34

90° PARKING (SINGLE STRIPING-CURBED END)

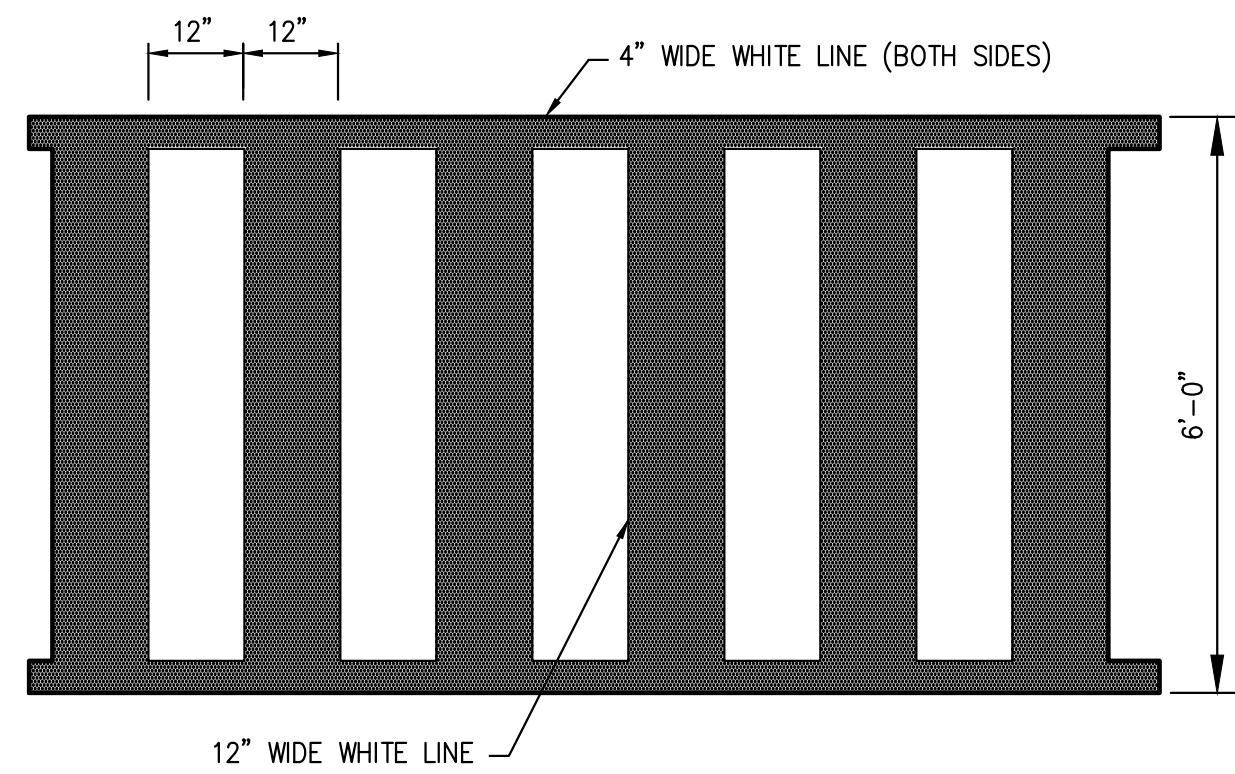
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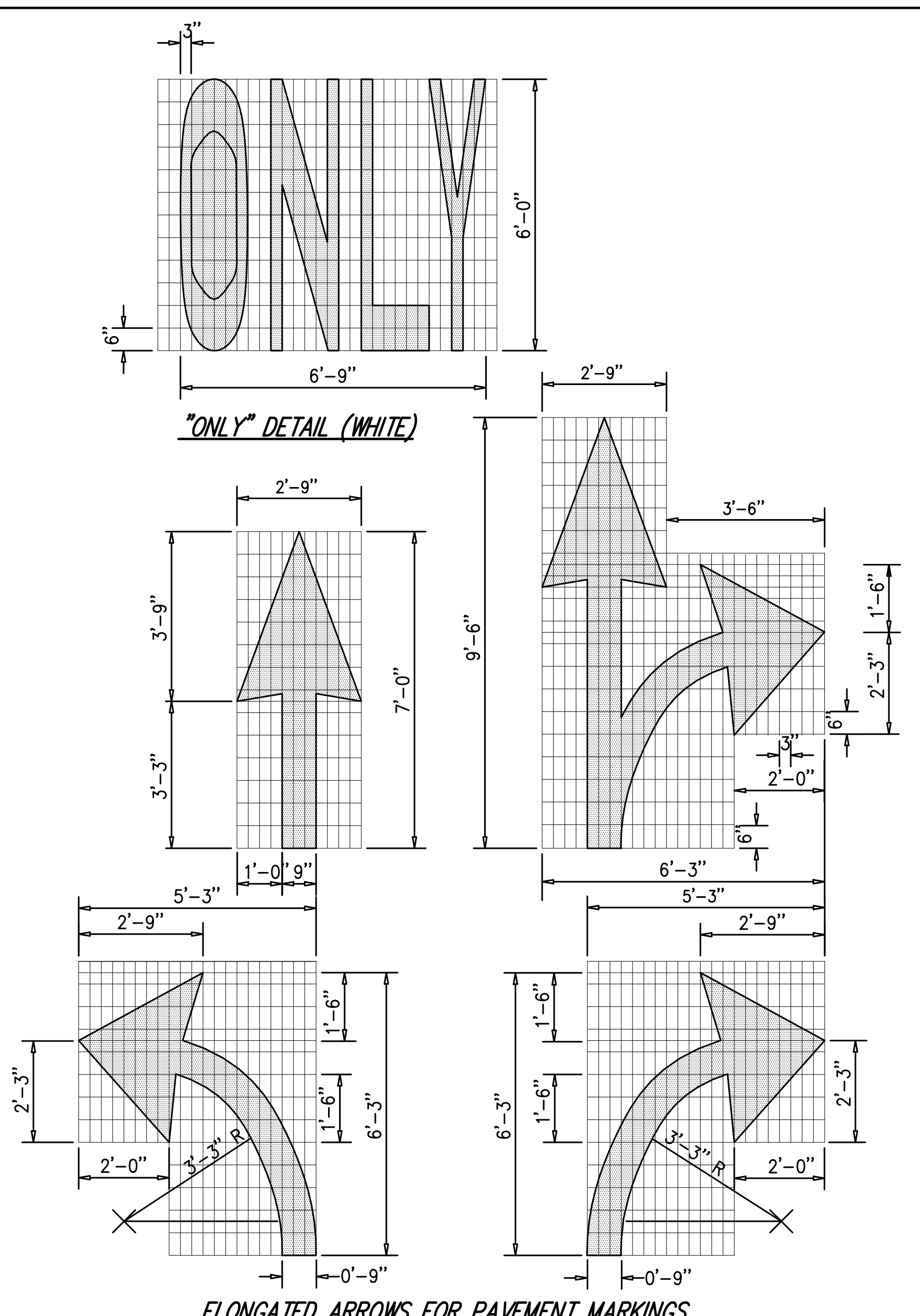
HANDICAP PARKING
(SINGLE STRIPING - CURBLINE ALIGNMENT - W/SIDEWALK)
(ADA)

36



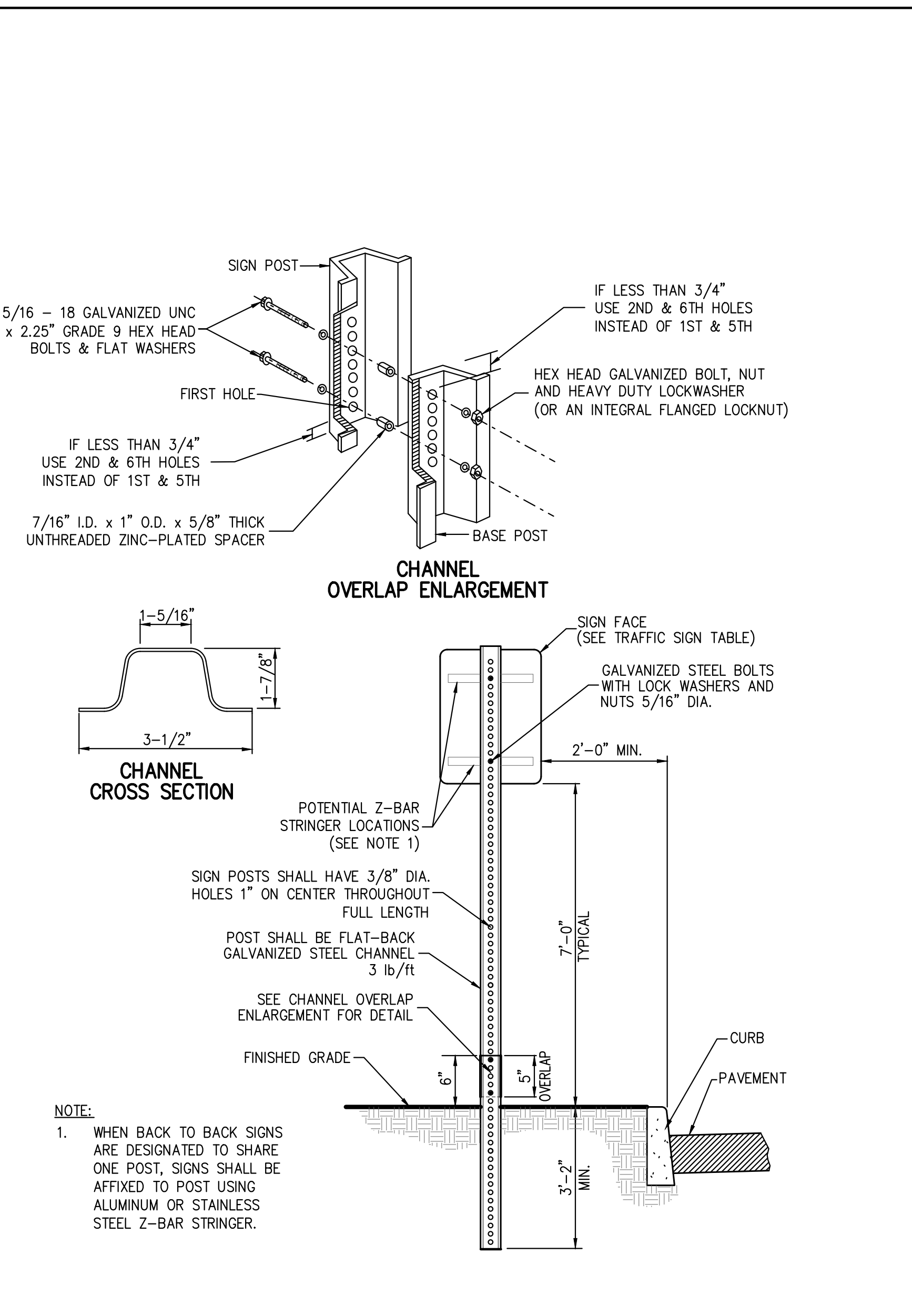
PEDESTRIAN CROSSING

37



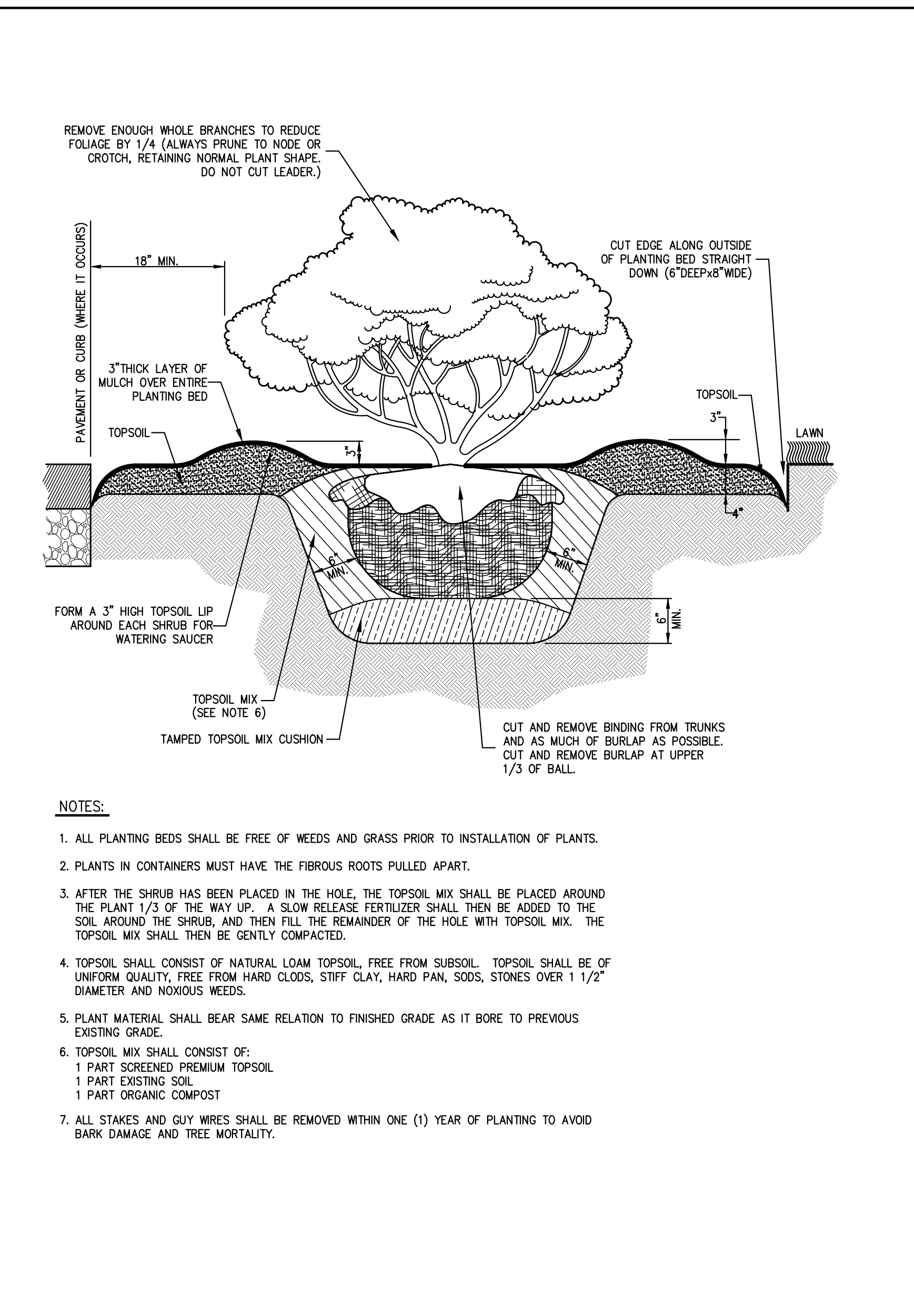
PAVEMENT TEXT & ARROWS
(ON-SITE)

38



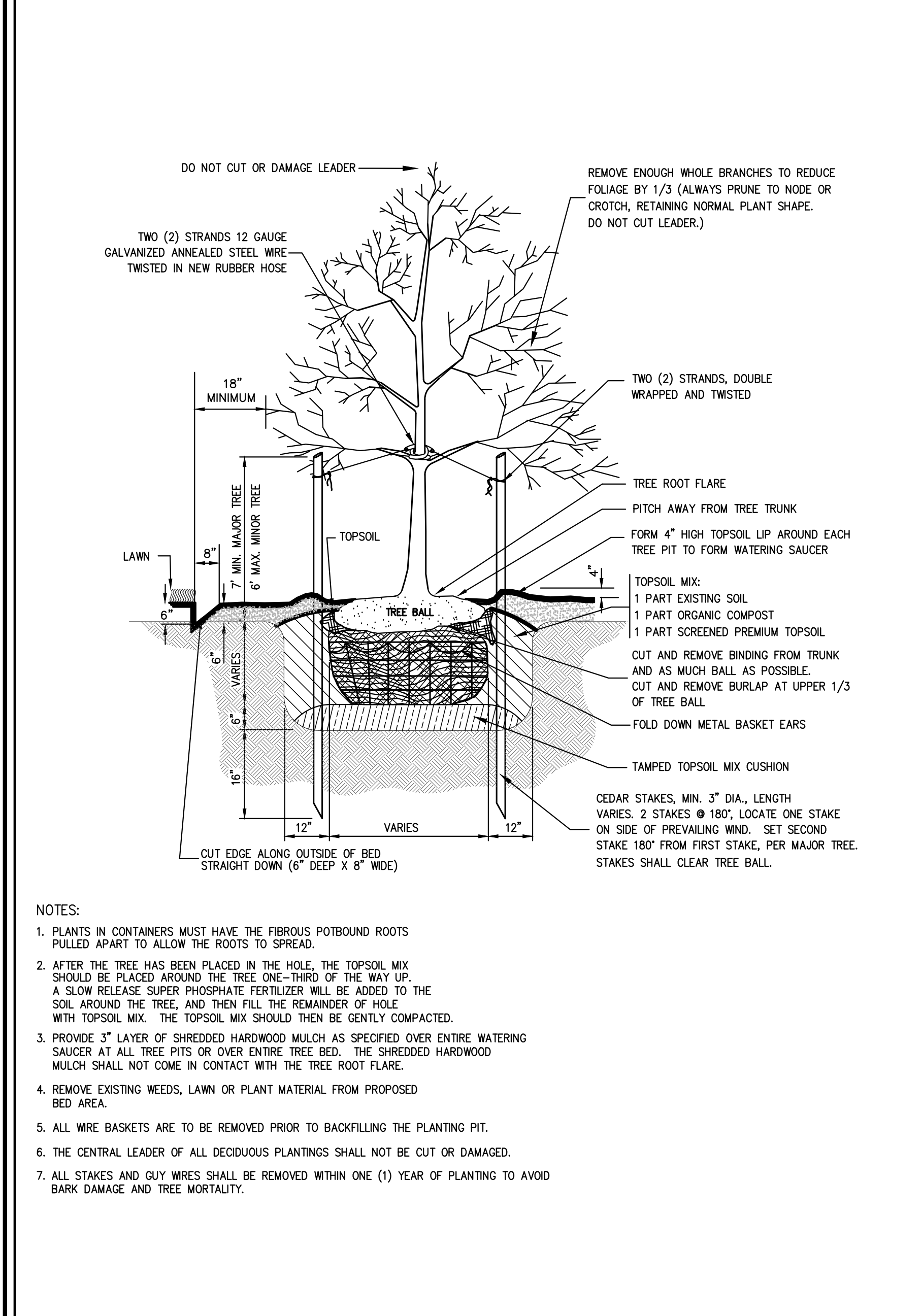
TRAFFIC SIGN POST
(BREAKAWAY STEEL CHANNEL)

39



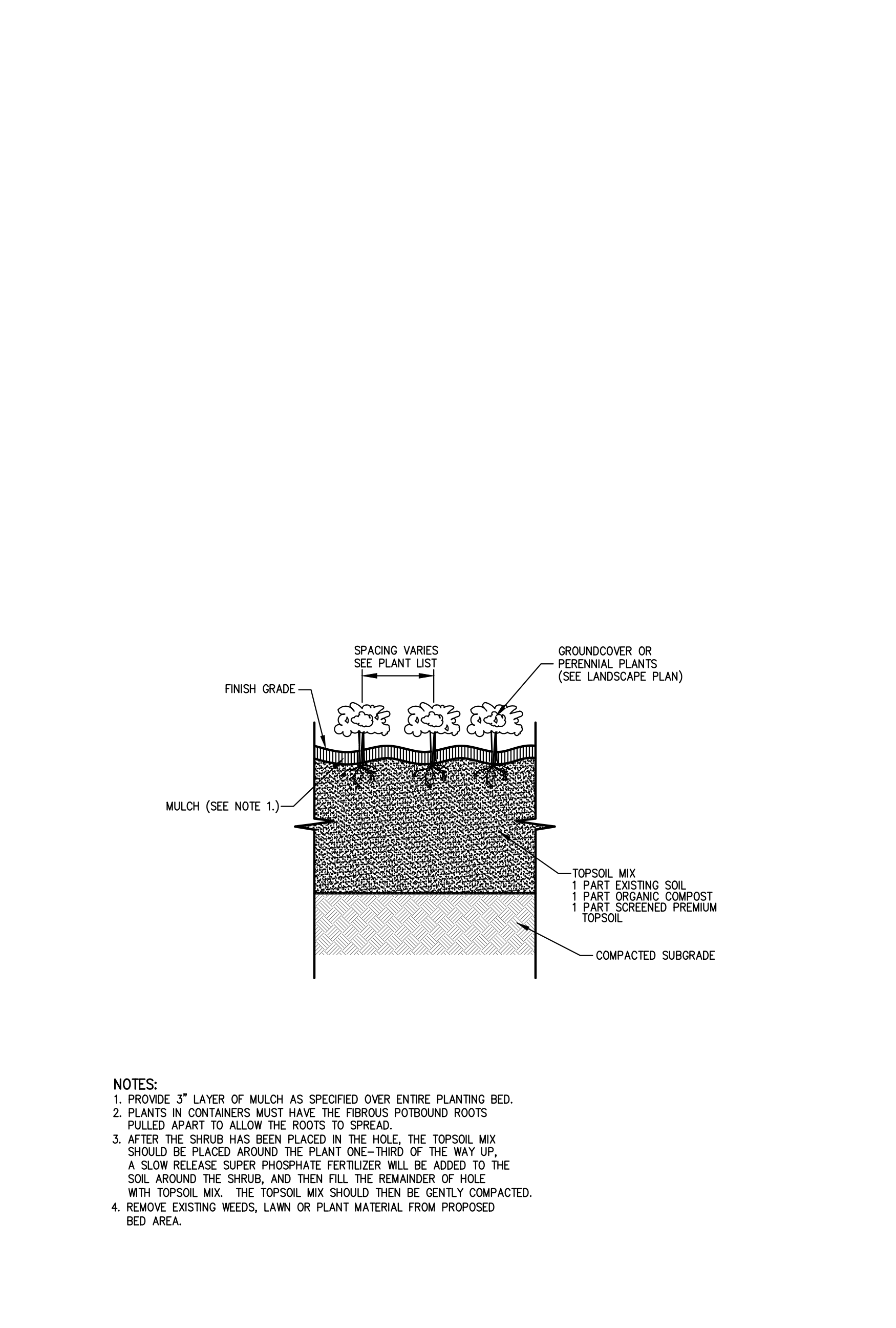
SHRUB PLANTING

40



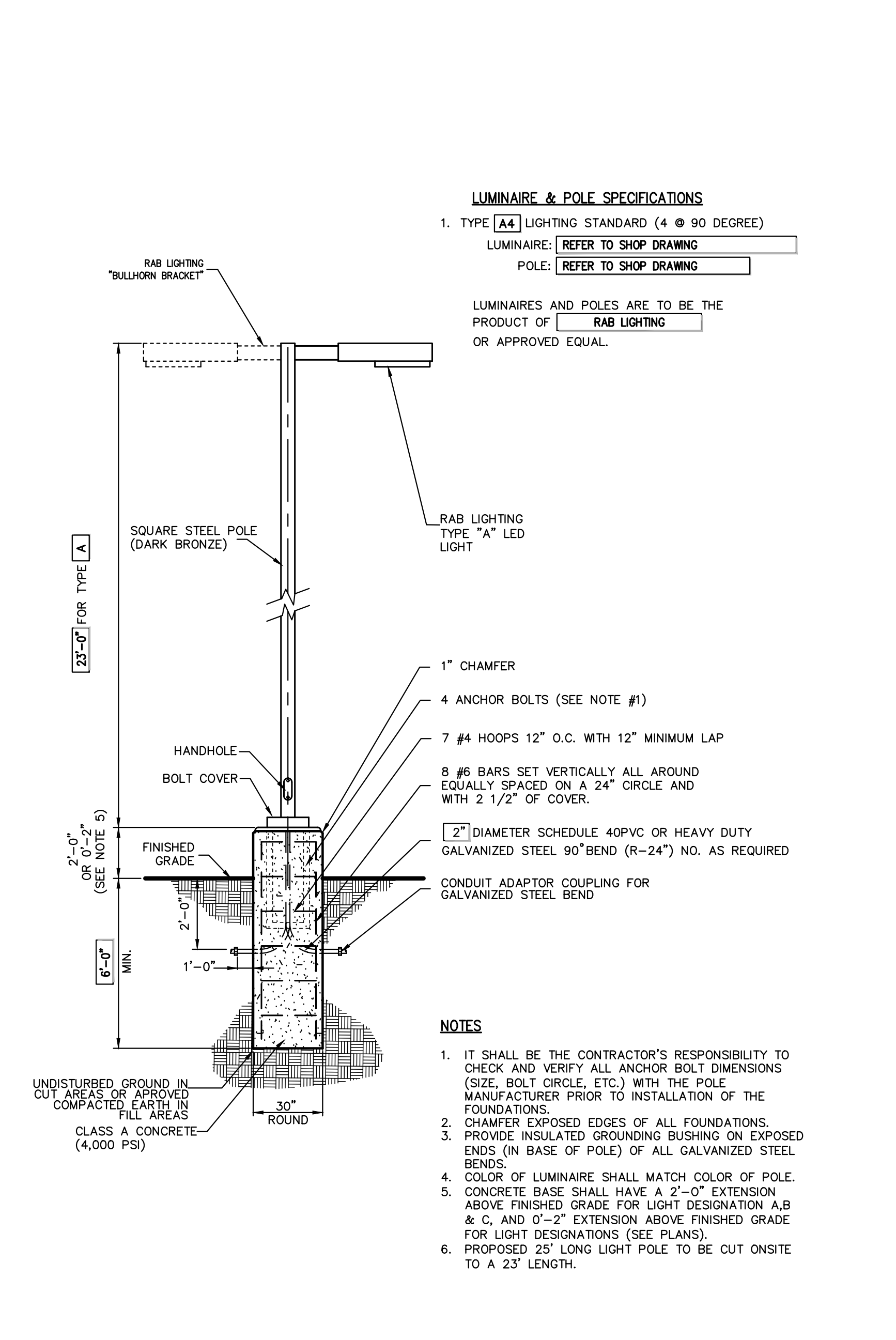
DECIDUOUS TREE PLANTING

41



GROUNDCOVER PLANTING

42



LIGHTING STANDARD
(Arm Mounted)

43

REV	DATE	DESCRIPTION
1	07/06/2014 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
2	03/29/2014 DC	SUBMISSION TO PLANNING BOARD
3	11/04/2015 DC	INVEST SWPPP SUBMISSION
4	03/24/2016 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
5	05/12/2016 DC	REVISED PER TOWN BOARD SPECIAL PERMIT
6	07/10/2017 DC	REVISED PER APPROVAL RESOLUTION CONDITIONS
7	09/31/2018 DC	PLANNING BOARD SUBMISSION

AVS FOODS, INC. (DBA POPPEYES)
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YORKTOWN HEIGHTS, NY 10598
UB YORKTOWN, LLC
321 RAILROAD AVENUE
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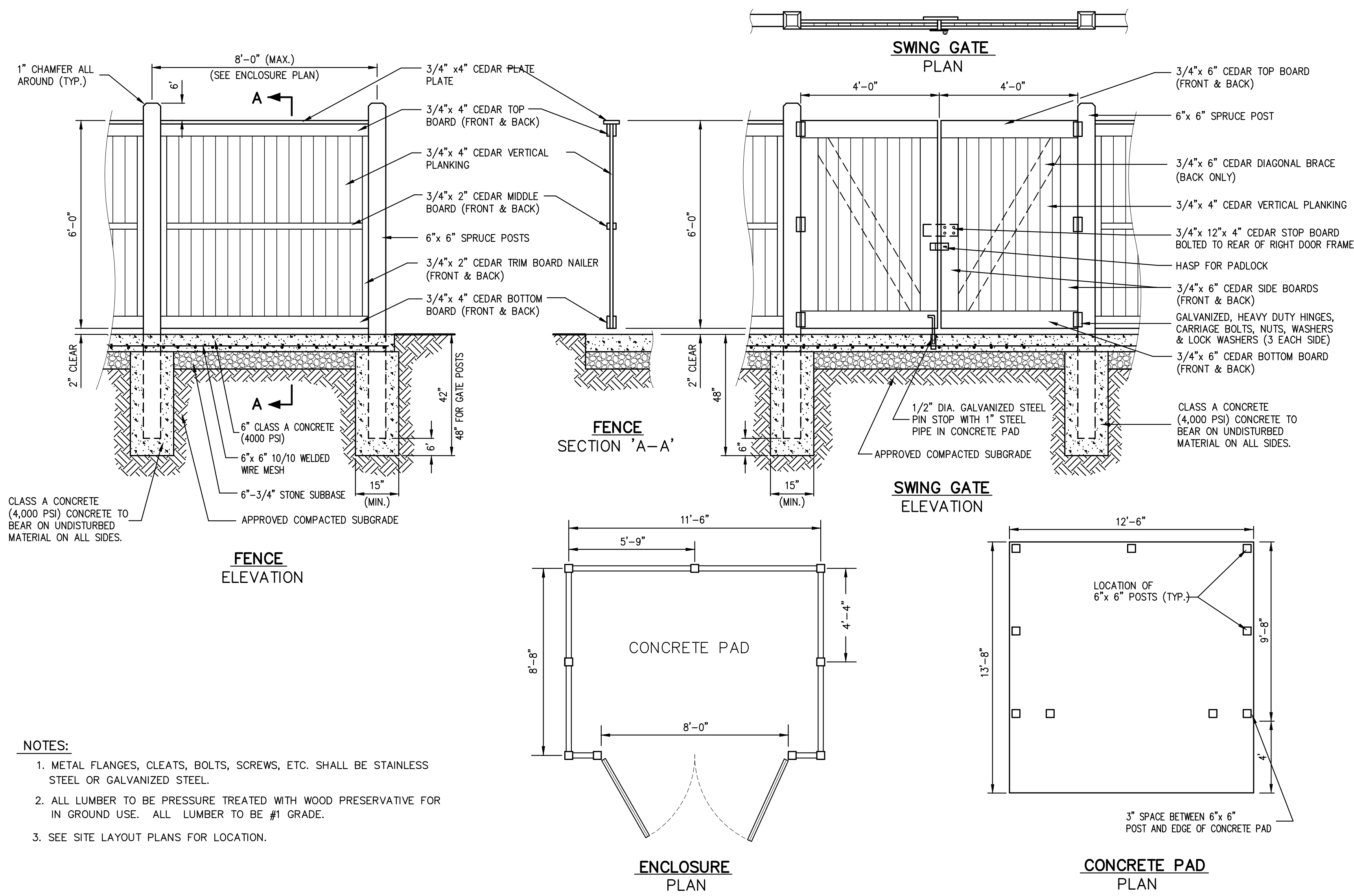
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
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120 BEDFORD ROAD - ARMONK, NY 10504
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CONSTRUCTION DETAILS
STAPLES PLAZA REDEVELOPMENT
3303 CROMFORD ROAD
YORKTOWN HEIGHTS, NY 10598

DATE	SCALE	PROJECT NO.	DATE	SCALE	PROJECT NO.
BMS	N.T.S.	12148	10/08/2014	SP-15	12148

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TRASH ENCLOSURE WITH CONCRETE PAD
(WOOD)

44

X

X

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NO.	REVISION	DATE
1.	REVISED PER TOWN BOARD SPECIAL PERMIT	07/09/2014 DC
2.	SUBMISSION TO PLANNING BOARD	03/20/2014 DC
3.	REVISED PER TOWN BOARD SPECIAL PERMIT	11/04/2015 DC
4.	REVISED PER TOWN BOARD SPECIAL PERMIT	03/24/2016 DC
5.	REVISED PER TOWN BOARD SPECIAL PERMIT	05/12/2016 DC
6.	REVISED PER APPROVAL RESOLUTION CONDITIONS	07/10/2017 DC
7.	PLANNING BOARD SUBMISSION	09/31/2018 DC

AVS FOODS, INC. (DBA POPEYES)
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YORKTOWN HEIGHTS, NY 10598

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STAPLES PLAZA REDEVELOPMENT
3303 CROMPOND ROAD
YORKTOWN HEIGHTS, NY 10598

DESIGN	BMS	APPROVED	RA
SCALE	N.T.S.		
DATE	06/11/2014		
PROJECT NO.	12148		
DRAWN	SP-16	CHECKED	---
DRAWING NO.	SP-16		

SP-16

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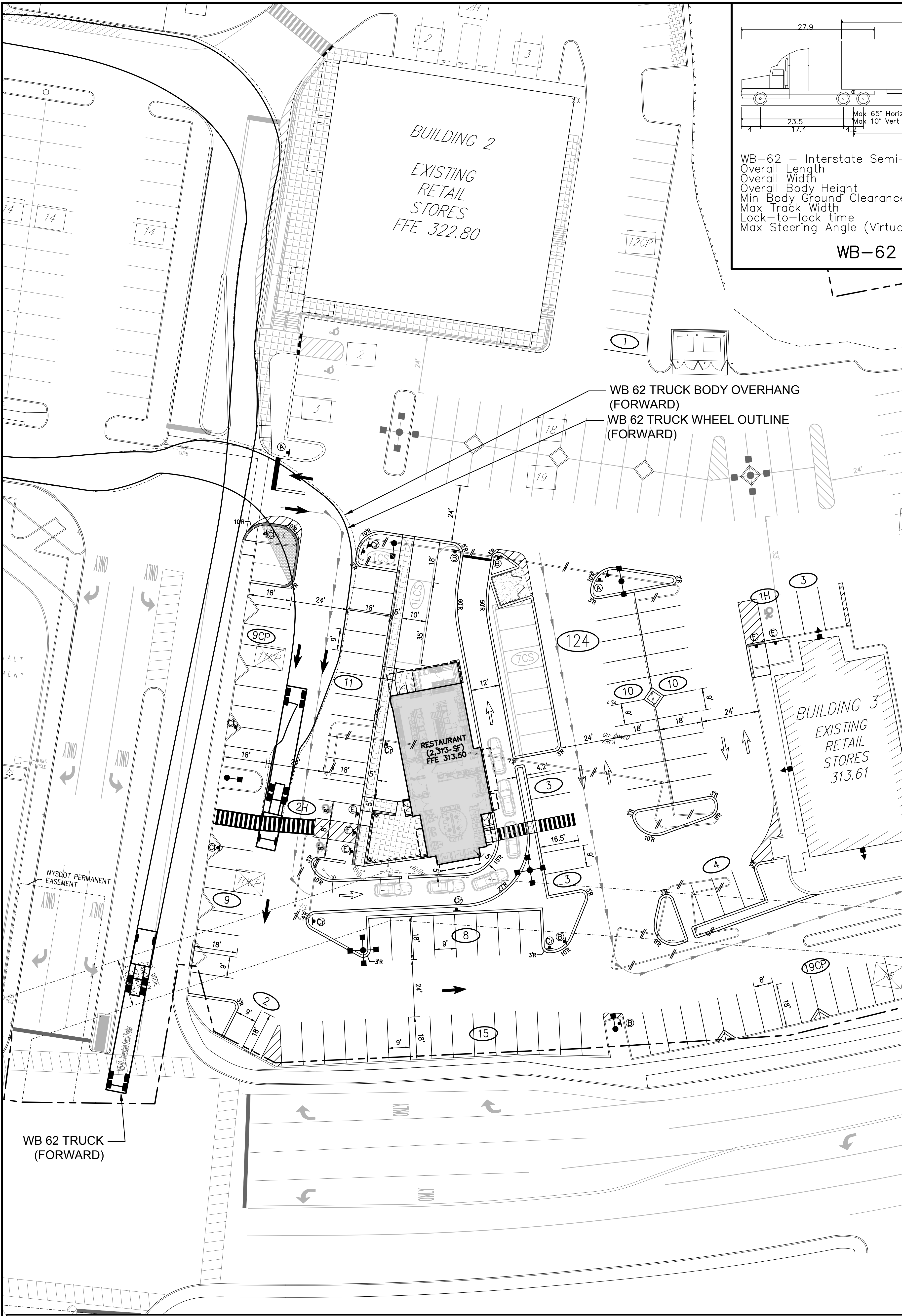
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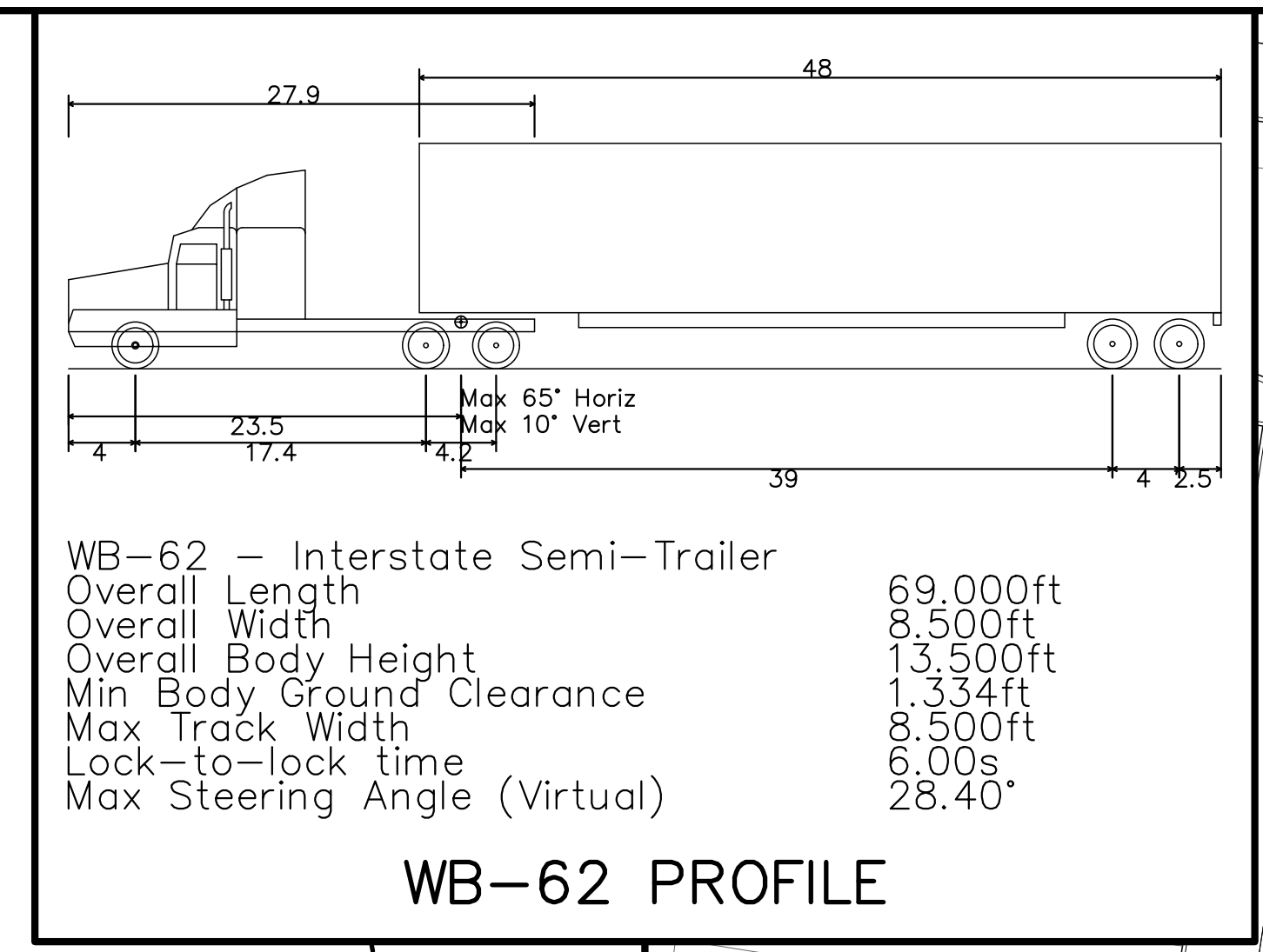
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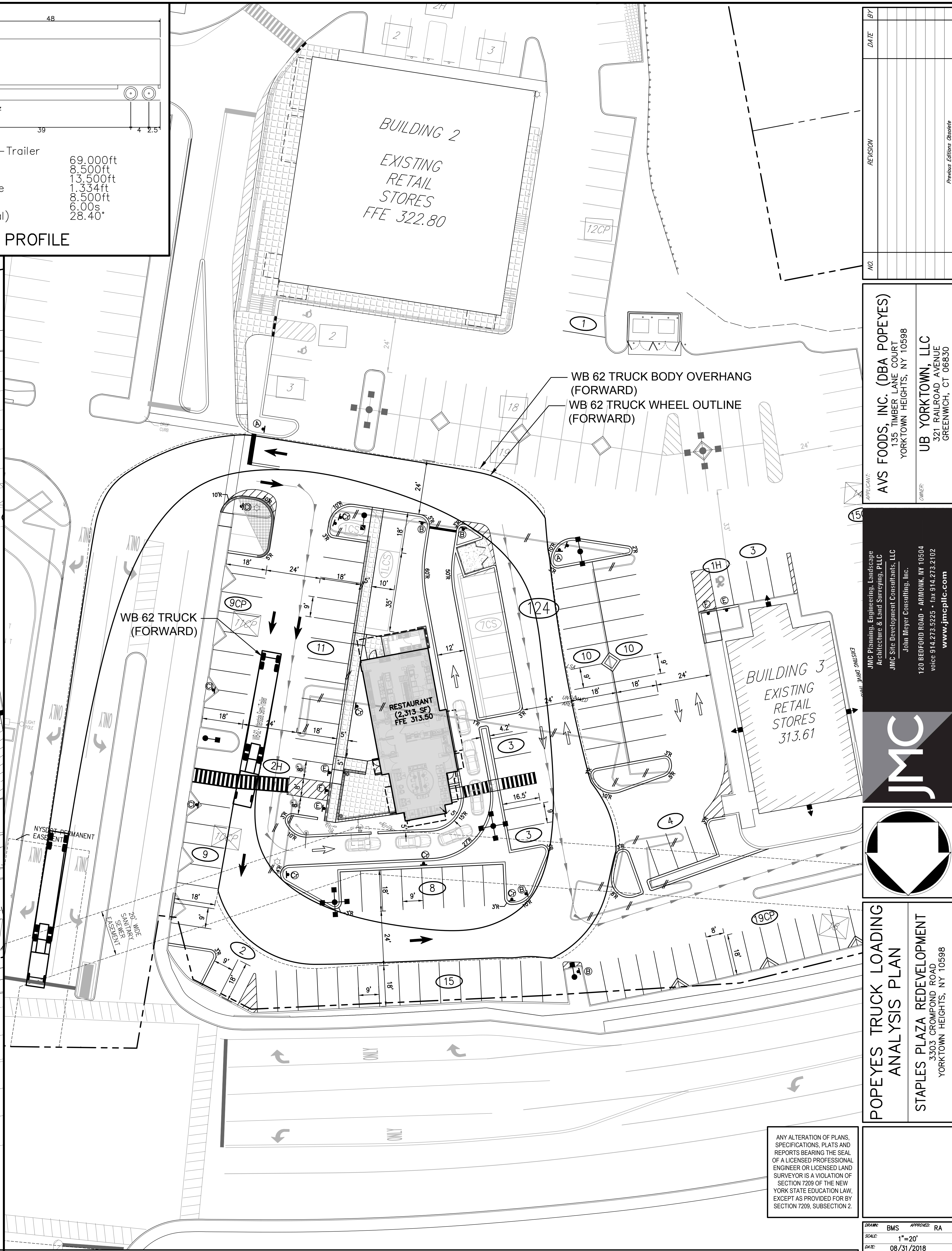
NOT FOR CONSTRUCTION



TRUCK ENTERING



WB-62 PROFILE



TRUCK EXITING

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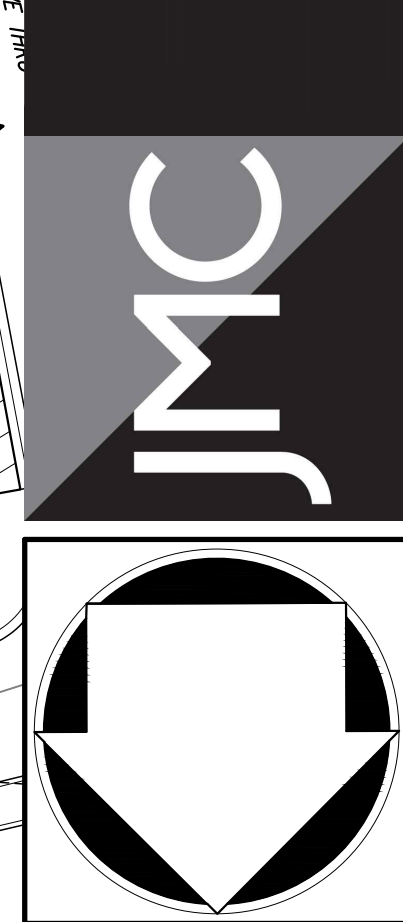
NO.	REVISION	DATE

AVS FOODS, INC. (DBA POPEYES)
 135 TIMBER LANE COURT
 YORKTOWN HEIGHTS, NY 10598

UB YORKTOWN, LLC
 321 RAILROAD AVENUE
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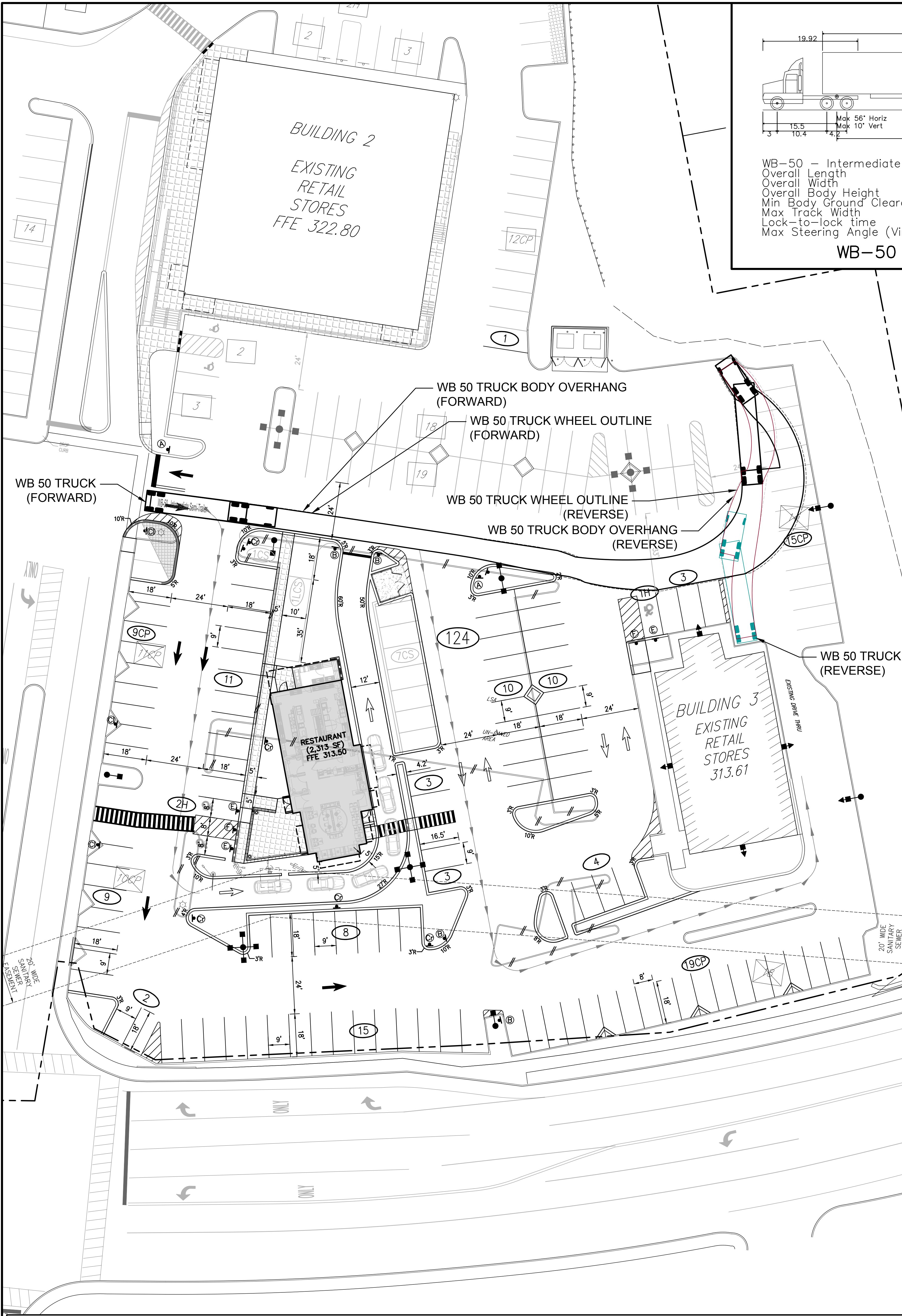


POPEYES TRUCK LOADING
 ANALYSIS PLAN

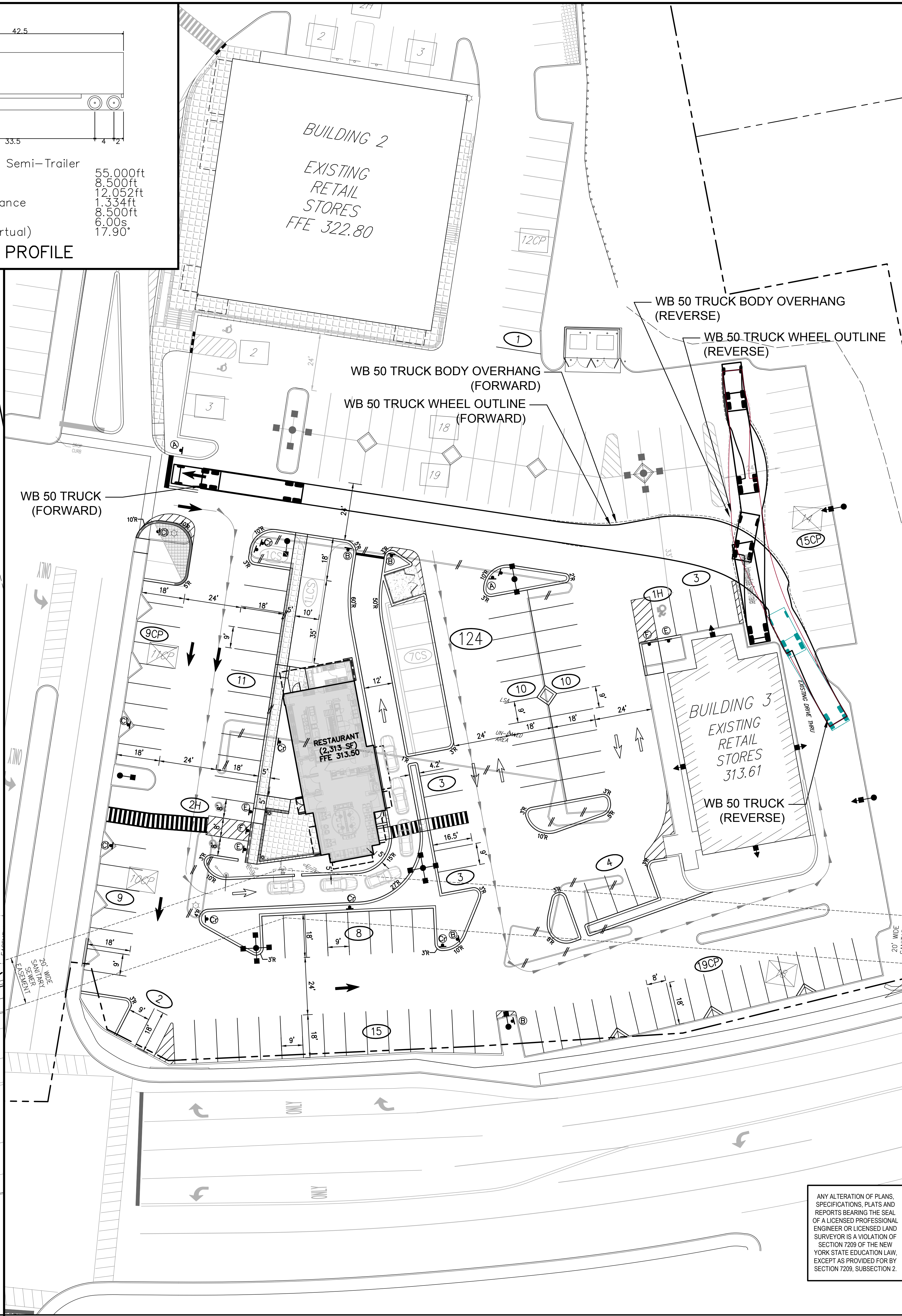
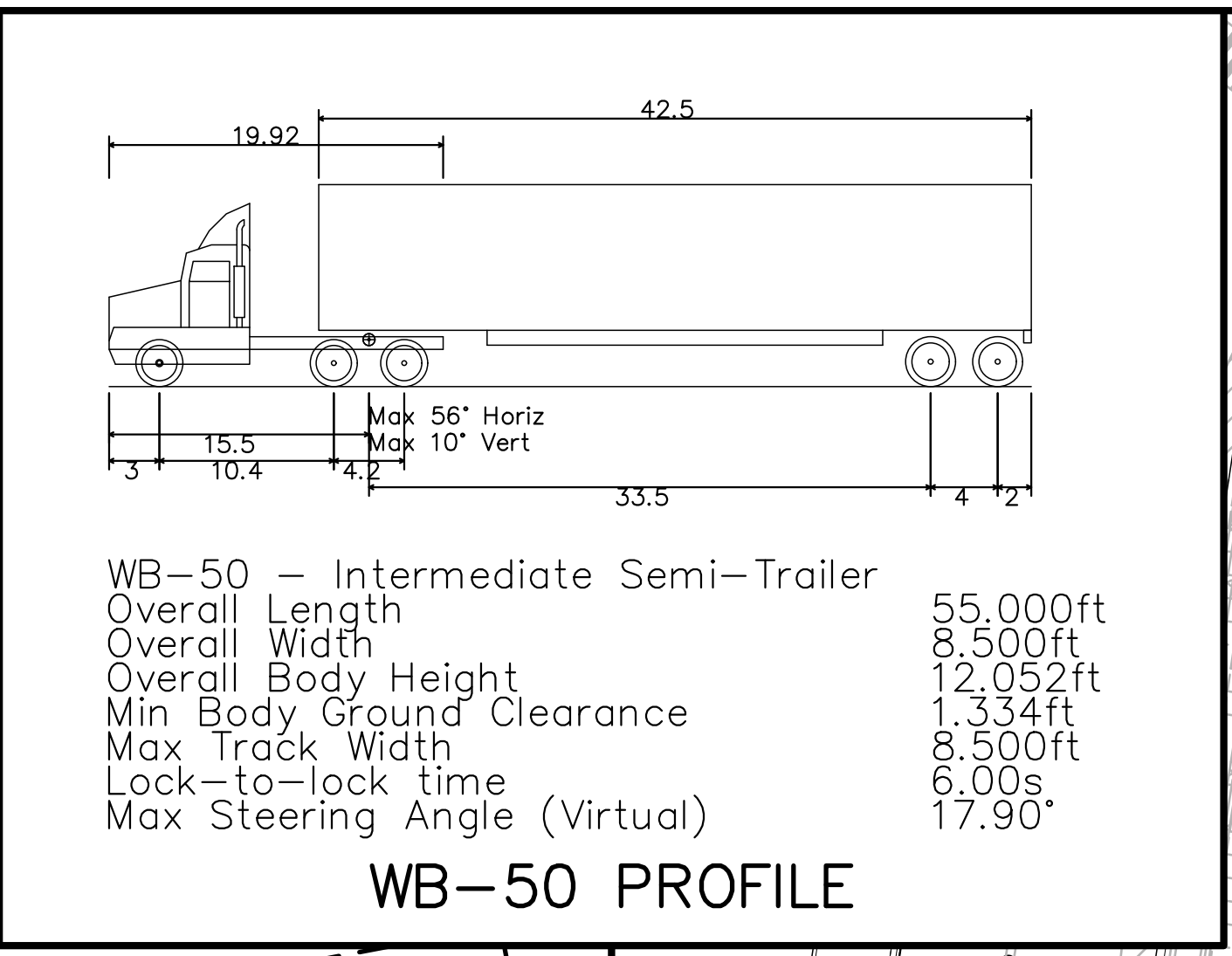
STAPLES PLAZA REDEVELOPMENT
 3303 CROMFORD ROAD
 YORKTOWN HEIGHTS, NY 10598

DESIGN	BMS	APPROVED	RA
SCALE	1"=20'		
DATE	08/31/2018		
PROJECT NO.	12148		
DRAWN	RA	CHECKED	RA
DATE	08-1	DATE	08-1
DRAWING NO.	TR-1		

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TRUCK ENTERING



TRUCK EXITING

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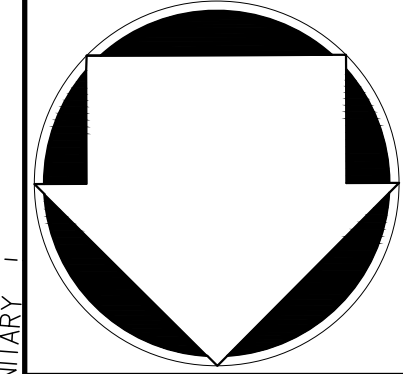
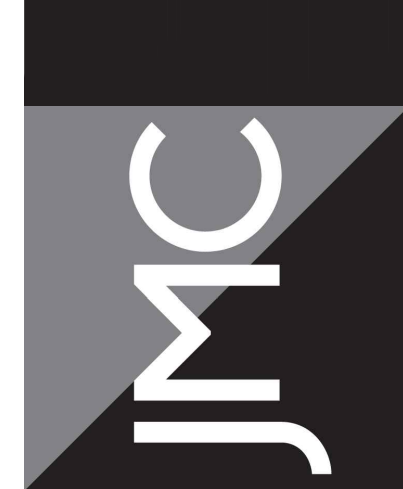
NO.	REVISION	DATE

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DUNKIN DONUTS TRUCK LOADING ANALYSIS PLAN
STAPLES PLAZA REDEVELOPMENT
 3303 CROMFORD ROAD
 YORKTOWN HEIGHTS, NY 10598

DATE: BMS APPROVED: RA
 SCALE: 1"=20'
 DATE: 08/31/2018
 PROJECT NO: 12148
 SHEET: 18-2 OF 18

TR-2