



PRELIMINARY SITE PLAN

FOR

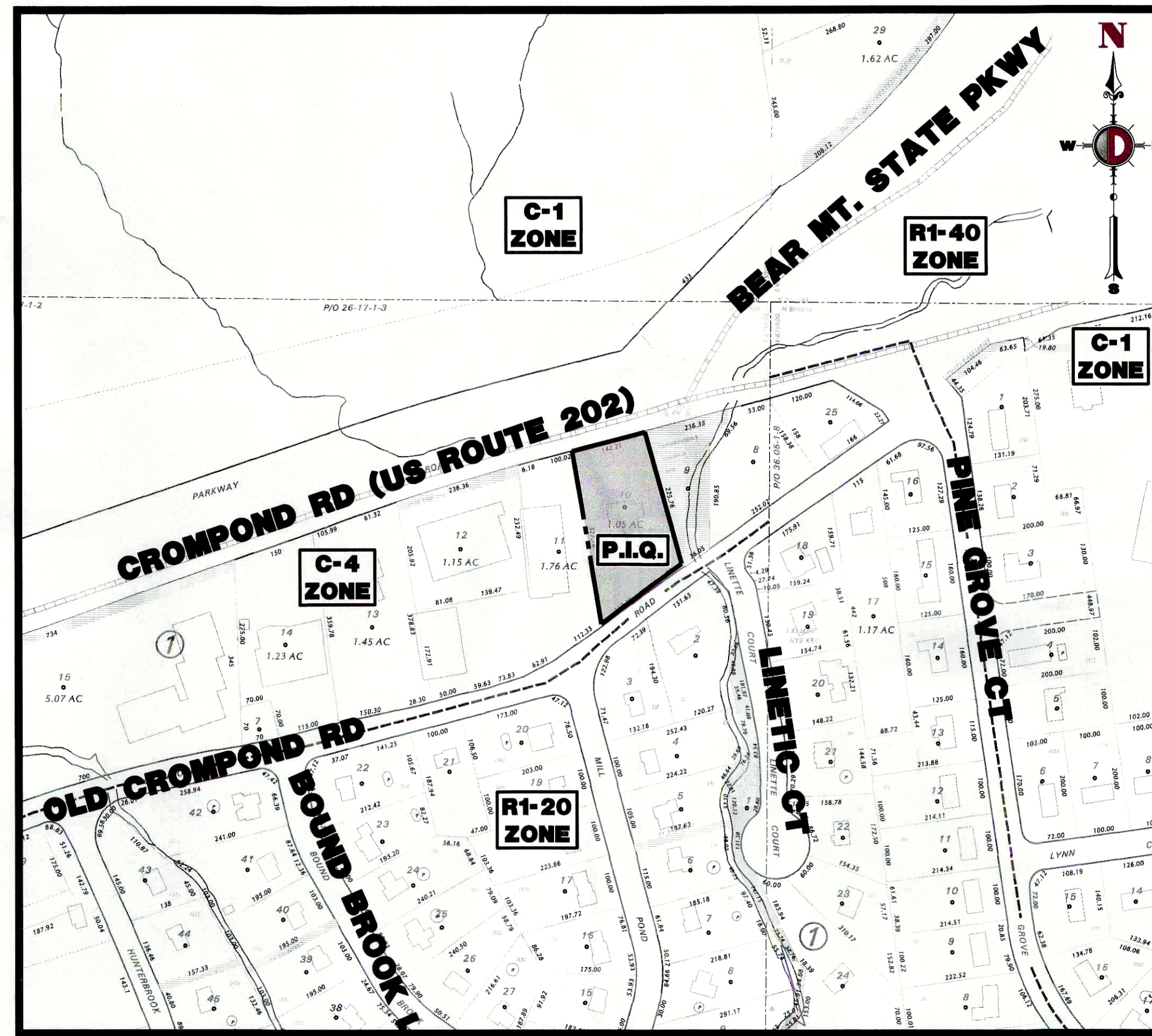
McDONALD'S CORPORATION

PROPOSED RESTAURANT REMODEL

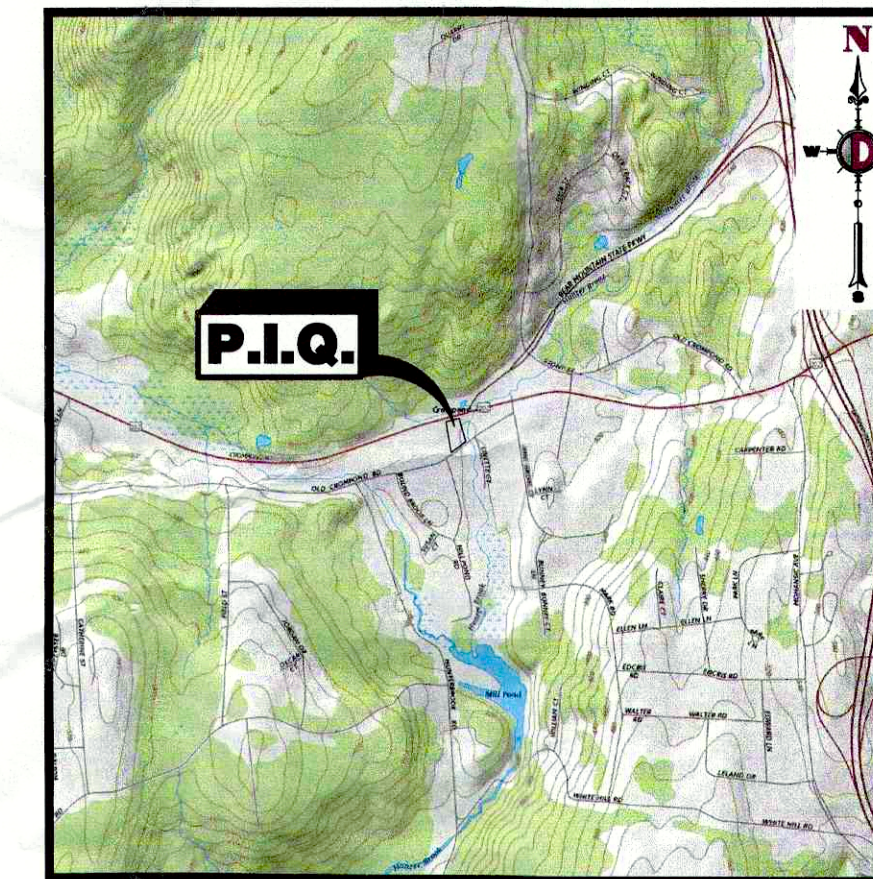
BLOCK 1, LOT 10; TAX MAP SHEET #36.05 - LATEST REV. DATED 07/23/2013
 3481 CROMPOND ROAD (US ROUTE 202/STATE ROUTE 35)
 TOWN OF YORKTOWN
 WESTCHESTER COUNTY, NEW YORK

ABUTTING PROPERTY OWNER'S LIST

| BLOCK | LOT | OWNER |
|-------|-----|--|
| 1 | 1 | STATE LAND CORP 3967 PROVOST AVE BRONX, NY 10466 |
| 1 | 8 | STATE OF NEW YORK DEPT. OF TRANSPORTATION 4 BURNETT DRIVE POUGHKEEPSIE, NY 12603 |
| 2 | 2 | LOPEZ, KENNETH & ZAMBRANA, SHANDIZET 3483 OLD CROMPOND ROAD YORKTOWN HEIGHTS, NY 10598 |
| 2 | 3 | AVILA, LUIS JR. & CINA 2494 MILL POND STREET YORKTOWN HEIGHTS, NY 10598 |
| 1 | 11 | B.F. CURRY, LLC 727 CENTRAL AVENUE SCARSDALE, NY 10583 |



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

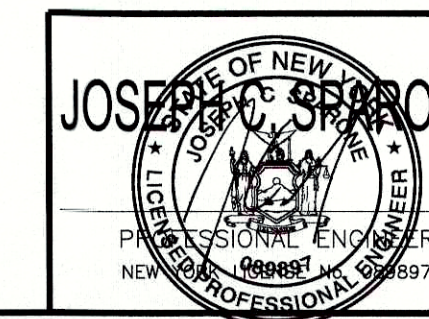
| DRAWING INDEX | |
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PLANNING BOARD APPROVAL

APPROVED BY THE PLANNING BOARD OF TOWN OF YORKTOWN, WESTCHESTER COUNTY, NEW YORK

| | |
|----------------|------|
| CHAIRMAN | DATE |
| SECRETARY | DATE |
| BOARD ENGINEER | DATE |

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
 245 MAIN STREET - SUITE 110
 CHESTER, NJ 07930
 WWW.DYNAMICEC.COM



TIAGO F. DUARTE
 PROFESSIONAL ENGINEER

APPROVED
 on the 14th day of June 2021
 Planning Board, Town of Yorktown, NY
 by Resolution Number 21-15
 Planning Board Chairman
 Date: April 11, 2022

| REV | DATE | DESCRIPTION |
|-----|----------|--|
| 13 | 02/04/22 | REVISED PER BUILDING REDESIGN |
| 12 | 09/14/21 | REVISED PER BUILDING DEPARTMENT COMMENTS |
| 11 | 06/04/21 | REVISED PER INDCEP COMMENTS |
| 10 | 11/04/20 | REVISED PER ABACA AND PLANNING BOARD COMMENTS |
| 9 | 04/13/20 | REVISED PER NEW BUILDING |
| 8 | 01/20/20 | REVISED PER INDCEP COMMENTS |
| 7 | 11/08/19 | REVISED PER PLANNING BOARD COMMENTS |
| 6 | 10/25/19 | REVISED PER BUREAU OF FIRE PREVENTION COMMENTS |
| 5 | 10/09/19 | REVISED PER PLANNING BOARD COMMENTS |

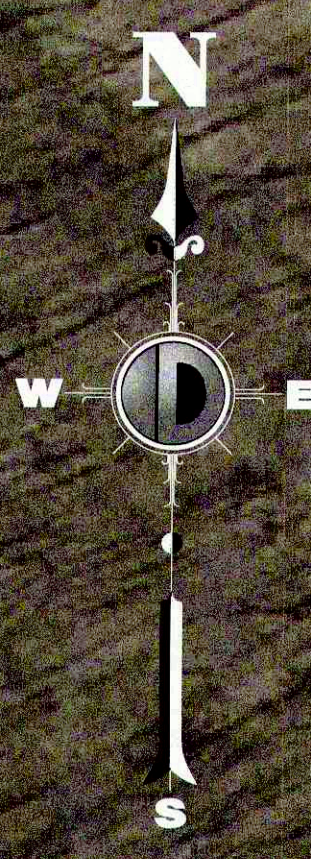
PREPARED BY:
DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • REMEDIATION • GEOLOGICAL • ENVIRONMENTAL • SURVEY • PLANNING & LENDING
 245 Main Street, Suite 110
 Chester, NJ 07930
 P: 908.771.0222
 F: 908.771.0223
 www.dynamicec.com

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 PREPARED FOR:
McDonald's USA, LLC
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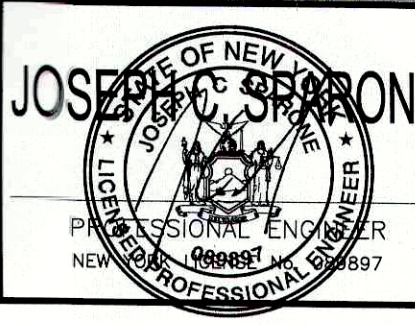
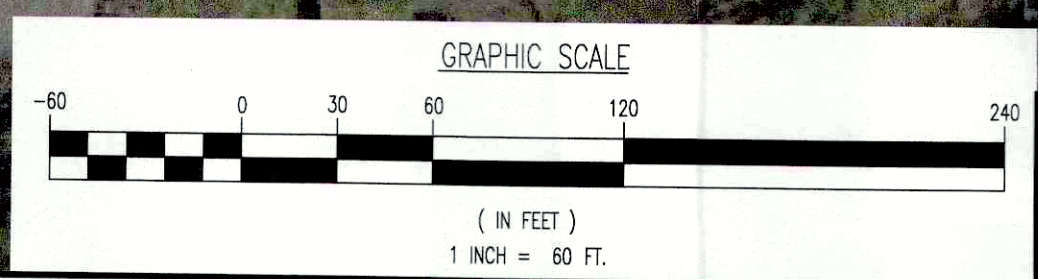
| | | |
|---------------|--|-----------------------------|
| L/C#: 31-0170 | L/C: YORKTOWN, NEW YORK | PROPOSED MCDONALD'S REMODEL |
| DATE | 12/28/2016 | COVER SHEET |
| SITE ADDRESS | 3481 CROMPOND ROAD, YORKTOWN, NY 10598 | 0114-99-146 |
| SHEET | 1 | OF 16 |

PlotNo: 03/24/22 - 1:00 PM, P: Francisco, Product: 24.14 (MS, Tech), Yorktown, NY, LC: 310170, File: P:\DEFC\PROJECTS\0114_McDonalds\31-0170.dwg (Site)

Plotted: 03/24/22 - 1:09 PM, By: zpercoakle, Product Ver: 24.11 (LMS Tech)
 File: P:\GEOPC PROJECTS\0114_McDonald's\146_Yorktown NY LC 310770\Dwg\Site Plans\011499146S1A13.dwg, ----> 02_AERIAL_MAP



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS BETWEEN MARCH AND MAY 2015. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

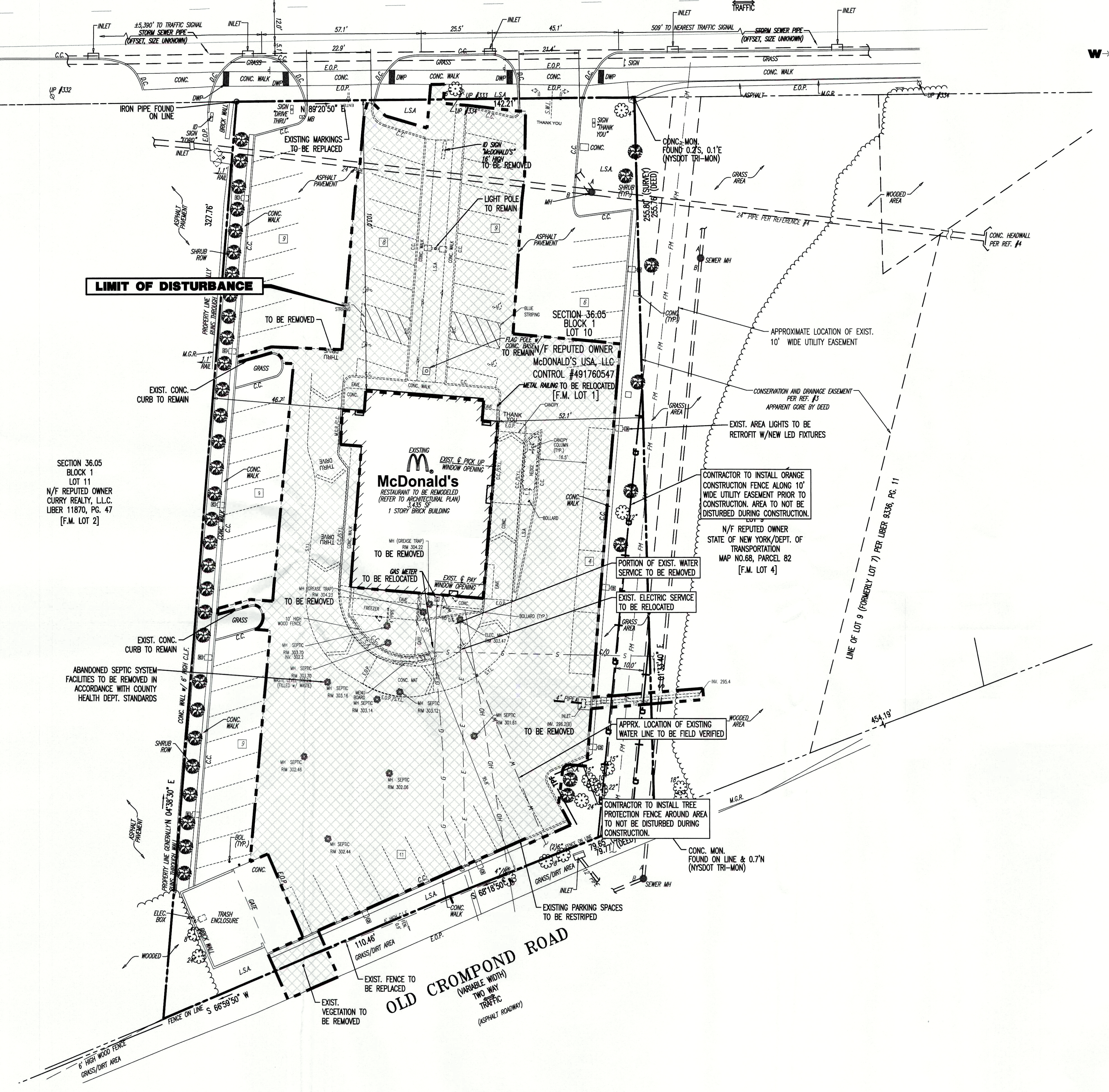
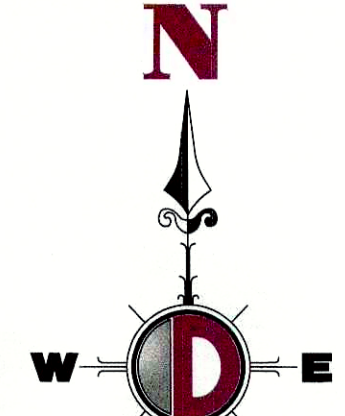


TIAGO F. DUARTE
 PROFESSIONAL ENGINEER

0114-99-146
C-2
 SHEET 2 OF 16

| | | | |
|---------------|--|-------------|--|
| L/C#: | 31-0170 | L/C: | YORKTOWN, NEW YORK |
| TITLE | PROPOSED MCDONALD'S REMODEL | | |
| DESCRIPTION | AERIAL MAP | | |
| SITE ID | 31-0170 | | |
| SITE ADDRESS | BLOCK 1, LOT 10, MP 365, 367, CROMPOND RD (U.S. ROUTE 202/DINE ROUTE 35), TOWN OF YORKTOWN, WESTCHESTER COUNTY, NEW YORK | | |
| DATE | 12/28/2018 | REVIEWED BY | ITD |
| ISSUED | 12/28/2018 | DATE | 12/28/2018 |
| DRAWN BY | KFG | STD | ISSUE DATE |
| PREPARED FOR: | McDonald's USA, LLC | | |
| PREPARED BY: | DYNAMIC ENGINEERING | | |
| REVISIONS | REV | DATE | DESCRIPTION |
| 13 | 02/04/22 | | REVISED PER BUILDING DEPARTMENT |
| 12 | 09/14/21 | | REVISED PER NYCDP COMMENTS |
| 11 | 06/04/21 | | REVISED PER ABACA AND PLANNING BOARD COMMENTS |
| 10 | 11/04/20 | | REVISED PER NYCDP COMMENTS |
| 9 | 04/13/20 | | REVISED PER NEW BUILDING |
| 8 | 01/20/20 | | REVISED PER NYCDP COMMENTS |
| 7 | 11/09/19 | | REVISED PER PLANNING BOARD COMMENTS |
| 6 | 10/25/19 | | REVISED PER BUREAU OF FIRE PREVENTION COMMENTS |
| 5 | 10/09/19 | | REVISED PER PLANNING BOARD COMMENTS |

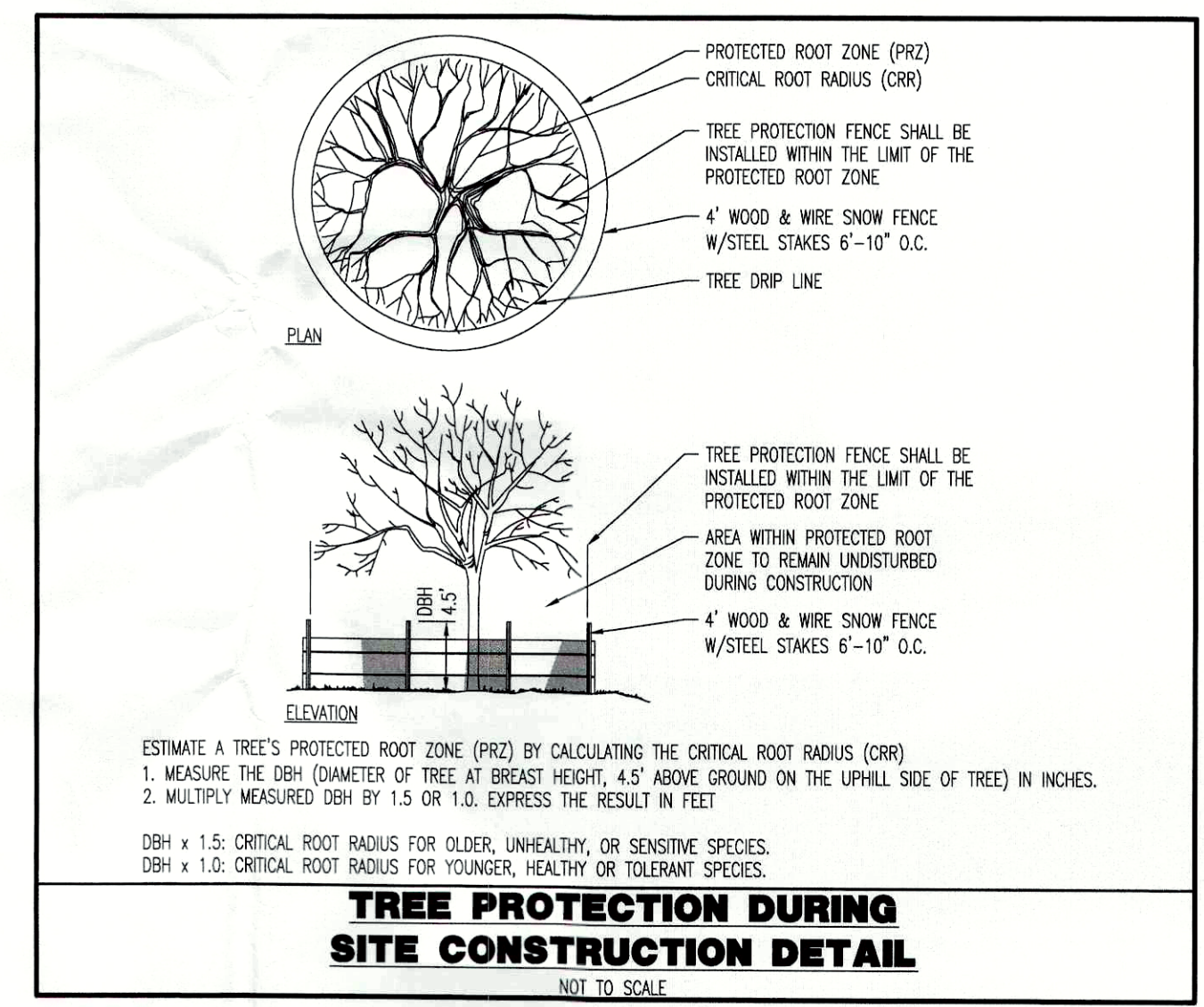
CROMPOD ROAD
(A.K.A. U.S. ROUTE 202)
(A.K.A. NEW YORK STATE ROUTE 35)
(VARIABLE WIDTH)
TWO WAY TRAFFIC



- DEMOLITION NOTES**
1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
 3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
 4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
 5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOISTS, DERRICKS OR OTHER SUITABLE METHODS.
 6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
 7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
 8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
 9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR, BREAK BASEMENT FLOOR SLABS, SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
 10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
 11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
 12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
 13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
 14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
 15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND. REMOVE FROM HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
 16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
 17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
 18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

| REVISED PER BUILDING DEPARTMENT COMMENTS | REVISED PER NYSDOT COMMENTS | REVISED PER ABAKA AND PLANNING BOARD COMMENTS | REVISED PER NYDOP COMMENTS | REVISED PER PLANNING BOARD COMMENTS | REVISED PER BUREAU OF FIRE PREVENTION COMMENTS | REVISED PER PLANNING BOARD COMMENTS | DESCRIPTION |
|--|-----------------------------|---|----------------------------|-------------------------------------|--|-------------------------------------|-------------|
| 13 | 02/04/22 | | | | | | DATE |
| 11 | 08/04/21 | | | | | | REV |
| 10 | 11/04/20 | | | | | | |
| 9 | 04/13/20 | | | | | | |
| 8 | 01/20/20 | | | | | | |
| 7 | 11/08/19 | | | | | | |
| 6 | 10/25/19 | | | | | | |
| 5 | 10/09/19 | | | | | | |

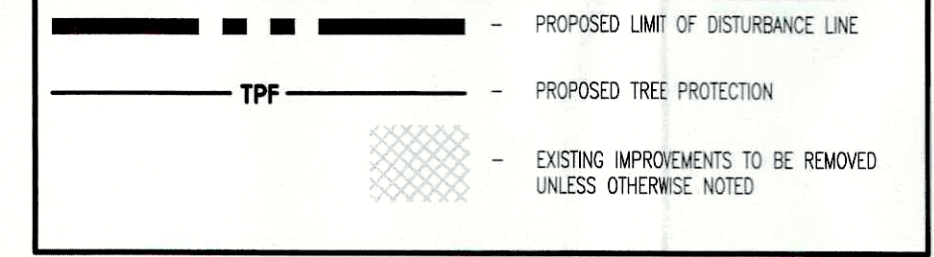
- NOTES**
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
 2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.



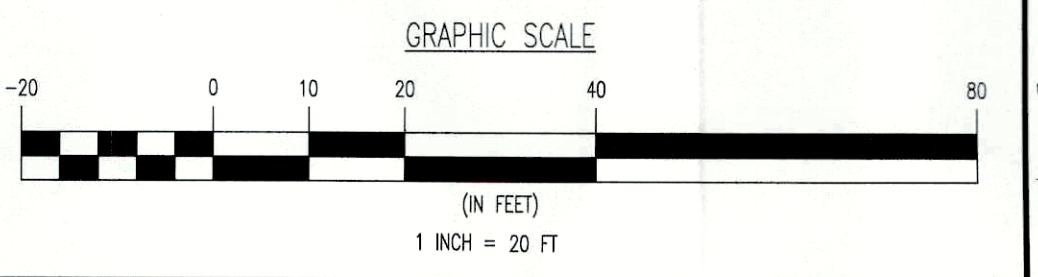
TREE PROTECTION DURING SITE CONSTRUCTION DETAIL
 NOT TO SCALE

- ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR)
1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5' ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
 2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET
- DBH x 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.
 DBH x 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.

DEMOLITION PLAN LEGEND



APPROVED
 Resolution Number **21-15**
 Date **June 14, 2021**



Printed: 03/24/22 - 1:09 PM, By: jperreaults, Product Ver: 24.1a (LMS Tech), File: F:\DEPCO PROJECTS\0114_McDonald's 89-146_Yorktown, NY LC 310170\Dem\Site Plans\011489146SR13.dwg, --> 03 DEMOLITION PLAN

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 PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

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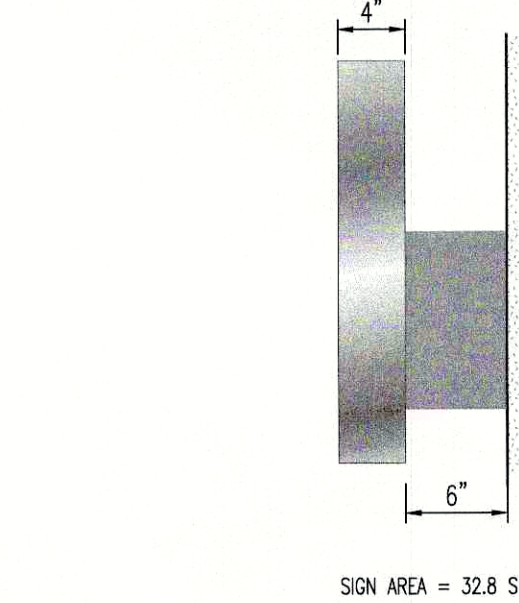
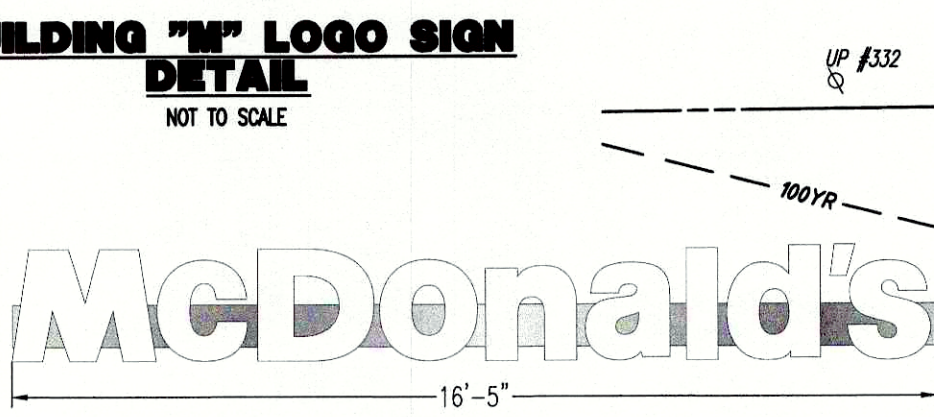
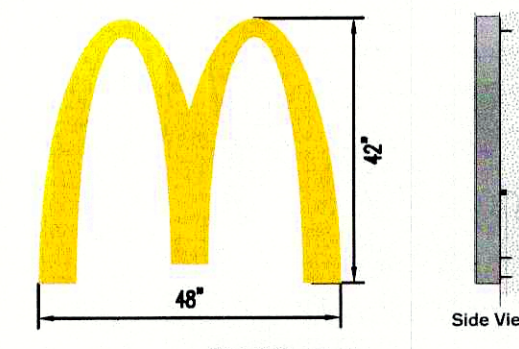
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 LAND DEVELOPMENT CONSULTING • REMEDIATION • ENVIRONMENTAL • SURVEY • PLANNING & DESIGN

McDonald's USA, LLC

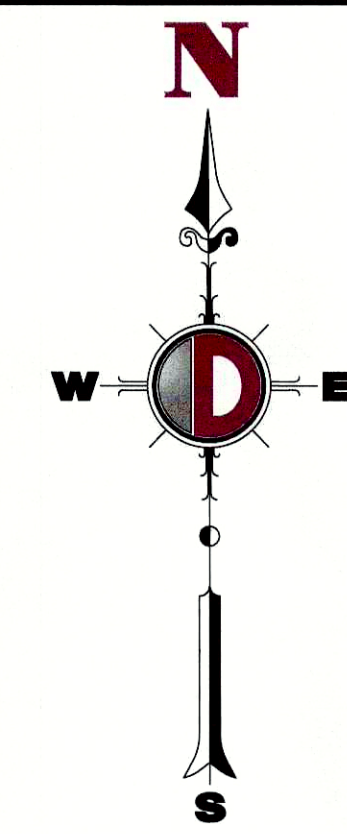
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| | |
|---|--|
| PREPARED FOR: McDonald's USA, LLC 11870, PG. 47 [F.M. LOT 2] | PREPARED BY: Joseph C. Spurrone Professional Engineer No. 1897 |
| THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION | DATE: 12/29/2018 ISSUED BY: JCS ISSUED FOR: JCS |
| PROJECT: PROPOSED McDONALD'S REMODEL | DATE: 12/29/2018 ISSUED BY: JCS ISSUED FOR: JCS |
| SITE ADDRESS: 11870, PG. 47, CROMPOD RD, YORKTOWN, NY 11973 | PROJECT NO.: 31-0170 |



BUILDING ID SIGN DETAIL NOT TO SCALE

CROMPOND ROAD (A.K.A. U.S. ROUTE 202) (A.K.A. NEW YORK STATE ROUTE 35) (VARIABLE WIDTH) TWO WAY



GENERAL NOTES

- 1. THIS PLAN REFERENCE: BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY GALLUS SURVEYING GROUP... 2. OWNER/APPLICANT: MCDONALD'S CORPORATION... 3. PARCEL DATA: LOT: 10, BLOCK: 1, MAP: 36.05... 4. SCHEDULE OF ZONING REQUIREMENTS: §300 ATTACHMENT 2 APPENDIX B...

Table with 3 columns: ZONE REQUIREMENT, EXISTING, PROPOSED. Rows include MINIMUM LOT AREA, MINIMUM LOT WIDTH, MINIMUM LOT DEPTH, MINIMUM PRINCIPAL BUILDING SETBACK, etc.

REQUIRED PARKING: 1 SPACE PER 50 SF OF FLOOR AREA DEVOTED TO PATRON USE + 1 SPACE PER 100 SF OF FOOD PREPARATION...

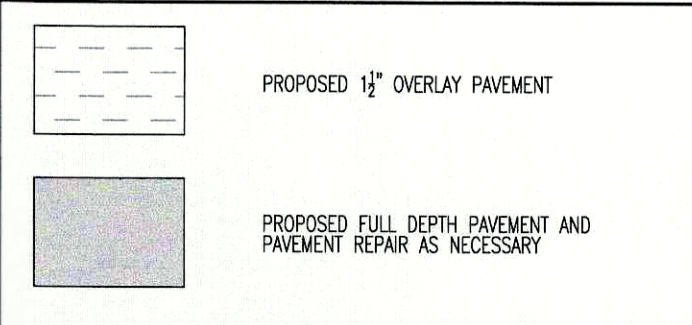
FOR RETAIL AND SERVICE BUSINESS ESTABLISHMENTS, RESTAURANTS AND OTHER PLACES SERVING FOOD AND BEVERAGES, ONE SPACE FOR THE FIRST 4,000 SQUARE FEET OF FLOOR AREA...

- 7. THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN... 8. PRIOR TO STARTING CONSTRUCTION... 9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS... 10. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.

SIGN REQUIREMENTS (§300 ATTACHMENT 4)

Table with columns: SIGN, REQUIREMENTS, EXISTING, PROPOSED. Rows include BUILDING, FREESTANDING, NUMBER OF FACADE SIGNS, MAXIMUM SIGN AREA, etc.

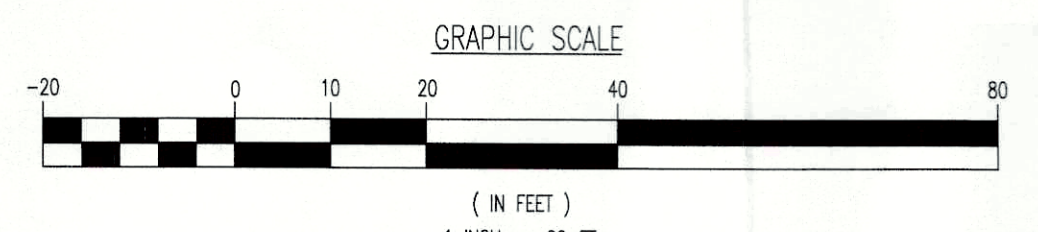
PAVEMENT LEGEND



TOWN NOTE:

- 1. FIRE ACCESS LANE SHALL BE MAINTAINED FREE OF OBSTRUCTIONS INCLUDING PARKED VEHICLES AND SNOW AT ALL TIMES... 2. APPLICANT TO SERVICE ULTRA URBAN FILTER AT LEAST TWICE PER YEAR PER OEM MANUAL.

APPROVED Resolution Number 21-15 Date June 17, 2021



JOSEPH C. SPARONE PROFESSIONAL ENGINEER NEW YORK STATE LICENSE NO. 09887

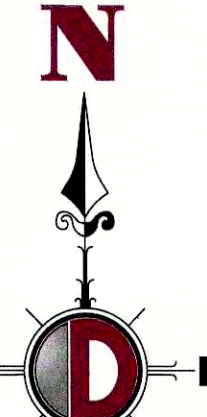
TIAGO F. DUARTE PROFESSIONAL ENGINEER NEW YORK STATE LICENSE NO. 09887

Product: 03/24/22 - 1:09 PM, Br: macreale, Product Ver: 24.1.0 (LMS Test), File: P:\BPC\PROJECTS\0114_McDonald's\99-146_Yorktown_NY_LG_310170\Drawings\04_Site Plan

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Vertical sidebar containing: REVISIONS table, DYNAMIC ENGINEERING logo, McDonald's USA, LLC logo, and SITE PLAN APPROVAL table.

CROMPOND ROAD
(A.K.A. U.S. ROUTE 202)
(A.K.A. NEW YORK STATE ROUTE 35)
(VARIABLE WIDTH)



GRADING/UTILITY GRAPHIC LEGEND

| | | | |
|-----|------------------------------------|-----|--|
| --- | PROPERTY LINE (PARCEL IN QUESTION) | --- | PROP. CABLE LINE |
| --- | OFF-SITE PROPERTY LINES | --- | PROP. ELECTRIC LINE |
| --- | | --- | PROP. FIBER OPTIC LINE |
| --- | | --- | PROP. FUEL LINE |
| --- | | --- | PROP. OVERHEAD WIRES |
| --- | | --- | PROP. TELEPHONE LINE |
| --- | | --- | PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED) |
| --- | | --- | PROP. WATER LINE |
| --- | | --- | PROP. SANITARY SEWER LINE |
| --- | | --- | PROP. STORM DRAIN LINE |
| --- | | --- | PROP. FINISH GRADE CONTOUR & ELEVATION |
| --- | | --- | PROP. GRADE SPOT ELEV. |
| --- | | --- | PROP. TOP OF CURB & FINISHED GRADE ELEV. |
| --- | | --- | PROP. FINISHED FLOOR ELEV. |
| --- | | --- | PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL FACTOR OF BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER |
| --- | | --- | PROP. TOP OF EXTENDED CURB (OH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (G) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB |
| --- | | --- | PROP. DIRECTION OF DRAINAGE FLOW ARROW |
| --- | | --- | PROP. WATER VALVE |
| --- | | --- | PROP. GAS VALVE |
| --- | | --- | PROP. STORM CLEANOUT |
| --- | | --- | PROP. SANITARY CLEANOUT |
| --- | | --- | PROP. AREA LIGHT |
| --- | | --- | PROP. OUTLET CONTROL STRUCTURE |
| --- | | --- | PROP. DRAINAGE MANHOLE |
| --- | | --- | PROP. SANITARY SEWER MANHOLE |
| --- | | --- | PROP. "A" INLET |
| --- | | --- | PROP. "B" INLET |
| --- | | --- | PROP. "C" INLET |
| --- | | --- | PROP. "D" INLET |
| --- | | --- | PROP. "E" INLET |
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| --- | | --- | PROP. "N" INLET |
| --- | | --- | PROP. "O" INLET |
| --- | | --- | PROP. "P" INLET |
| --- | | --- | PROP. "Q" INLET |
| --- | | --- | PROP. "R" INLET |
| --- | | --- | PROP. "S" INLET |
| --- | | --- | PROP. "T" INLET |
| --- | | --- | PROP. "U" INLET |
| --- | | --- | PROP. "V" INLET |
| --- | | --- | PROP. "W" INLET |
| --- | | --- | PROP. "X" INLET |
| --- | | --- | PROP. "Y" INLET |
| --- | | --- | PROP. "Z" INLET |

GRADING NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OPTIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE TOWARD ALL ISLAND GUTTERS, CURBS AND 1/2" MIN. ON 1/2" MIN. ON ASPHALT TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL GUTTERING OUT SHEETS PRIOR TO INSTALLATION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
- CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESSIBLE ROUTES. CONTRACTOR TO ENSURE A MAXIMUM OF 2% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTES WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-878-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITH ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
- CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNERS GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

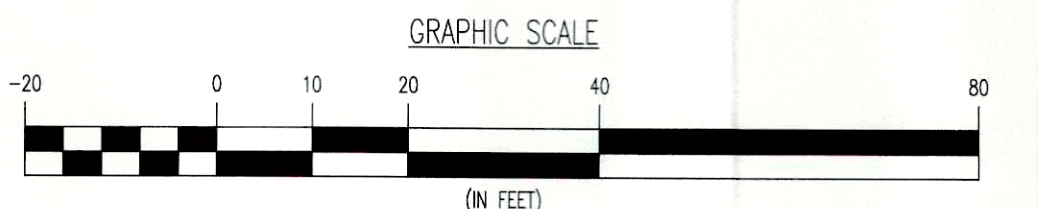
EXISTING UTILITY NOTES

- EXISTING WATER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- EXISTING GAS SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.
- SANITARY SEWER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

SANITARY SEWER & WATER DEMAND NOTES

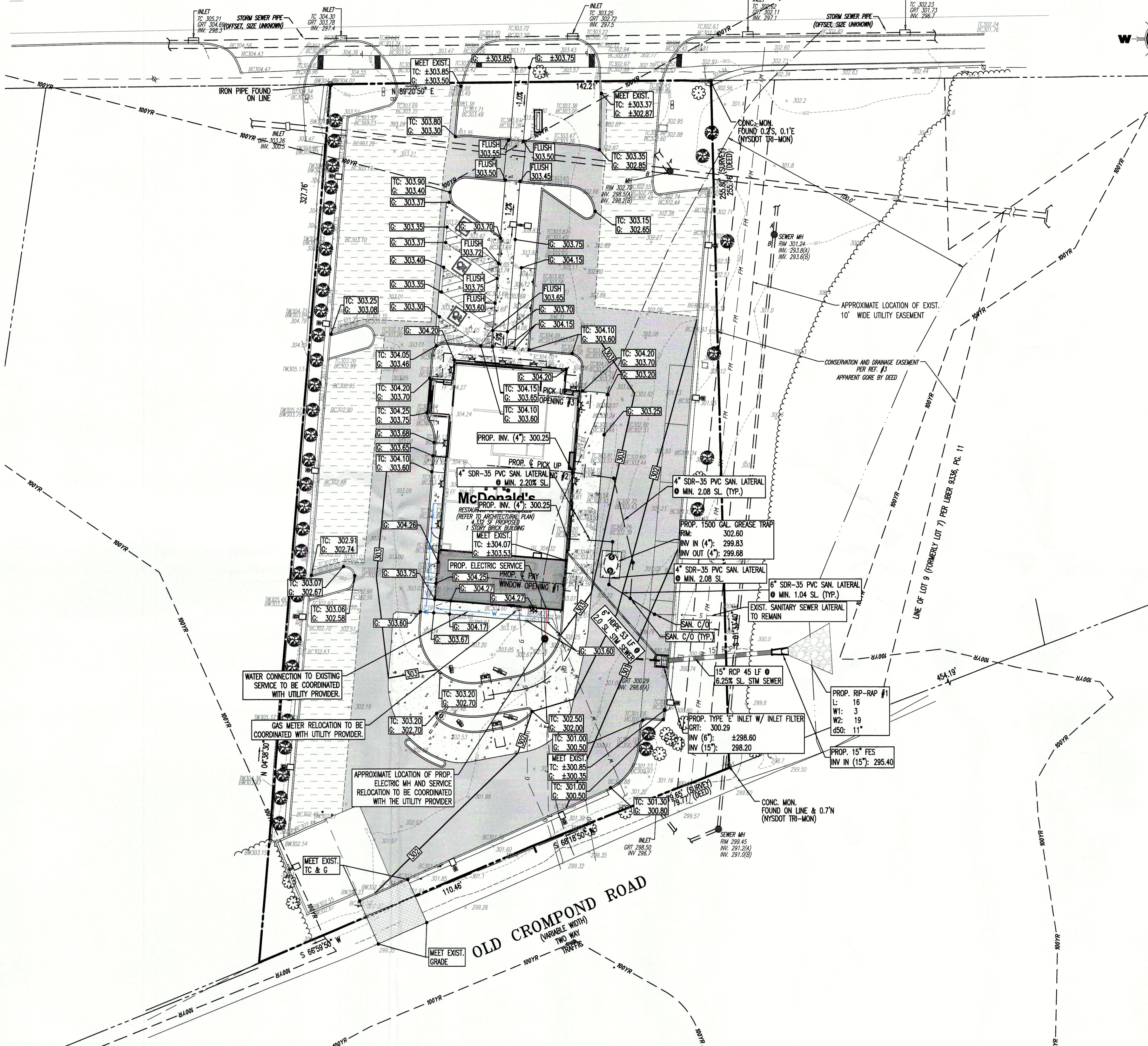
FAST FOOD RESTAURANT: 25 GPD/SEAT + 500 GPD/DRIVE-THRU WINDOW
THEREFORE:
EXISTING: 78 SEATS * 25 GPD/SEAT + 2 WINDOWS * 500 GPD/SEAT
TOTAL EXISTING DEMAND: 2,550 GPD
PROPOSED: 55 SEATS * 25 GPD/SEAT + 3 WINDOWS * 500 GPD/SEAT
TOTAL PROPOSED DEMAND: 2,875 GPD
* PER MYSDC DESIGN STANDARDS TABLE B-3

APPROVED
Resolution Number 21-15
Date June 14, 2021



JOSEPH S. SPARONE
PROFESSIONAL ENGINEER
NEW YORK STATE LICENSE NO. 10987

TIAGO F. DUARTE
PROFESSIONAL ENGINEER



| | | |
|----------|-----|--|
| DATE | REV | DESCRIPTION |
| 02/04/22 | 13 | REVISED PER BUILDING DEPARTMENT |
| 06/04/21 | 11 | REVISED PER NYCDOT COMMENTS |
| 04/13/20 | 9 | REVISED PER ABICA AND PLANNING BOARD COMMENTS |
| 01/20/20 | 8 | REVISED PER NYCDOT COMMENTS |
| 11/06/19 | 7 | REVISED PER BUREAU OF FIRE PREVENTION COMMENTS |
| 10/29/19 | 5 | REVISED PER PLANNING BOARD COMMENTS |
| 02/04/22 | 13 | REVISED PER BUILDING DEPARTMENT |
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| 11/06/19 | 7 | REVISED PER BUREAU OF FIRE PREVENTION COMMENTS |
| 10/29/19 | 5 | REVISED PER PLANNING BOARD COMMENTS |



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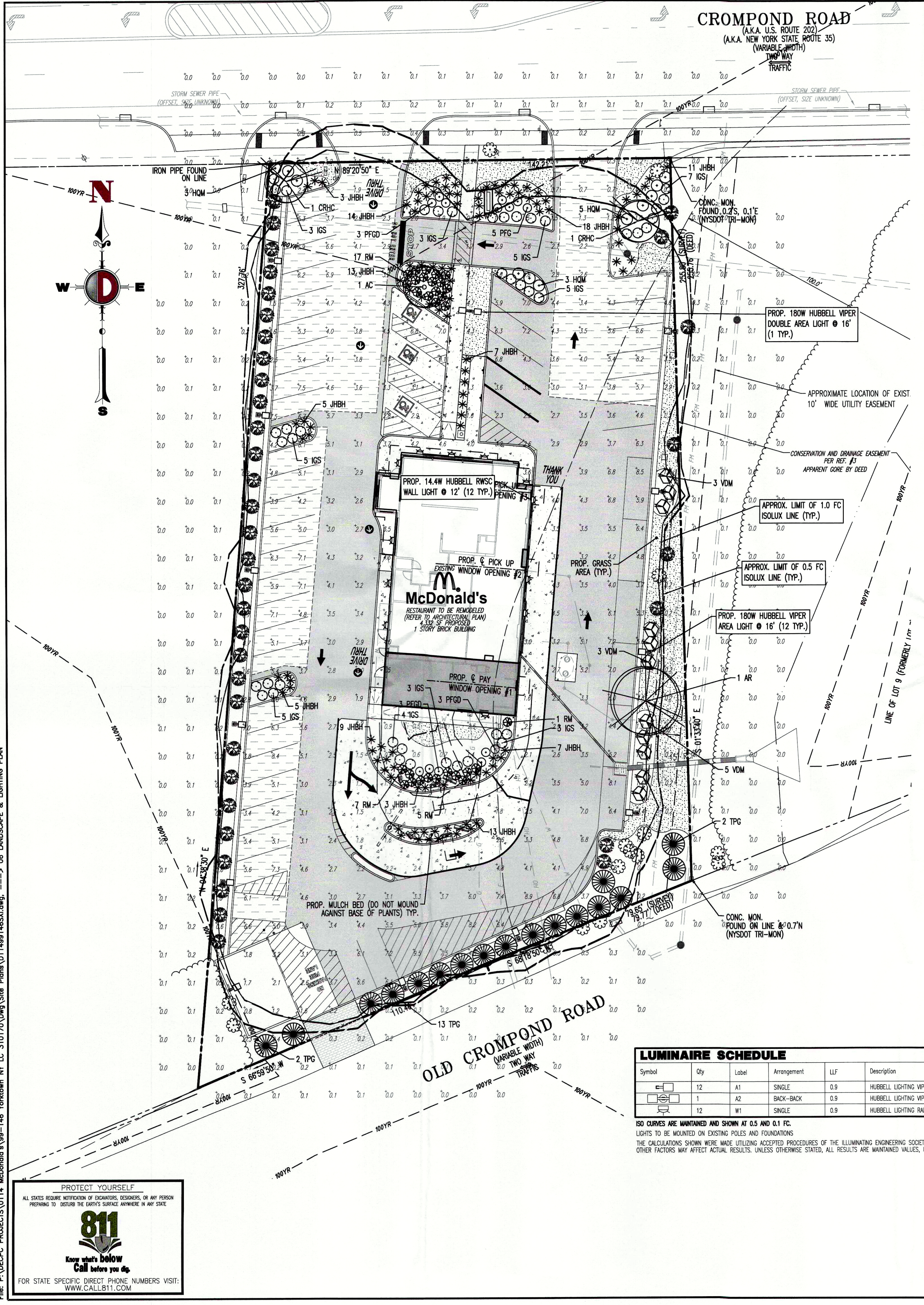
PROPOSED MCDONALD'S REMODEL
GRADING, DRAINAGE & UTILITY PLAN
SHEET 5 OF 16

Product Ver: 24.1s (LMS Tech)
McDonald's USA, LLC
Site Plan
31-0170
L/C/F: 31-0170
YORKTOWN, NEW YORK
DATE: 12/28/2018
REVIEWED BY: JFD
DATE ISSUED: 12/28/2018
SHEET 5 OF 16

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF ENGINEERS, ARCHITECTS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.

811
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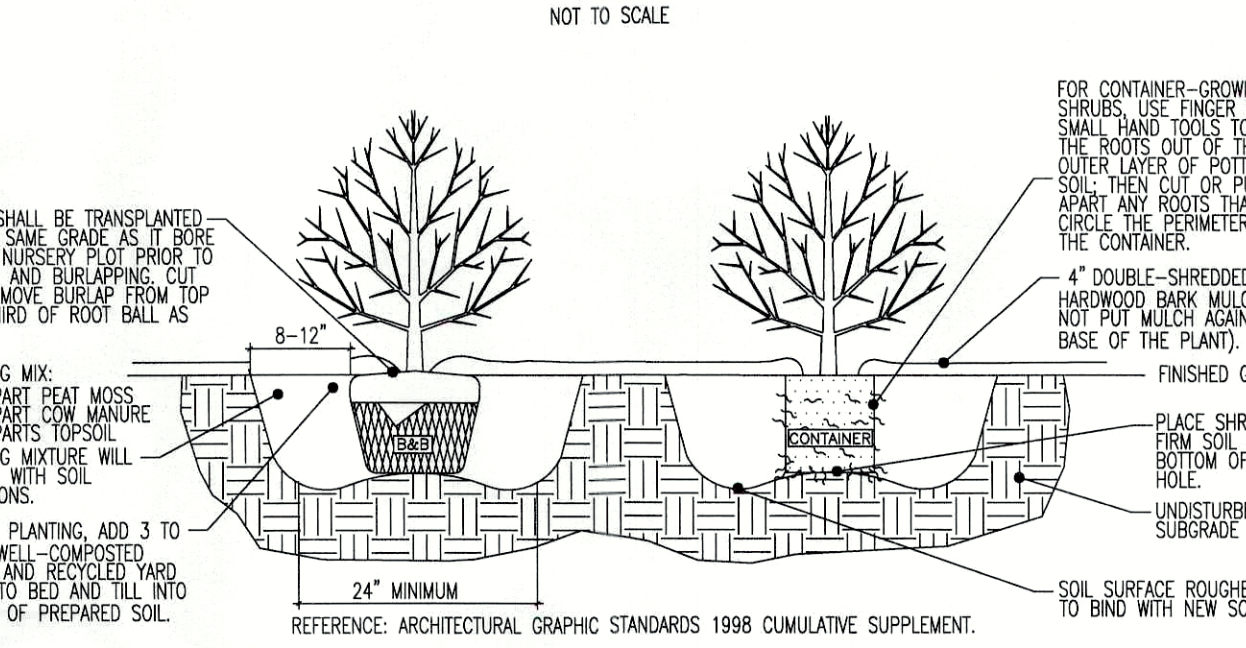
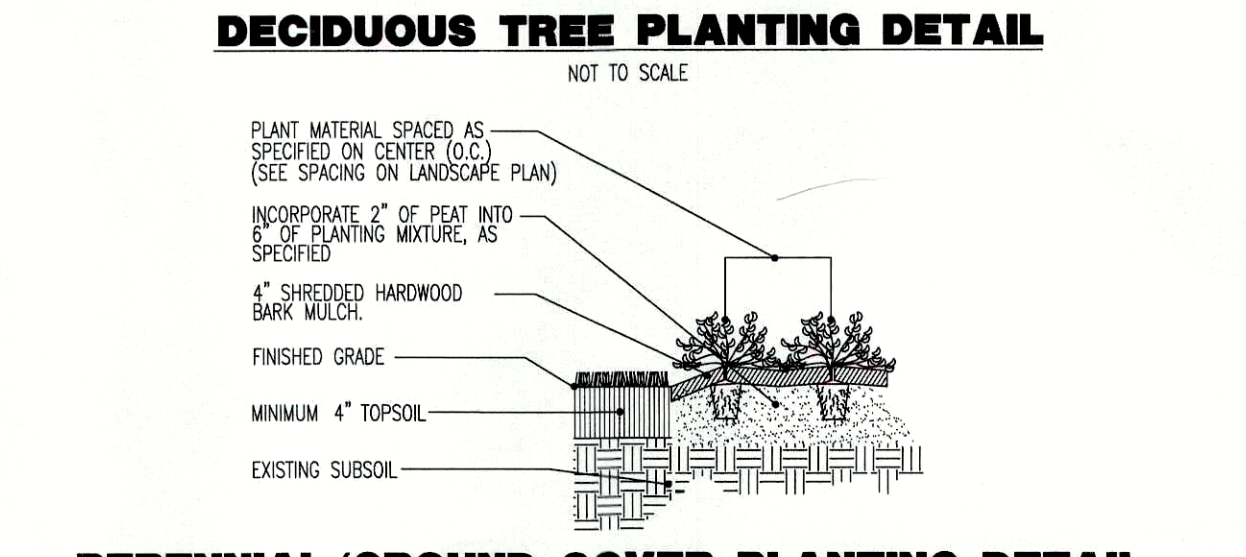
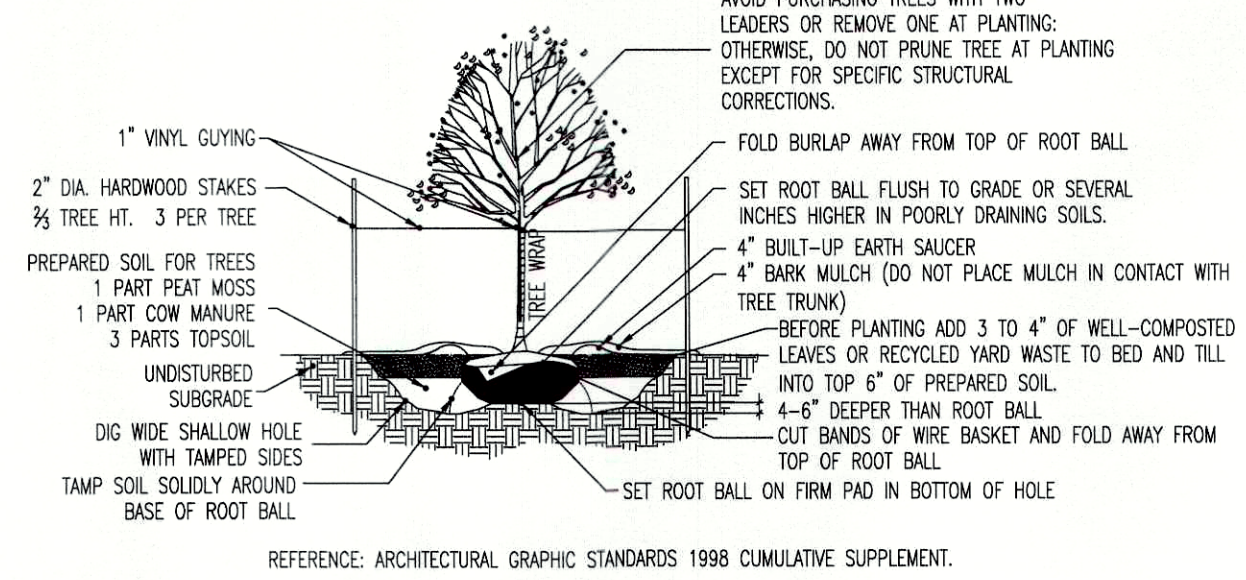


- NOTES:**
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
 3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
 4. THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2.3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.
 6. REMOVE GUY WIRING 12-18 MONTHS AFTER PLANTING.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE & LIGHTING PURPOSES ONLY

PLANTING SPECIFICATIONS

1. SCOPE OF WORK
2. MATERIALS
3. GENERAL
4. FERTILIZER AND SOIL CONDITIONER
5. WEEDING
6. TOPSOIL
7. SOIL CONDITIONING



LANDSCAPE SCHEDULE

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | SIZE | REMARKS |
|----------|-----|-------------------------------------|---------------------------------------|---------------|---------|
| AR 1 | 1 | ACER RUBRUM | RED MAPLE | 2 1/2-3" CAL. | B+B |
| AC 1 | 1 | AMELANCHIER CANADENSIS | MULTI STEM SHADBLOW SERVICEBERRY | 8-10" | B+B |
| CRHC 2 | 2 | CORNUS RUTICA 'C' | CONSTELLATION DOGWOOD HYBRID | 2-2 1/2" CAL. | B+B |
| IGS 41 | 41 | ILEX GLABRA 'SHAMROCK' | SHAMROCK HAWKERS HOLLY | 24-30" | #5 CAN |
| RM 30 | 30 | RHOISODENDRON MAXIMUM 'ROSEBAY' | ROSEBAY RHOISODENDRON | 4-5" | B+B |
| TPG 17 | 17 | THILIA PLICATA 'GREEN GIANT' | GREEN GIANT ARBORVITAE | 7-8" | B+B |
| IGS 90 | 90 | | | | |
| IGS 11 | 11 | HYDRANGEA QUERCIFOLIA 'MUNCHKIN' | MUNCHKIN OAKLEAF HYDRANGEA | 24-30" | #3 CAN |
| PGF 3 | 3 | POTENTILLA FRUTICOSA 'GOLDFINGER' | GOLDFINGER BUSH CINQUEFOIL | 18-24" | #3 CAN |
| PGF 9 | 9 | POTENTILLA FRUTICOSA 'GOLD DROP' | GOLD DROP CINQUEFOIL | 15-18" | #3 CAN |
| IGS 11 | 11 | VIOLARIA DENTATA 'MORTON' | NORTHERN BURGUNDY ARROWWOOD VIOLARIUM | 30-36" | #3 CAN |
| IGS 36 | 36 | | | | |
| JHFB 106 | 106 | JUNIPERUS HORIZONTALIS 'BAR HARBOR' | BAR HARBOR CREEPING JUNIPER | 15-18" SPRD. | #3 CAN |

- LIGHTING NOTES**
1. THIS LIGHTING PLAN REPRESENTS APPROXIMATE ILLUMINATION LEVELS IN ACCORDANCE WITH IES APPROVED METHODS. ACTUAL PERFORMANCE MAY VARY DUE TO VARIATIONS IN LAMP CONDITIONS, VOLTAGE AND OTHER VARIABLE FIELD CONDITIONS.

CALCULATION SUMMARY

| LABEL | CALC TYPE | UNITS | AVG | MAX | MIN | AVG/MIN | MAX/MIN |
|-----------|-------------|-------|------|-----|-----|---------|---------|
| STAT AREA | ILLUMINANCE | Fc | 3.97 | 9.5 | 0.2 | 19.85 | 47.5 |

LUMINAIRE SCHEDULE

| Symbol | Qty | Label | Arrangement | LF | Description | Filename | Lum. Watts | Lum. Lumens |
|--------|-----|-------|-------------|-----|---|------------------------------|------------|-------------|
| ⊞ | 12 | A1 | SINGLE | 0.9 | HUBBELL LIGHTING VPER L SERIES - LED VP-L-B0NB-180-SK-74-BL-C | VP-L-B0NB-180-SK-74-BL-C.ies | 180 | 12166 |
| ⊞ | 1 | A2 | BACK-2-2 | 0.9 | HUBBELL LIGHTING VPER L SERIES - LED VP-L-B0NB-180-SK-74-BL-C | VP-L-B0NB-180-SK-74-BL-C.ies | 180 | 12166 |
| ⊞ | 12 | W1 | SINGLE | 0.9 | HUBBELL LIGHTING RADIAL WALL SCONCE LED RWSC-36L-SK-00-U-PS | RWSC-36L-SK-00-U-PS.ies | 14.4 | 1565 |

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.

LIGHTS TO BE MOUNTED ON EXISTING POLES AND FOUNDATIONS.

THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

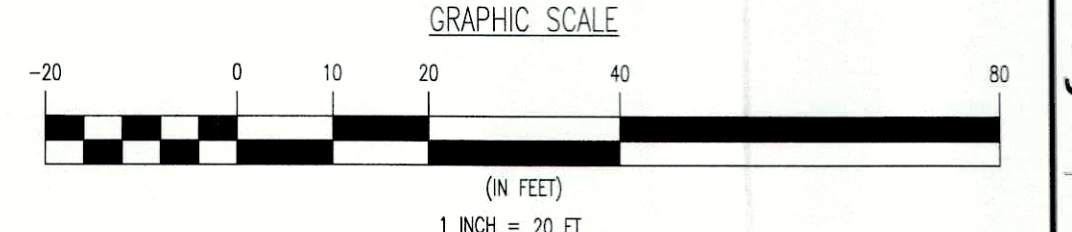
PLANTING NOTES

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND BACK FILL AND WATER THROUGHOUT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF LOCAL CLIMATE AND SOIL CONDITIONS. PLANTS SHOULD BE WELL DEVELOPED, BRANCHED, DENSELY FOLIATED, WOODRUST FREE AND BE FREE FROM DISEASE AND INJURY.
4. PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE PERIOD AT THE TIME OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE PERIOD OF THREE (3) YEARS FROM THE DATE OF DELIVERY.
5. INSURE AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL STORE PLANTS UNDER COVER AND WATER REGULARLY TO PREVENT DRYING. PLANTS NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY, ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
6. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
7. PLANTS SHALL BE PLANTED IN UNMULCHED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE USED IMMEDIATELY AFTER PLANTING. WATER SHALL BE USED TO SETTLE THE SOIL AROUND THE ROOT BALLS. MULCH SHALL BE APPLIED AFTER PLANTING.
8. ALL PLANTS SHALL BE PLANTED IN UNMULCHED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE USED IMMEDIATELY AFTER PLANTING. WATER SHALL BE USED TO SETTLE THE SOIL AROUND THE ROOT BALLS. MULCH SHALL BE APPLIED AFTER PLANTING.
9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE. ALL PLANTING OPERATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANTS SHALL NOT BE PLANTED IN FROZEN TOPSOIL. ALL PLANTING OPERATIONS SHALL BE PERFORMED LOCAL PRACTICE. PLANTS SHALL NOT BE PLANTED IN TOPSOIL THAT IS IN A MEDIUM TO HEAVY FROZEN CONDITION.
11. PLANT MATERIAL SHALL BE SPRAWLED WITH MULCH PRIOR TO PLANTING. MULCH SHALL BE APPLIED TO THE ENTIRE SURFACE OF THE PLANTING AREA. MULCH SHALL BE APPLIED TO THE ENTIRE SURFACE OF THE PLANTING AREA. MULCH SHALL BE APPLIED TO THE ENTIRE SURFACE OF THE PLANTING AREA.
12. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE. ALL PLANTING OPERATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANTS SHALL NOT BE PLANTED IN FROZEN TOPSOIL. ALL PLANTING OPERATIONS SHALL BE PERFORMED LOCAL PRACTICE. PLANTS SHALL NOT BE PLANTED IN TOPSOIL THAT IS IN A MEDIUM TO HEAVY FROZEN CONDITION.
13. ALL INJURED ROOTS SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING BRANCHES SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING BRANCHES SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS.
14. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING BRANCHES SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING BRANCHES SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS.
15. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING BRANCHES SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING BRANCHES SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS.
16. PLANTS SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (15-10-10) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY CREATING TREE PROTECTOR FENCE AT THE TRIP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
17. NEW PLANTING AREAS AND SOIL SHALL BE ADEQUATELY BRICKEDED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
18. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED AND MAINTAINED THROUGHOUT THE PERIOD OF THE PLANTING SEASON. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN THROUGHOUT THE PERIOD OF THE PLANTING SEASON. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN THROUGHOUT THE PERIOD OF THE PLANTING SEASON.
19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL, SEED SOIL STABILIZATION METHOD.

LEGEND

| | |
|---|-----------|
| ⊞ | TURF AREA |
|---|-----------|

APPROVED
Resolution Number 21-15
Date June 14, 2023



JOSUE TORRES TIAGO F. DUARTE
PROFESSIONAL ENGINEER
No. 09981
WESTCHESTER COUNTY, NEW YORK

| | | | |
|------|----------|----------|----|
| DATE | 10/25/19 | REVISION | 5 |
| DATE | 10/25/19 | REVISION | 6 |
| DATE | 11/08/19 | REVISION | 7 |
| DATE | 04/17/20 | REVISION | 8 |
| DATE | 11/04/20 | REVISION | 9 |
| DATE | 06/04/21 | REVISION | 10 |
| DATE | 09/14/21 | REVISION | 11 |
| DATE | 02/04/22 | REVISION | 13 |

PREPARED BY: **McDonald's USA, LLC**

DRAWN BY: **JTC/RRR**

DATE ISSUED: **12/28/2019**

REVIEWED BY: **TFD**

DATE ISSUED: **12/28/2019**

PROJECT: **PROPOSED MCDONALD'S REMODEL**

DESCRIPTION: **LANDSCAPE & LIGHTING PLAN**

SHEET: **C-6** OF 16

DATE: **03/24/22**

PROJECT: **McDonald's 0114**

FILE: **P:\DEPCP\PROJECTS\0114\011401140114\Site\011401140114.dwg**

PRODUCT: **24.1s (LMS Tech)**

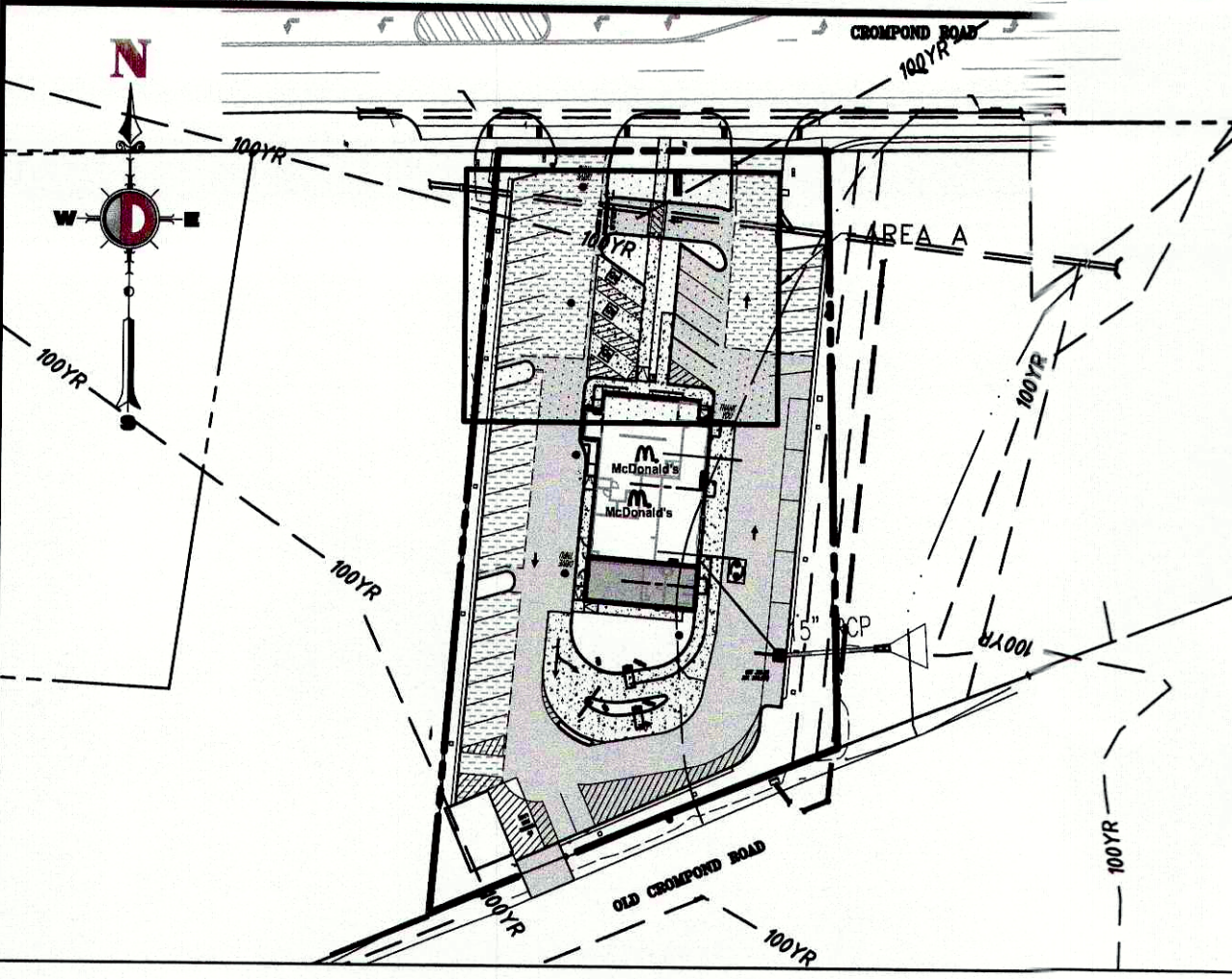
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TIME: **11:10 PM**

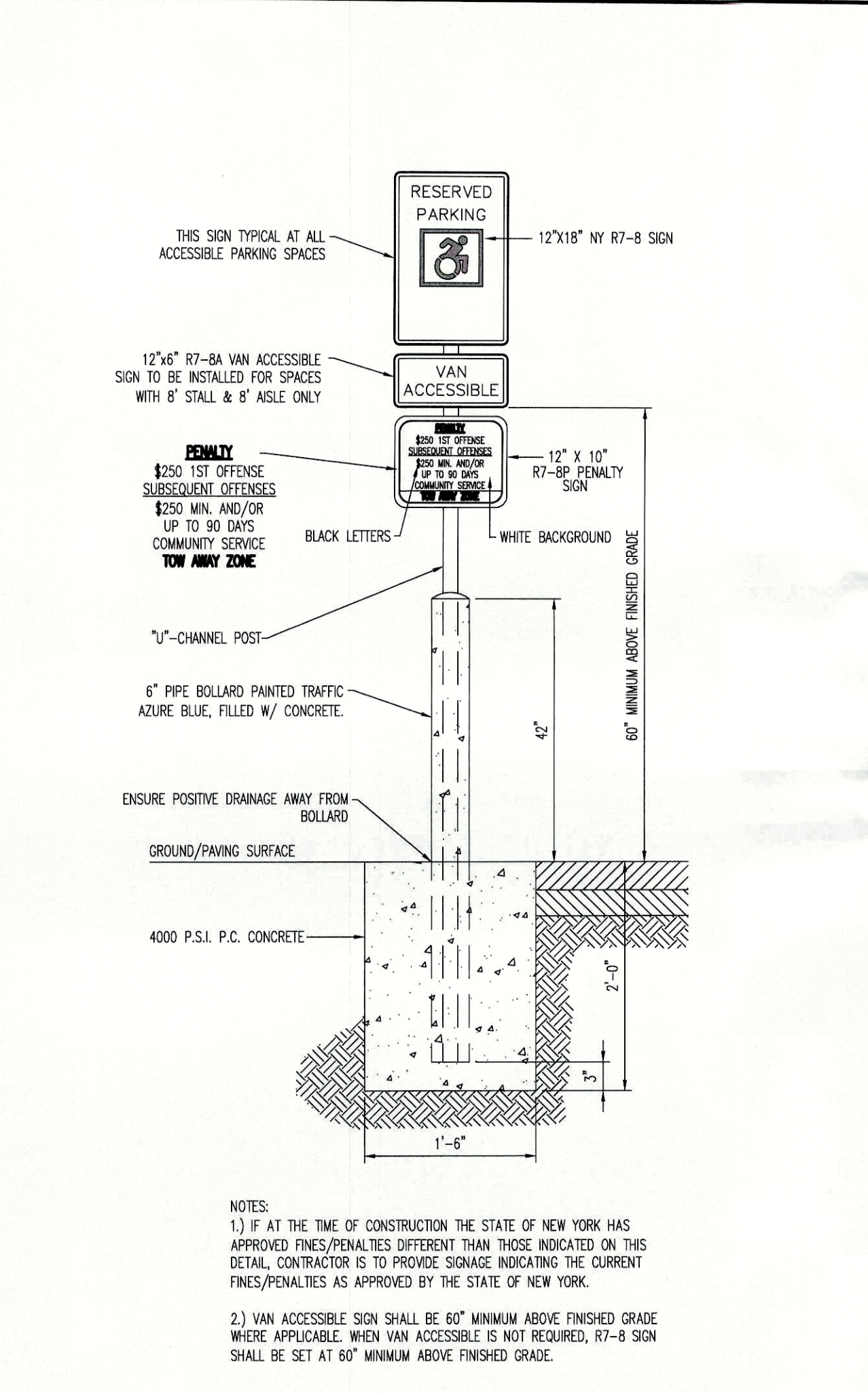
BY: **zrcoz**

PROJECT: **McDonald's 0114**

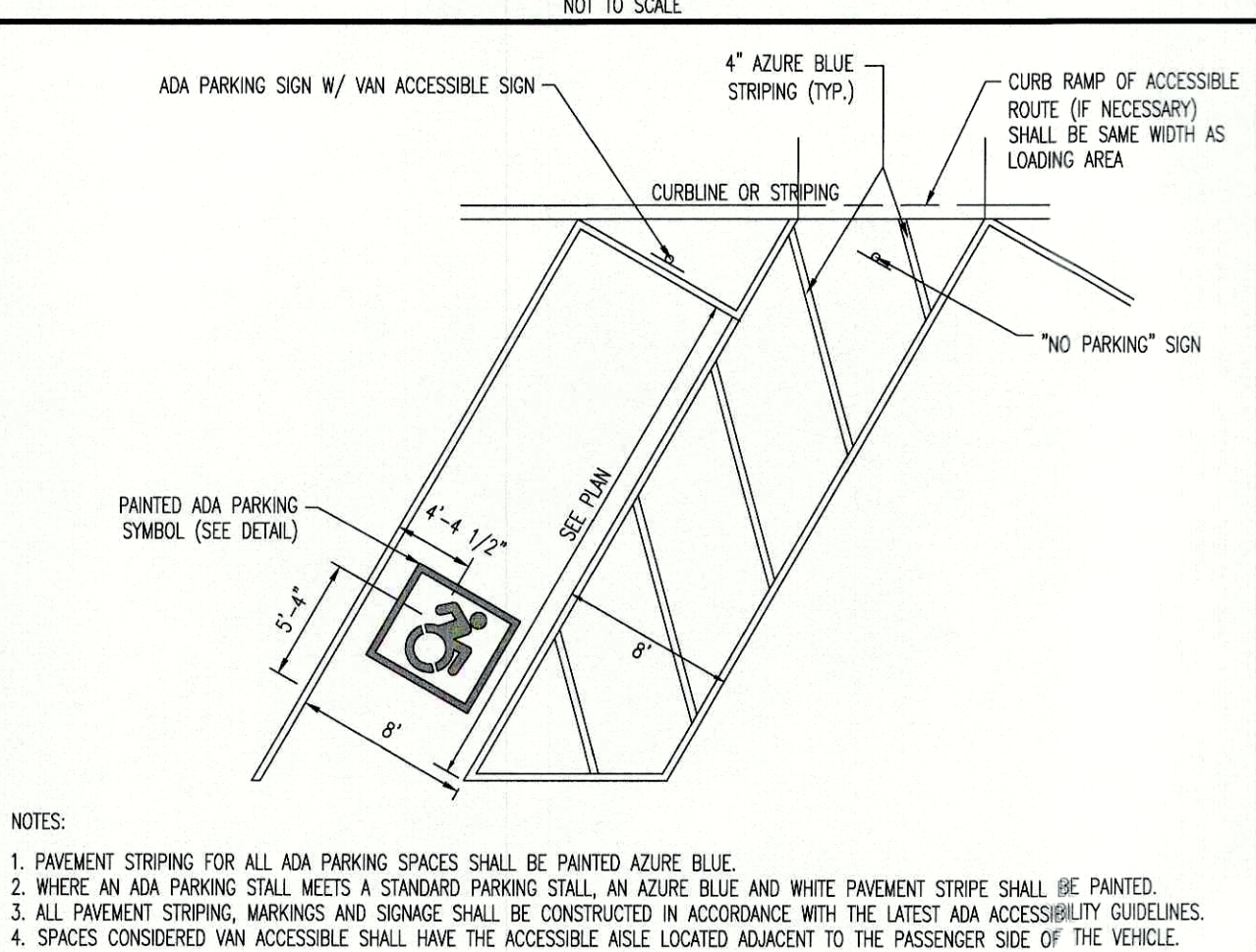
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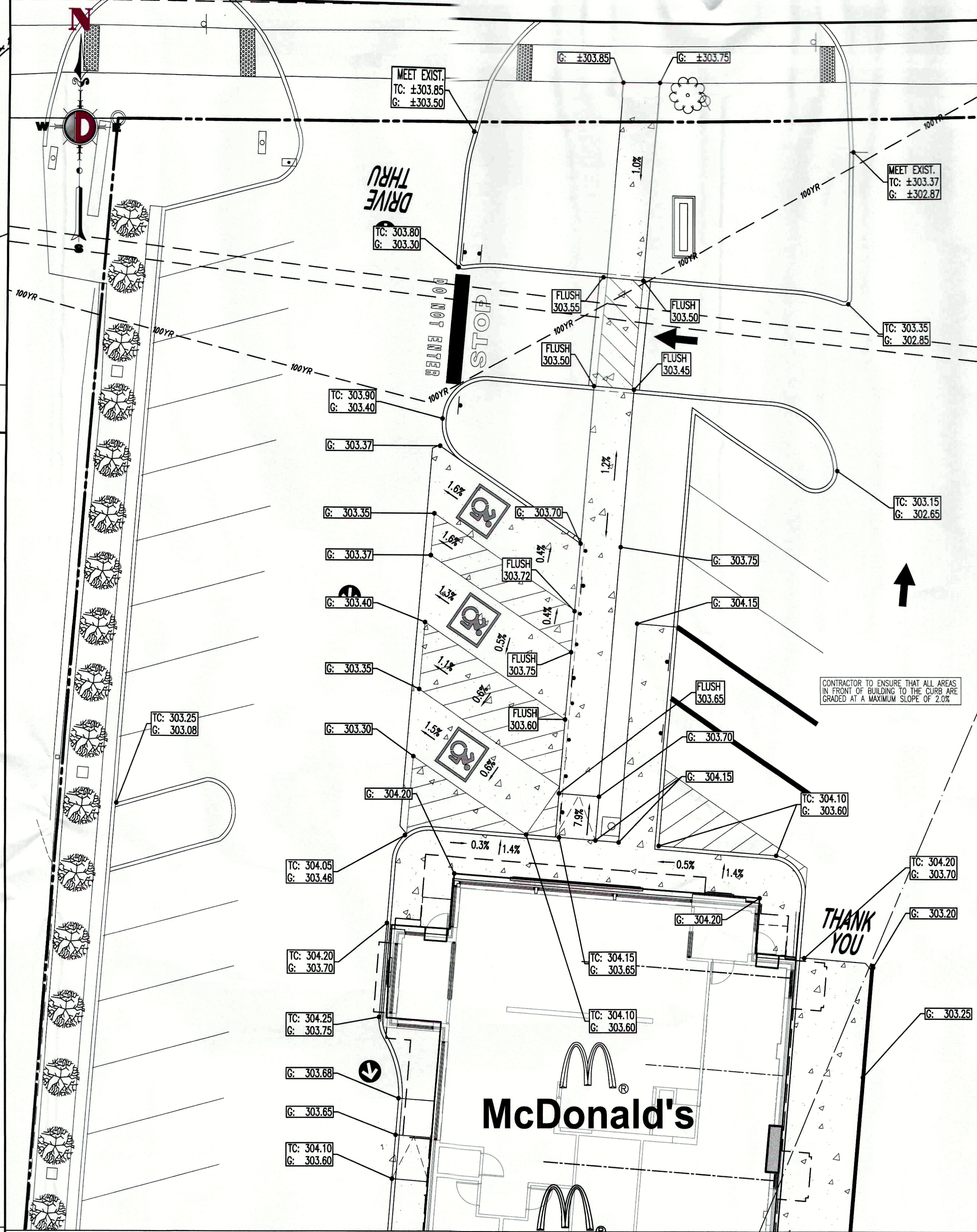
KEY MAP
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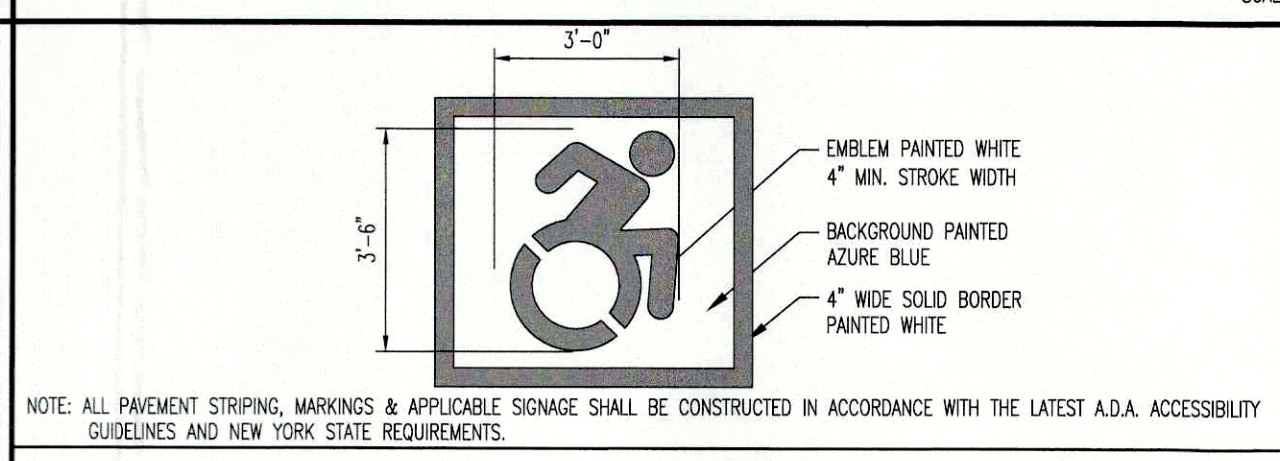
A.D.A. PARKING SIGN ON BOLLARD DETAIL
NOT TO SCALE



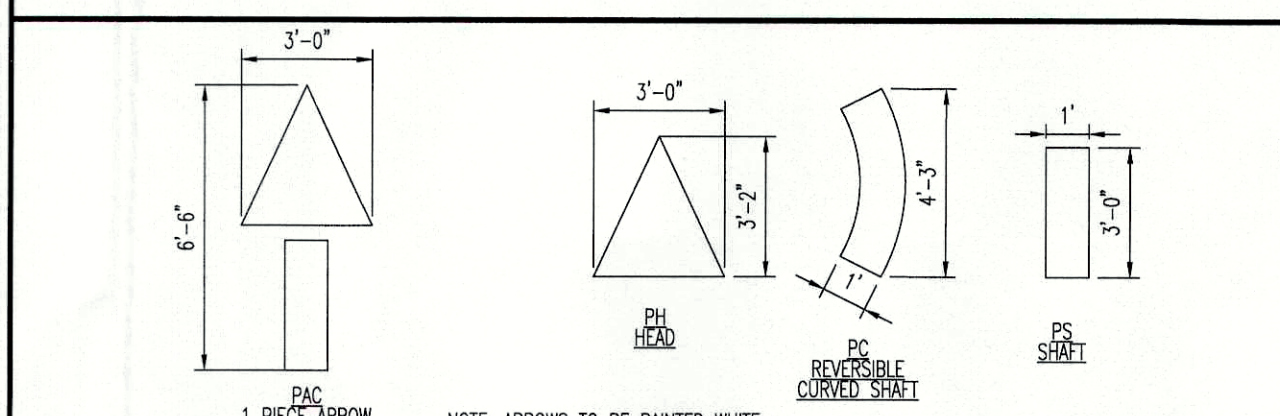
A.D.A. STALL MARKINGS
NOT TO SCALE



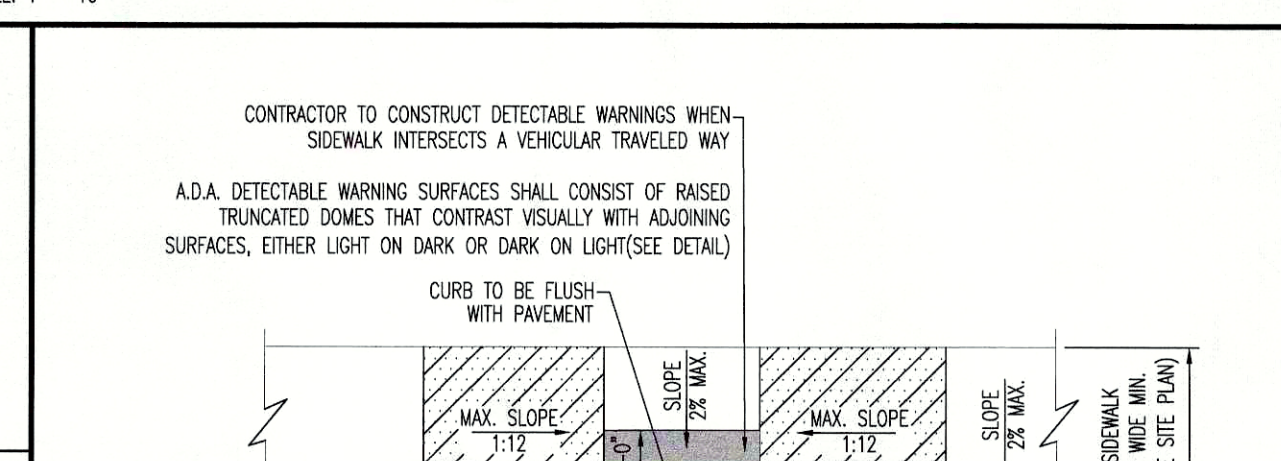
AREA - A
SCALE: 1" = 10'



PAINTED A.D.A. PARKING SYMBOL DETAIL
NOT TO SCALE



PAINTED PARKING LOT ARROW DETAILS
NOT TO SCALE



A.D.A. PARALLEL CURB RAMP DETAIL
NOT TO SCALE

ADA NOTES
ALL SLOPES INDICATED ARE ACTUAL CONTRACTOR TO REFER TO LATEST ADA GUIDELINES FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:

SIDEWALKS / ACCESSIBLE ROUTES
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
- CROSS SLOPE: 1:48 (2.08%) MAX., 1.0% MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
- ADA REQUIRED MANEUVERING CLEARANCE/LANDING AREA SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- ADA REQUIRED MANEUVERING CLEARANCE AT DOOR TO BE KEPT CLEAR

CHANGE IN LEVELS:
- 1" MAX. HEIGHT OR 1" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
- GAPS: 1/2" MAX. WIDTH

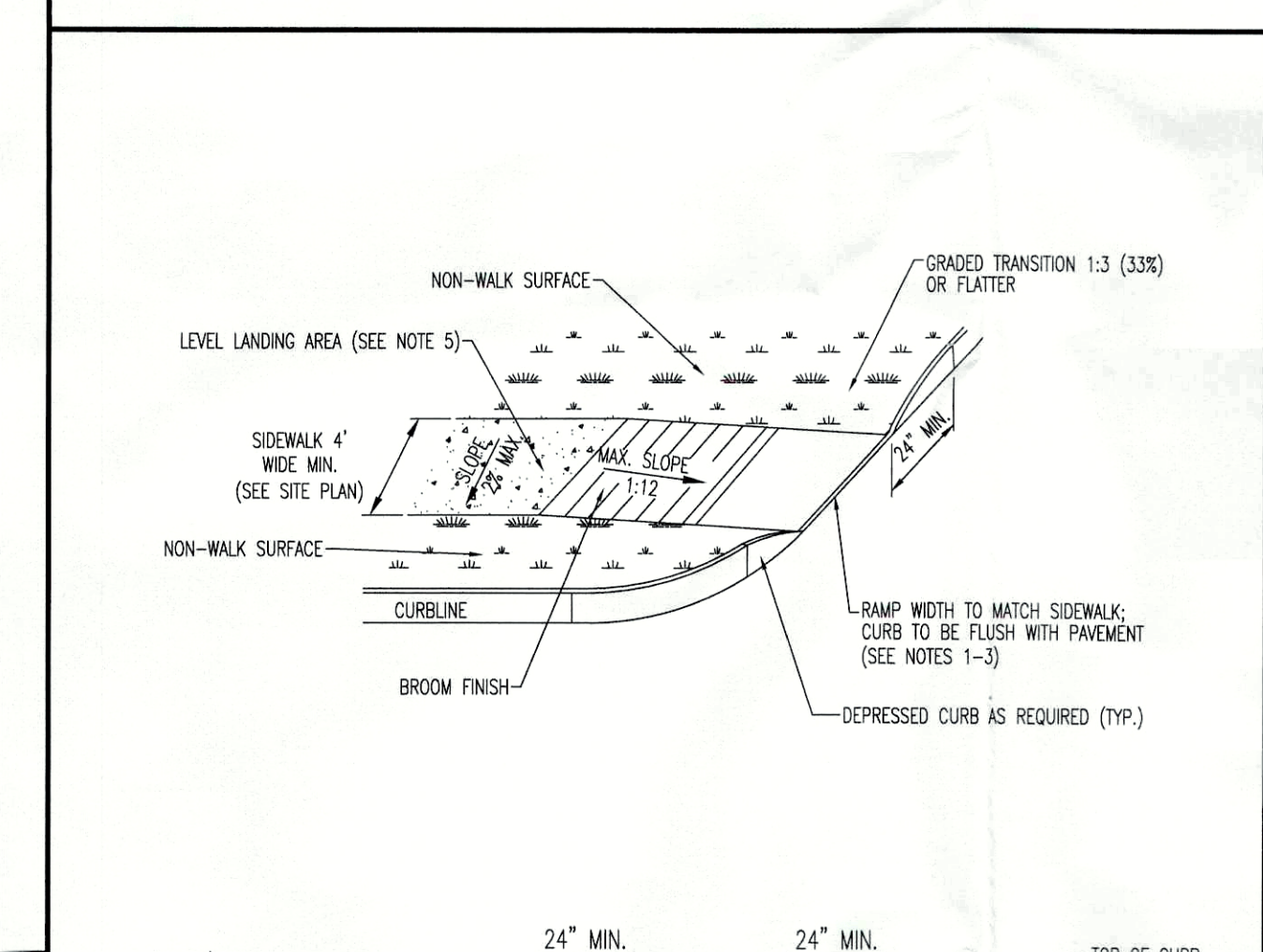
CURB RAMP
- SLOPE: 1:12 (8.33%) MAX. (7.5% MAX. FOR NEW CONSTRUCTION)
- SIDE FLARE SLOPE: 1:10 (10%) MAX. (ALONG CURB TRANSITION)
- BOTTOM LANDING: MIN. 48" x 60"; 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- TOP LANDING: 36" MIN. LENGTH, 60" IN FRONT OF DOORS; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)
- COUNTER SLOPES OF ADJOINING GUTTERS AND PAVEMENT SHALL NOT BE STEEPER THAN 1:20 (5.0%) (4.5% MAX. FOR NEW CONSTRUCTION) WITH A MAX. CROSS SLOPE OF 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION).
- MAX. RISE: 6"

ACCESSIBILITY PARKING SPACES
SPACE AND ACCESS AISLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.8% MAX. FOR NEW CONSTRUCTION)

CROSSWALKS
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
- CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
- CHANGE IN LEVELS: 1" MAX. HEIGHT OR 1" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
- GAPS: 1/2" MAX.

RAMPS
- SLOPE: 1:12 (8.33%) MAX. (7.5% MAX. FOR NEW CONSTRUCTION)
- MAX. RISE: 36"
- MIN. CLEAR WIDTH: 36"
- MIN. LANDING CLEAR LENGTH: 60"
- MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)

ADA NOTES CONFORM TO MOST CURRENT EDITION OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAG).



A.D.A. PERPENDICULAR CURB RAMP DETAIL (W/OUT FLARE SIDES)
NOT TO SCALE

NOTES:

- CONSTRUCT DEPRESSED CURB FOR CURB RAMPS FLUSH TO ADJACENT PAVEMENT. GRADE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING. FOR LEVEL TURNING SPACES BEHIND DEPRESSED CURB, ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE.
- CURB RAMPS MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ASSOCIATED STRIPED ISLAND.
- COUNTER SLOPES OF ADJOINING GUTTERS AND PAVEMENT SHALL NOT BE STEEPER THAN 1:20 WITH A MAX. CROSS SLOPE OF 2%.
- A LEVEL LANDING AREA (MAX. SLOPE 2% IN ANY DIRECTION) SHALL BE PROVIDED AT THE TOP OF THE RAMP. THE LANDING CLEAR LENGTH SHALL BE 36" MIN AND THE CLEAR WIDTH SHALL BE AS WIDE AS THE RAMP.
- CURB RAMPS, PAVEMENT MARKINGS & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES.

APPROVED
Resolution Number 21-15
Date June 17, 2021

| REV | DATE | DESCRIPTION |
|-----|----------|--|
| 13 | 02/04/22 | REVISED PER BUILDING REVISION |
| 12 | 09/14/21 | REVISED PER BUILDING DEPARTMENT COMMENTS |
| 11 | 06/04/21 | REVISED PER NYCEP COMMENTS |
| 10 | 11/04/20 | REVISED PER ABCA AND PLANNING BOARD COMMENTS |
| 9 | 04/13/20 | REVISED PER NEW BUILDING |
| 8 | 01/20/20 | REVISED PER NYCEP COMMENTS |
| 7 | 11/08/19 | REVISED PER PLANNING BOARD COMMENTS |
| 6 | 10/25/19 | REVISED PER BUREAU OF FIRE PREVENTION COMMENTS |
| 5 | 10/09/19 | REVISED PER PLANNING BOARD COMMENTS |

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DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • REMEDIATION • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

McDonald's USA, LLC
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PROPOSED MCDONALD'S REMODEL

ADA COMPLIANCE AND CONSTRUCTION DETAILS

DATE ISSUED: 12/29/2018

DATE OF LAST REVISION: 06/17/2021

PROJECT: 31-0170

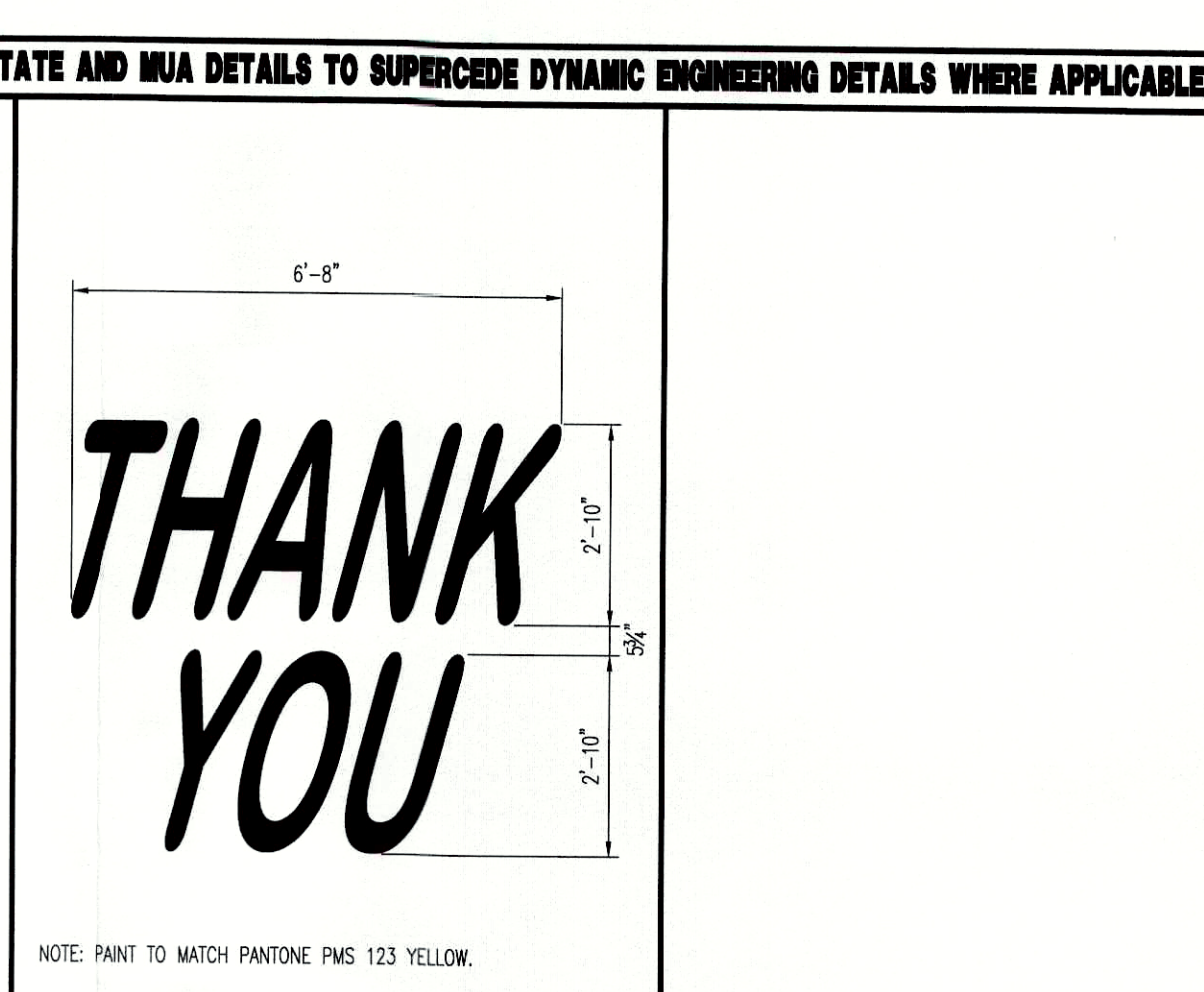
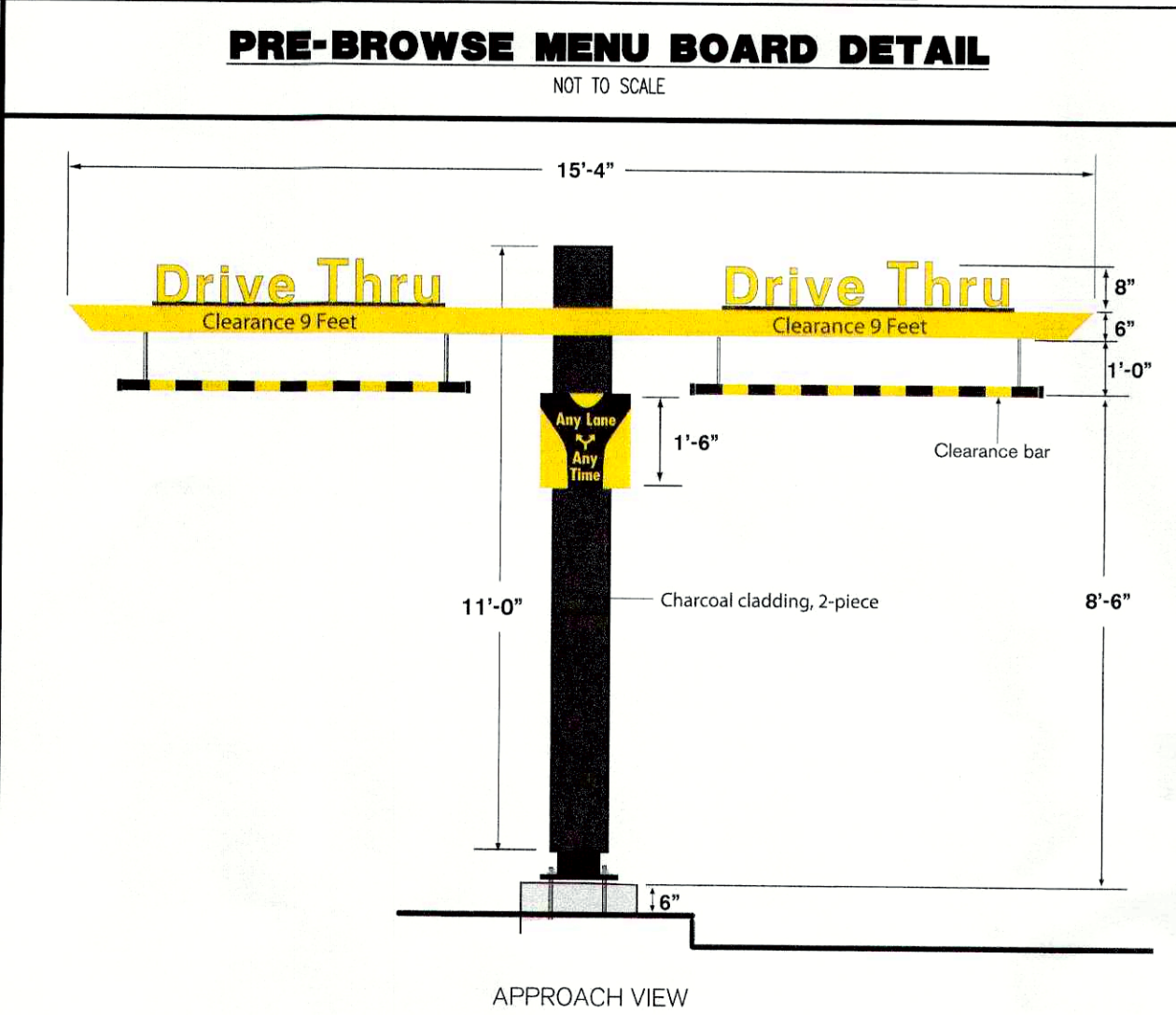
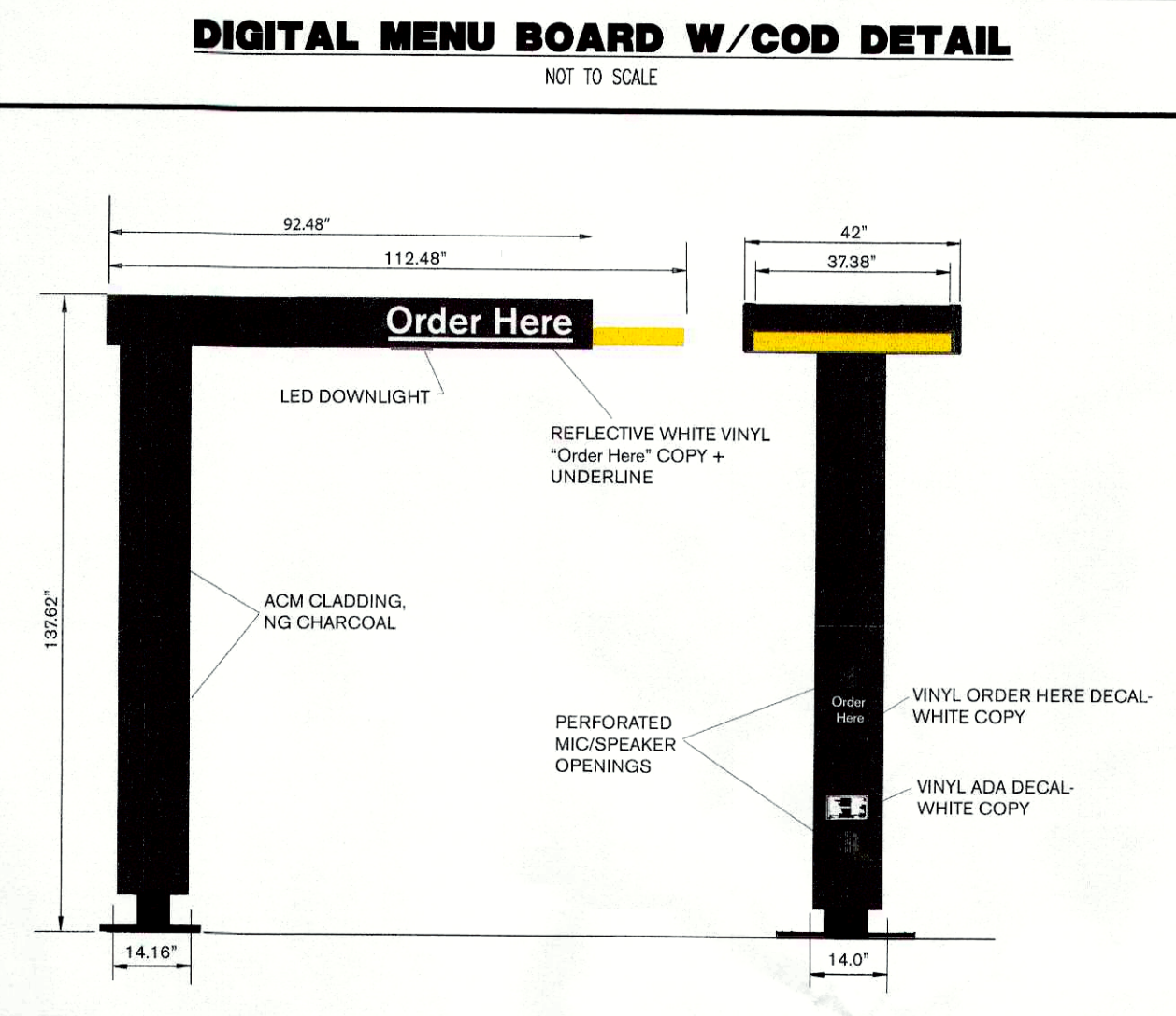
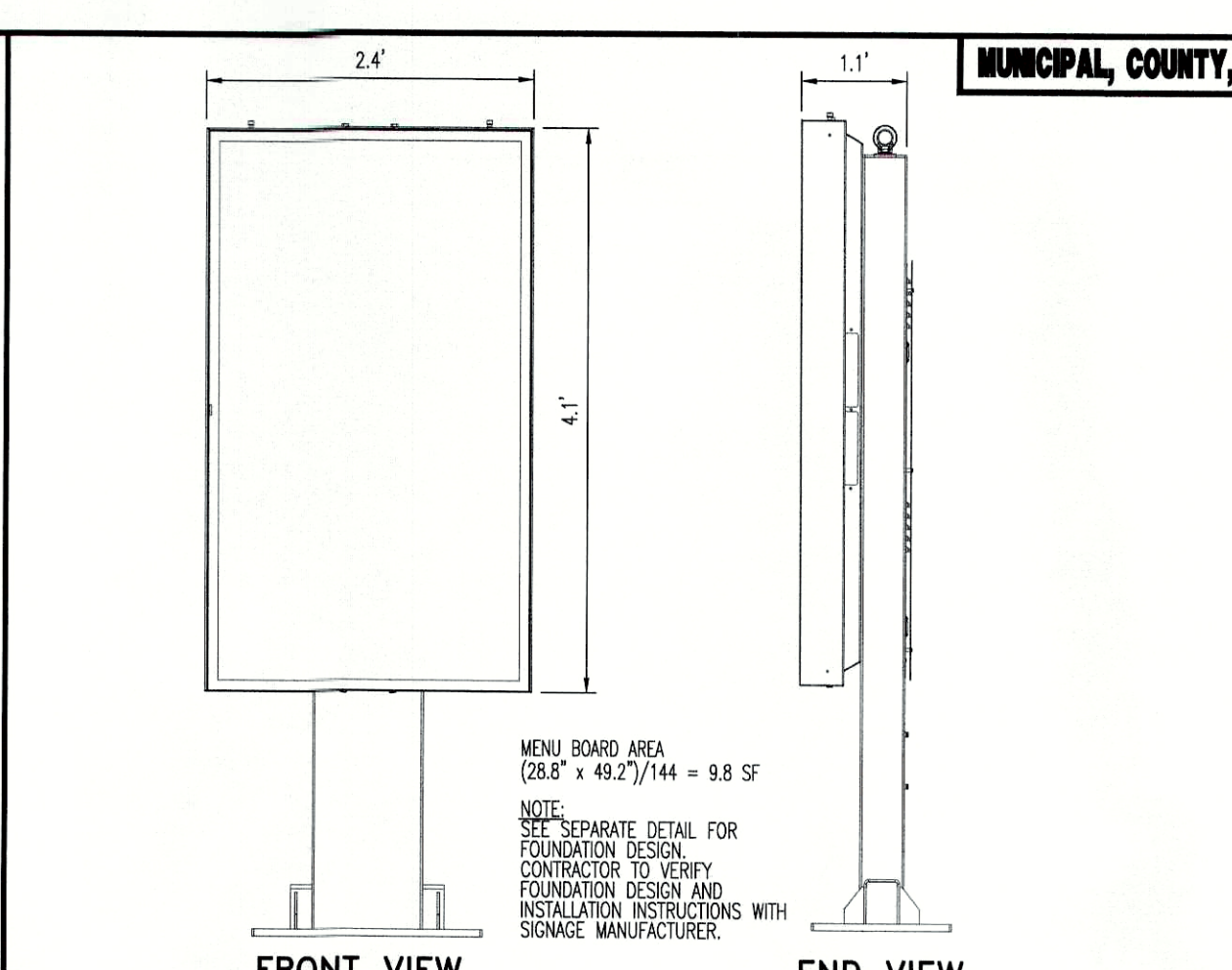
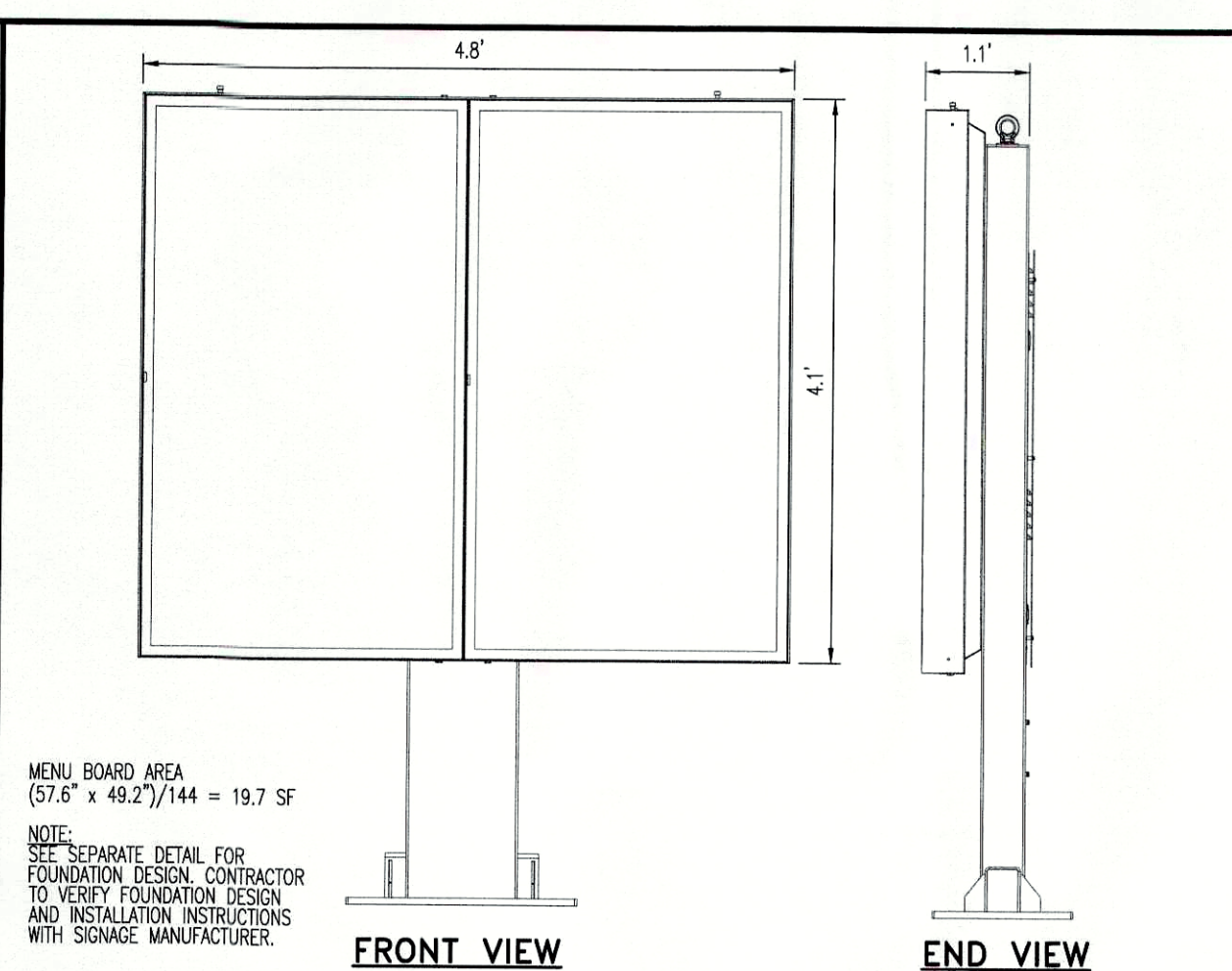
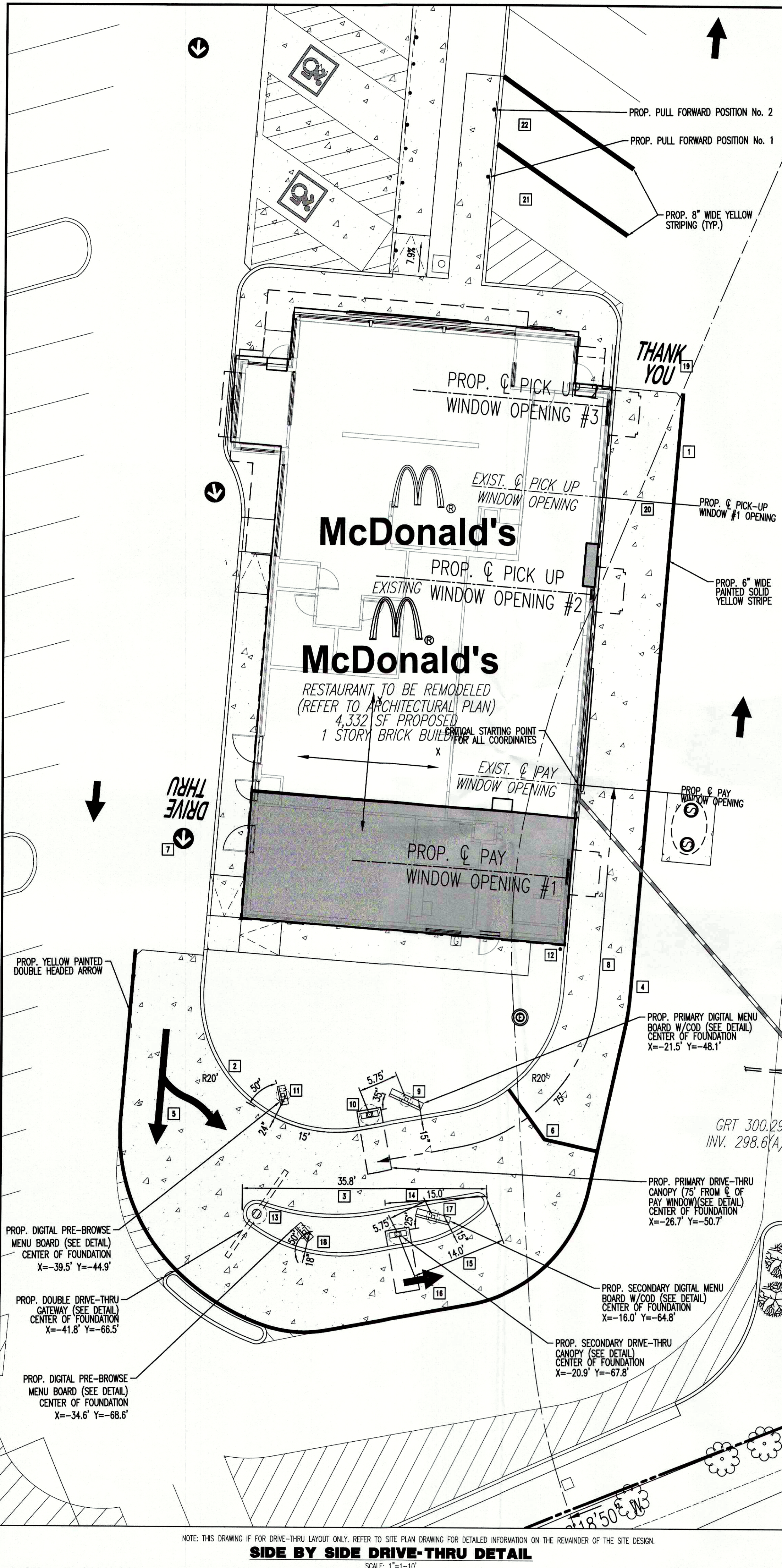
CLIENT: YORKTOWN, NEW YORK

DESIGNER: JOSEPH C. SPARONE

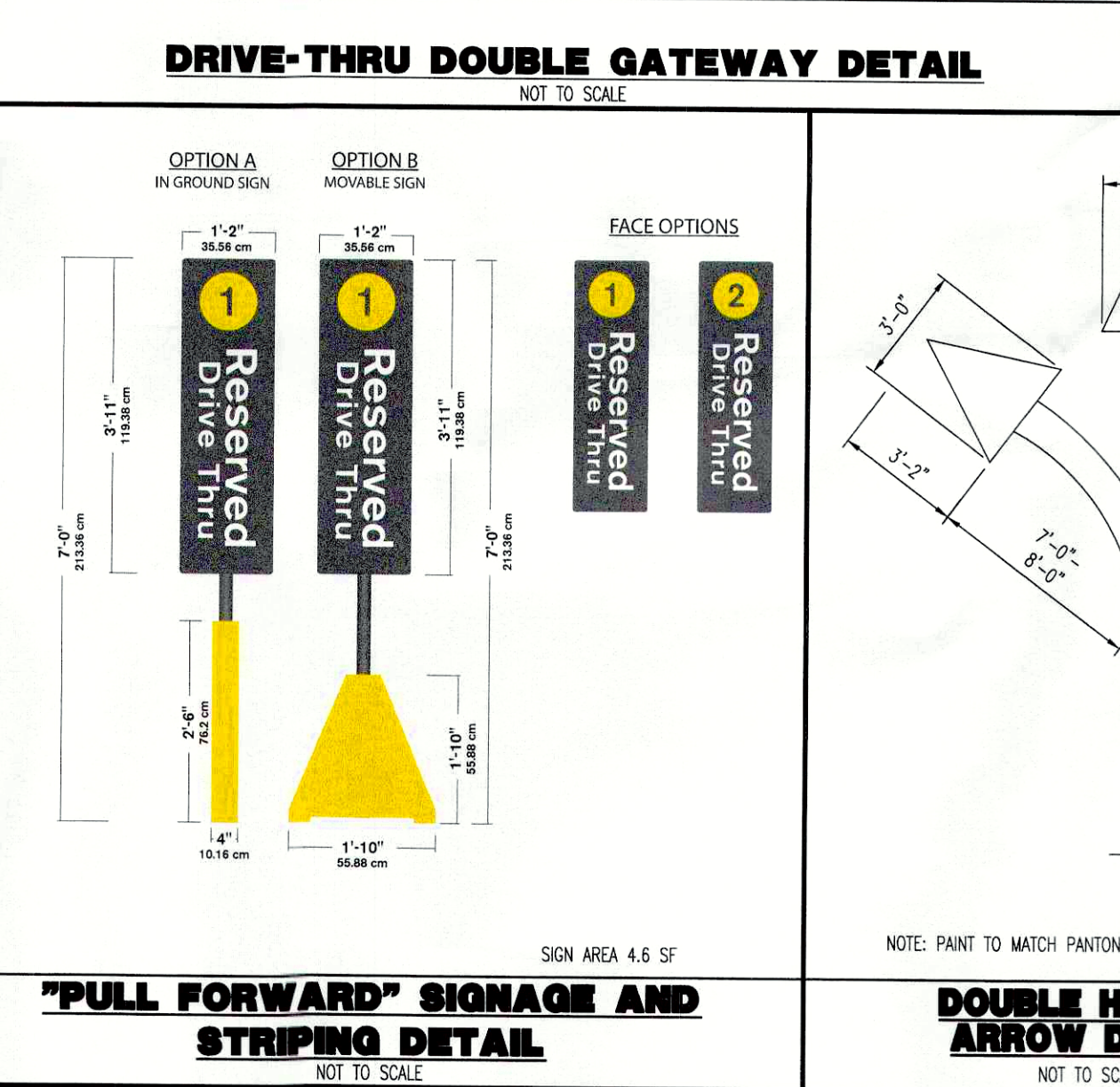
PROFESSIONAL ENGINEER: TIAGO F. DUARTE

PROJECT NO: 0114-99-146

SHEET 8 OF 16



- SIDE-BY-SIDE DRIVE-THRU CRITERIA NOTES**
- 1 DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
 - 2 THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0".
 - 3 THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45". THE LENGTH OF THE ISLAND FROM THE CANOPY ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT. THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6". THE ISLAND SHALL BE 6'-0" AT THE WIDEST POINT (FACE OF CURB TO FACE OF CURB).
 - 4 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE.
 - 5 DOUBLE HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF CANOPY.
 - 6 MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH CANOPY SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 9'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.
 - 7 A CIRCLE DIRECTIONAL ARROW CENTERED ABOVE THE WORD "DRIVE THRU" USED TO INDICATE THE DRIVE THRU ENTRY POINT.
 - 8 MIN. 60'-0" (+5', 60'-65") LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE CANOPY FACE AND THE CENTER LINE OF THE OPEN ORDER WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS (± FOR 80', 100', AND 120') TO A MAX. OF 120'. 100' IS OPTIMAL.
 - 9 THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-9" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE CANOPY FOUNDATION, WITH THE END CAP OF THE PRIMARY MENU BOARD NOT LESS THAN 15" FROM FACE OF CURB. THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° ANGLE (25° PREFERRED) FROM A CAR POSITIONED AT THE CANOPY AND WITH 100% VISIBILITY. THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY CANOPY.
 - 10 AUGER "MCDONALD'S ORDER HERE CANOPY" DRIVE-THRU CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
 - 11 PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY CANOPY AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE CANOPY FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM CANOPY.
 - 12 A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.
 - 13 AUGER "MCDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
 - 14 THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY CANOPY MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE.
 - 15 TO POSITION THE SECONDARY CANOPY, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY CANOPY.
 - 16 WHEN THE SECONDARY CANOPY IS LOCATED AT 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE CANOPY CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY CANOPY WHEN POSSIBLE.
 - 17 THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE CANOPY FOUNDATION, WITH THE END CAP OF THE SECONDARY MENU BOARD NOT LESS THAN 15" FROM FACE OF CURB. THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM A CAR POSITIONED AT THE CENTER OF THE CANOPY FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM CANOPY (PREFERRED 35°).
 - 18 PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE SECONDARY CANOPY AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE CANOPY FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM CANOPY (PREFERRED 35°).
 - 19 THE WORDS "THANK YOU" ARE TO BE PLACED 10' FROM THE CENTER LINE OF THE OPEN PICKUP WINDOW OR 8' FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".
 - 20 DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING AT THE PAY AND PICKUP WINDOWS.
 - 21 PULL FORWARD POSITION NO. 1. PROVIDE 8" WIDE, 10' LONG, PAINTED (PMS 123 YELLOW) STRIPE 40' FROM CENTER OF OPEN PRESENT WINDOW AND PULL FORWARD IN-GROUND SIGN.
 - 22 PULL FORWARD POSITION NO. 2. PROVIDE 8" WIDE, 10' LONG, PAINTED (PMS 123 YELLOW) STRIPE 40' FROM PULL FORWARD POSITION NO. 1 STRIPE AND PULL FORWARD IN-GROUND SIGN.



- GENERAL DRIVE-THRU NOTES**
- SIGNAGE & DRIVE-THRU ELEMENTS:
DRIVE-THRU CANOPY, GATEWAY, MENU BOARD AND PRE-BROWSE BOARD SHALL BE CONSISTENT WITH THE CURRENT STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS. OTHER DESIGNS MAY NOT BE USED.
 - THE PLACEMENT OF THE CANOPY AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
 - GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL PLANS, MCDONALD'S PROJECT MANAGER AND SIGNAGE SUPPLIER TO CONFIRM EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS AND NUMBER OF SIGNS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE PRIOR TO CONSTRUCTION. ALL WORK TO BE COORDINATED WITH OTHER TRADES.
 - CONTACT MCDONALD'S AREA CONSTRUCTION MANAGER FOR SIGNAGE & DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS. SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO C.C. PRIOR TO FOUNDATION POURING.
 - SEE ARCHITECTURAL PLANS FOR DRIVE-THRU LOOP DETECTOR AND WIRING INFORMATION.
 - GENERAL CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND SIGN SUPPLIER.
 - GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - GENERAL CONTRACTOR TO VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.
 - IF 15' MIN. CLEARANCE CANNOT BE ATTAINED OR IF THERE IS A HIGH CHANCE OF AN IMPACT, A BOLLARD MAY BE INSTALLED TO PROTECT THE APPROPRIATE BOARD(S).
 - 100% VISIBILITY OF THE BOARD(S) IS REQUIRED AFTER BOLLARD PLACEMENT.
 - ALL DRIVE-THRU EQUIPMENT SUPPLIED BY MCDONALD'S APPROVED SUPPLIERS.

| REV | DATE | DESCRIPTION |
|-----|----------|--|
| 13 | 02/04/22 | REVIS PER BUILDING REDSIGN |
| 12 | 09/14/21 | REVIS PER BUILDING DEPARTMENT COMMENTS |
| 11 | 06/04/21 | REVIS PER NYCDPEP COMMENTS |
| 10 | 11/04/20 | REVIS PER ABACA AND PLANNING BOARD COMMENTS |
| 9 | 04/13/20 | REVIS PER NYCDPEP COMMENTS |
| 8 | 01/20/20 | REVIS PER PLANNING BOARD COMMENTS |
| 7 | 11/08/19 | REVIS PER BUREAU OF FIRE PREVENTION COMMENTS |
| 6 | 10/25/19 | REVIS PER PLANNING BOARD COMMENTS |
| 5 | 10/09/19 | DESCRIPTION |

PREPARED BY:
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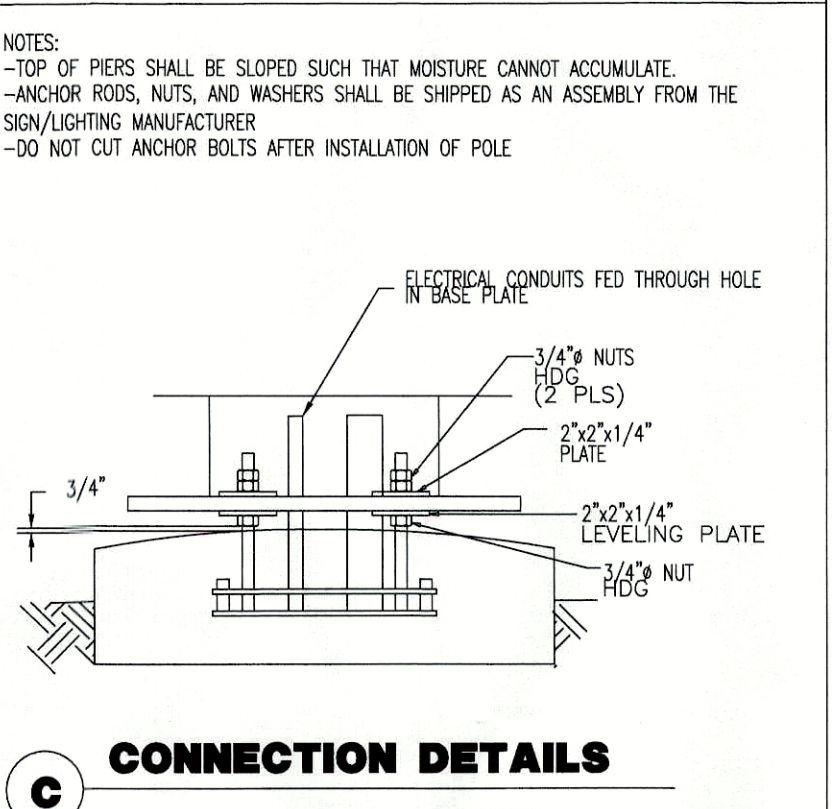
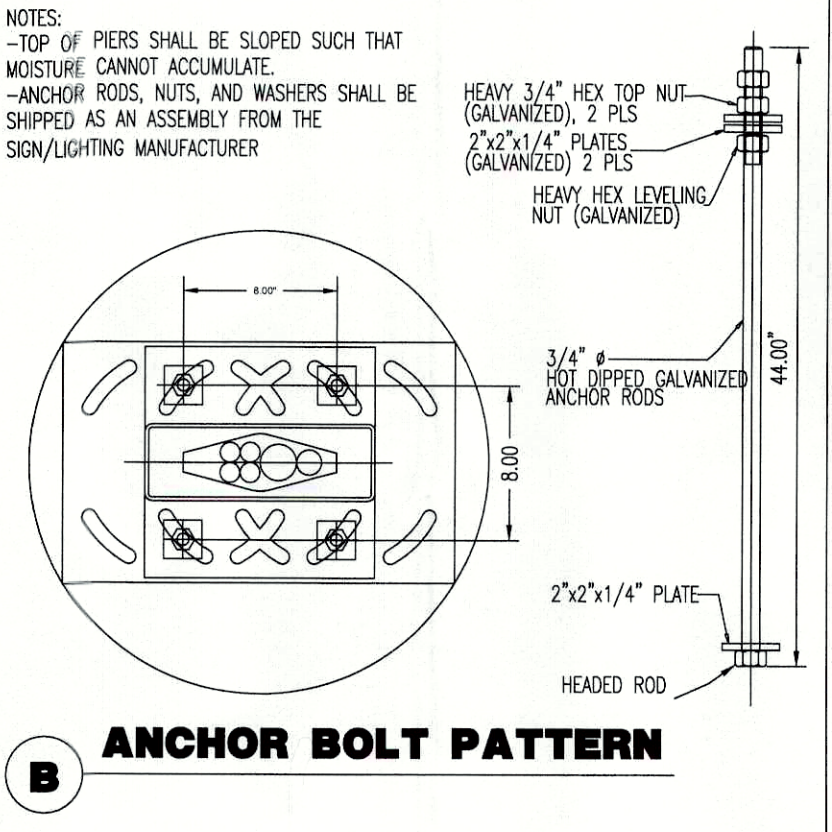
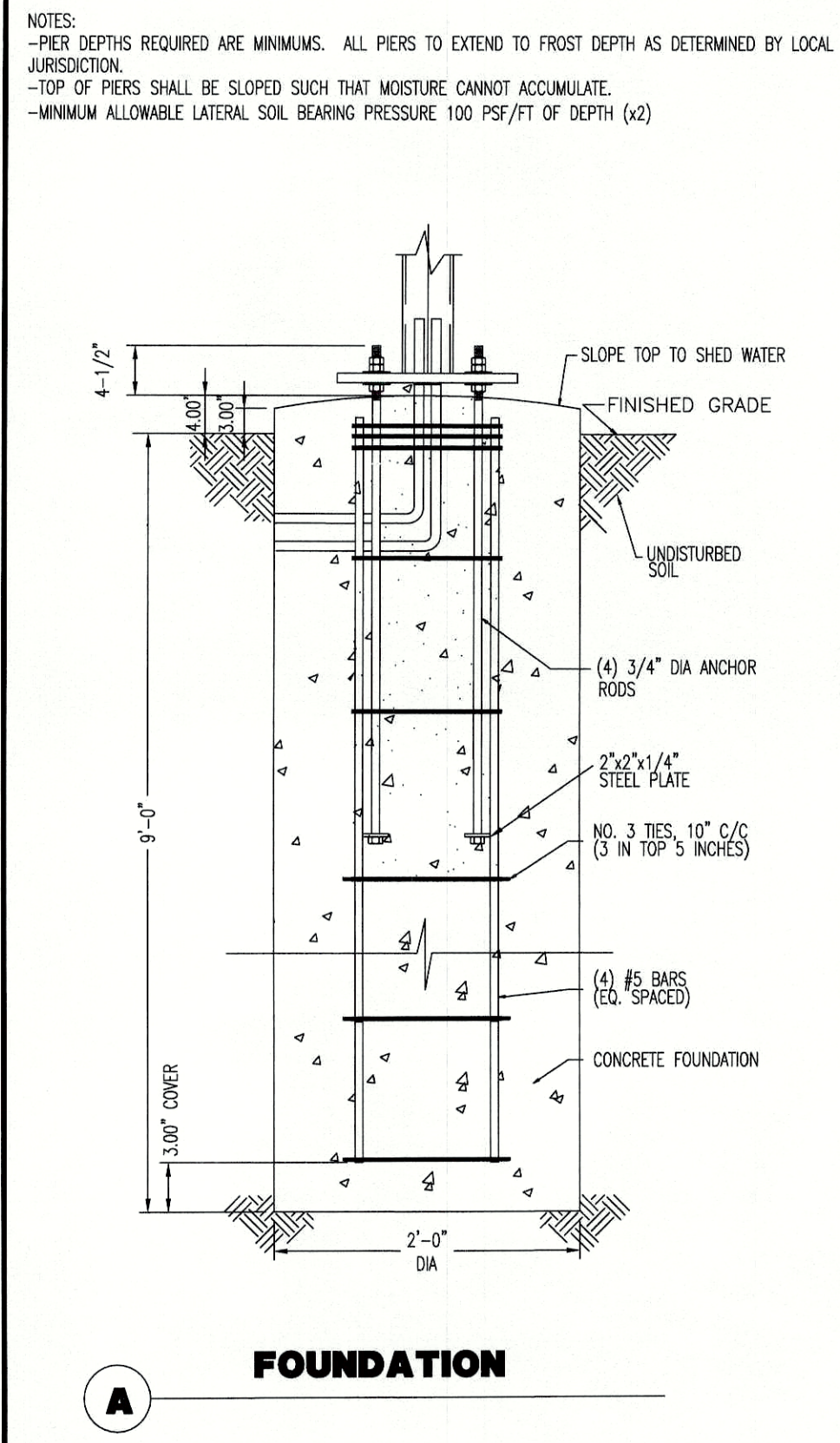
McDonald's USA, LLC
1800 Yorktown Road, Yorktown, NY 10594

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|------------------|---------|------------------|--|--------------------|--|
| L/C#: | 31-0170 | L/C: | YORKTOWN, NEW YORK | TITLE: | PROPOSED MCDONALD'S REMODEL CONSTRUCTION DETAILS |
| DRAWN BY: | JTS | REVISED BY: | TD | DATE ISSUED: | 12/29/2018 |
| STD. ISSUE DATE: | | DATE ISSUED: | | RESOLUTION NUMBER: | 21-15 |
| | | | | DATE: | JUNE 14, 2021 |
| SITE ID: | 31-0170 | PROJECT ADDRESS: | 1800 YORKTOWN ROAD, YORKTOWN, NY 10594 | | |
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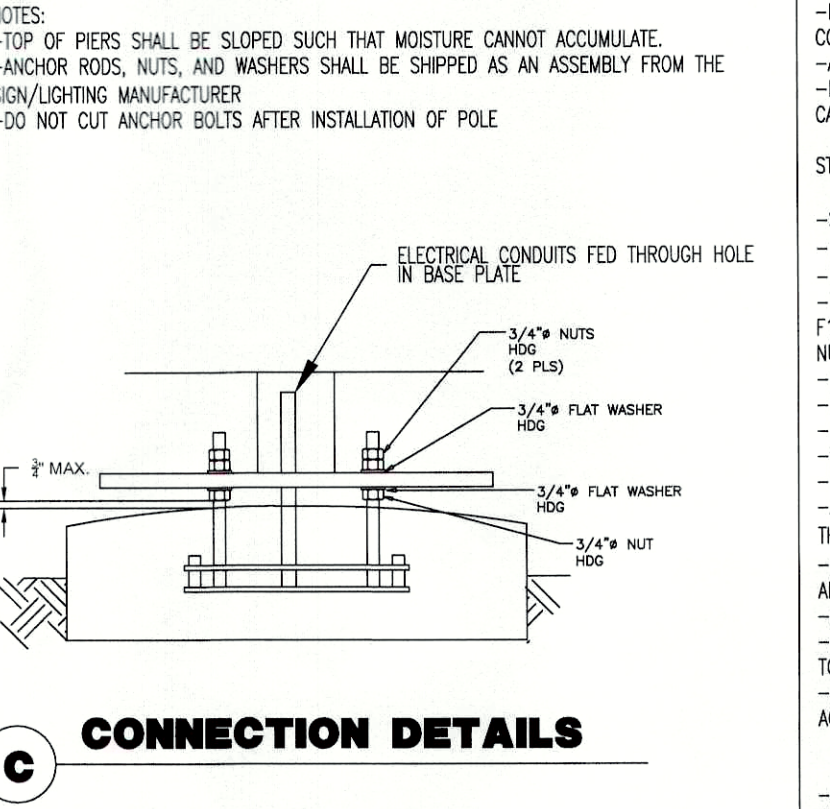
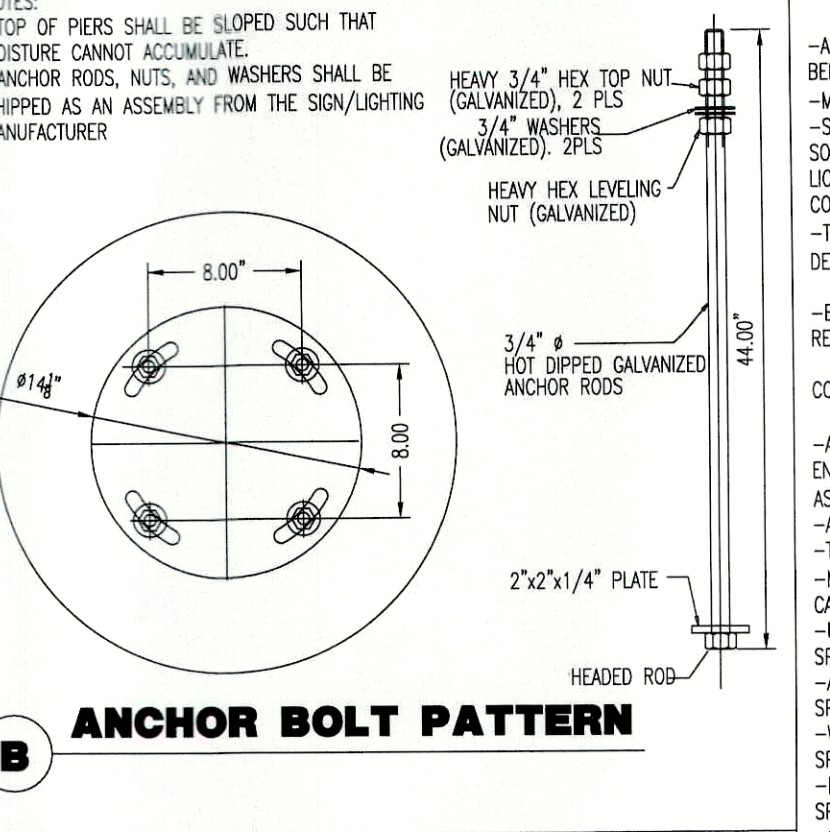
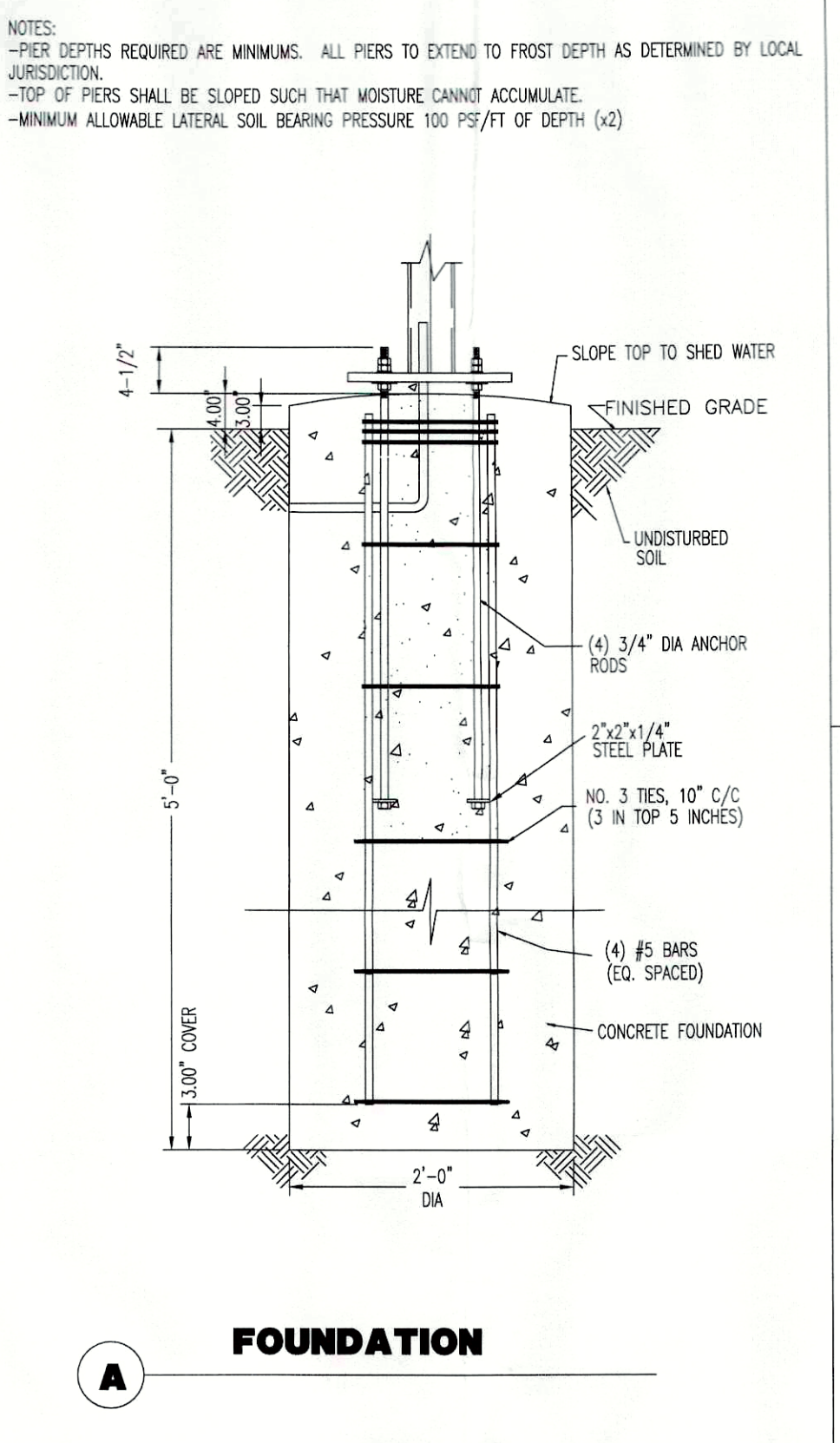
JOSEPH M. BRONONE
PROFESSIONAL ENGINEER
NEW YORK STATE LICENSE NO. 32997

TIAGO F. DUARTE
PROFESSIONAL ENGINEER



GENERAL NOTES

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
- CONCRETE:
 - ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
 - ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
 - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 - MINIMUM CONCRETE STRENGTH (F_c) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 - USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
 - AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
 - WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 - FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
 - PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
 - REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5
 - ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH ASC CODE OF STANDARD PRACTICE
 - DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E
- STEEL:
 - STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F_y=35ksi)
 - HSS ROUND SECTION: ASTM A500 GRADE B (F_y=42ksi)
 - HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F_y=42ksi)
 - HEADED ANCHOR RODS ASTM F1554 OR S5, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 OR S5, S1 WHEN THE EMBEDDED END OF THE ROD IS THEREAD AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
 - REINFORCEMENT: ASTM A618 GRADE 60
 - NUTS: ASTM A563A, HEAVY HEX
 - WASHERS: ASTM F444 A36
 - USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 - NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
 - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
 - AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
 - ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.
- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
- ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

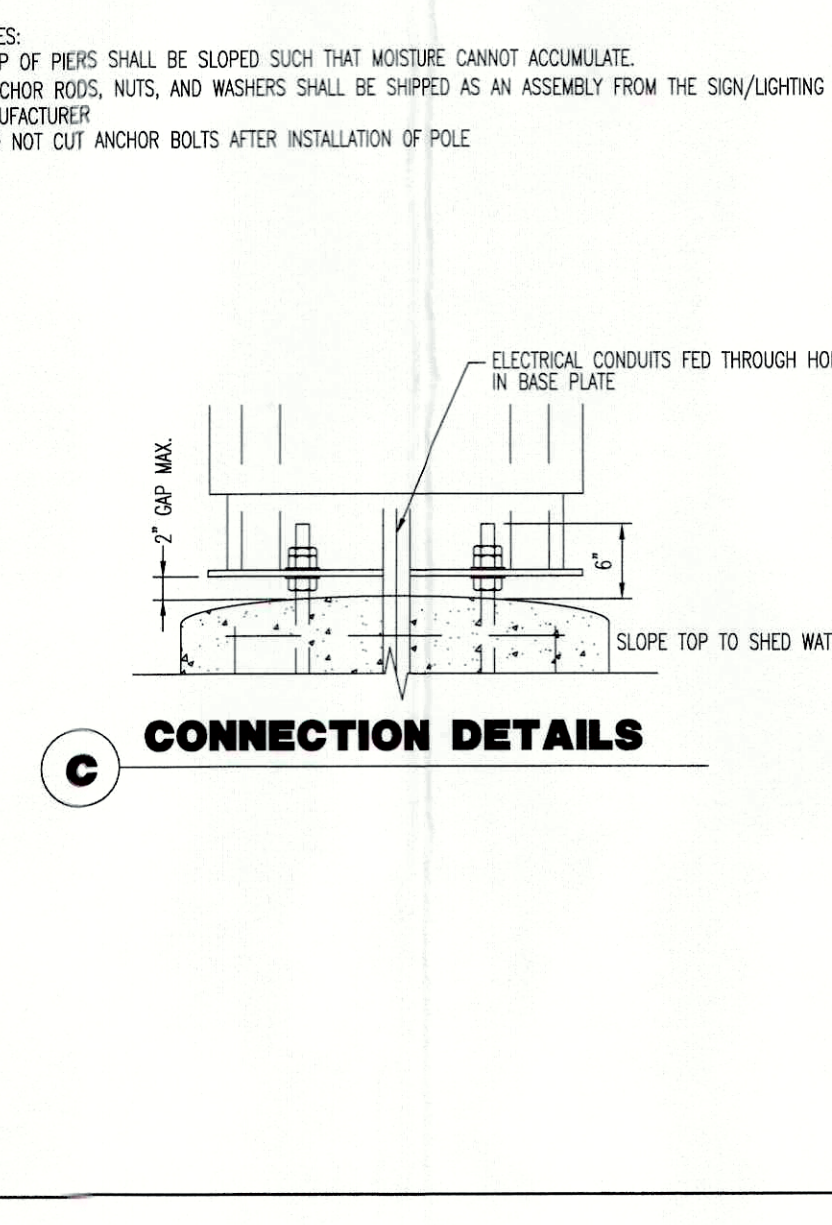
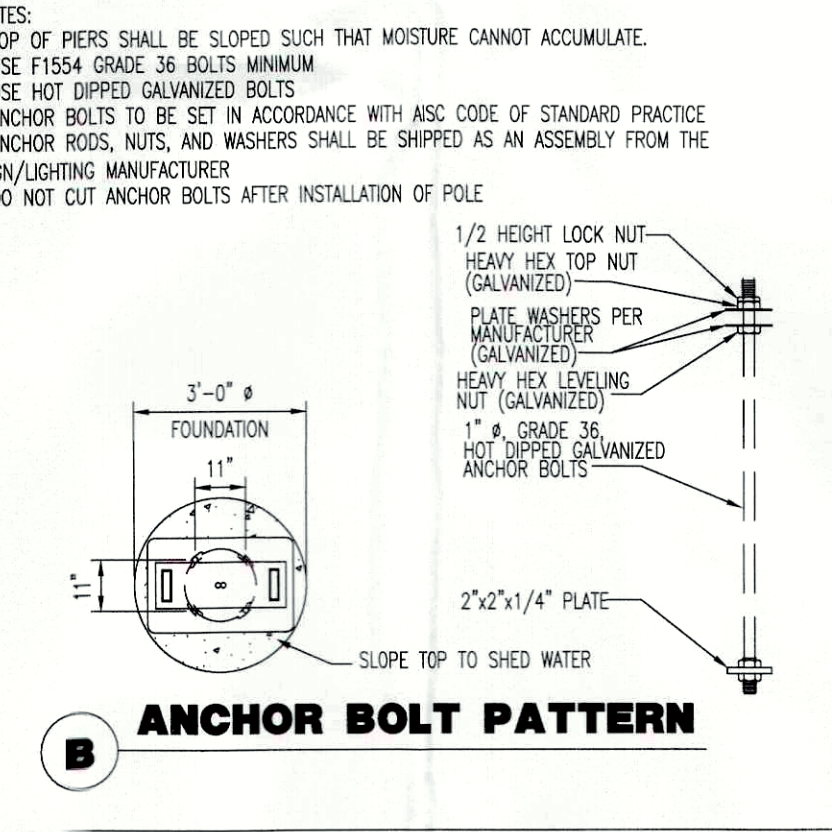
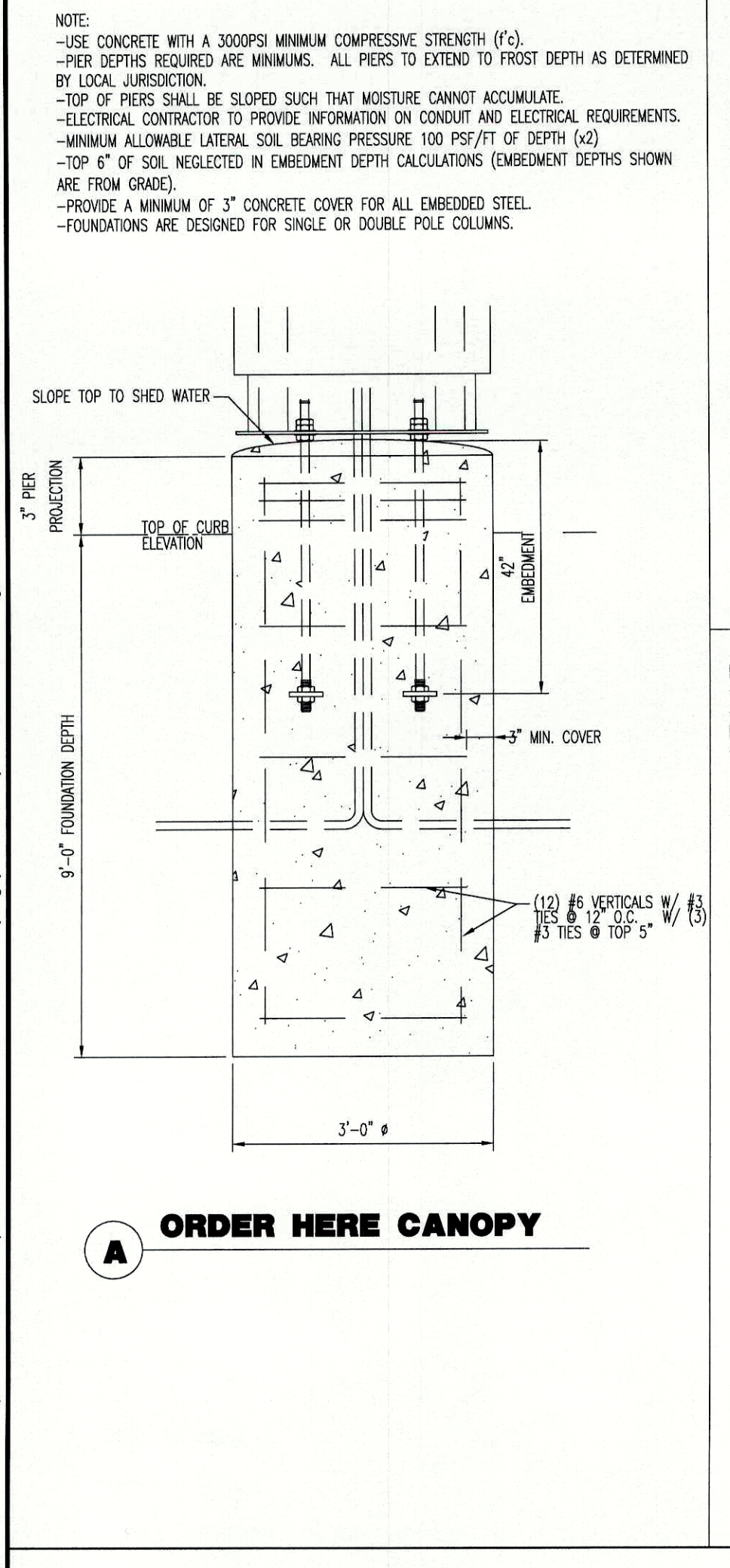


GENERAL NOTES

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
- CONCRETE:
 - ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
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 - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
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 - FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
 - PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
 - REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5
 - ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH ASC CODE OF STANDARD PRACTICE
 - DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E
- STEEL:
 - STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F_y=35ksi)
 - HSS ROUND SECTION: ASTM A500 GRADE B (F_y=42ksi)
 - HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F_y=42ksi)
 - HEADED ANCHOR RODS ASTM F1554 OR S5, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 OR S5, S1 WHEN THE EMBEDDED END OF THE ROD IS THEREAD AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
 - REINFORCEMENT: ASTM A618 GRADE 60
 - NUTS: ASTM A563A, HEAVY HEX
 - WASHERS: ASTM F444 A36
 - USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 - NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
 - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
 - AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
 - ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.
- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
- ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

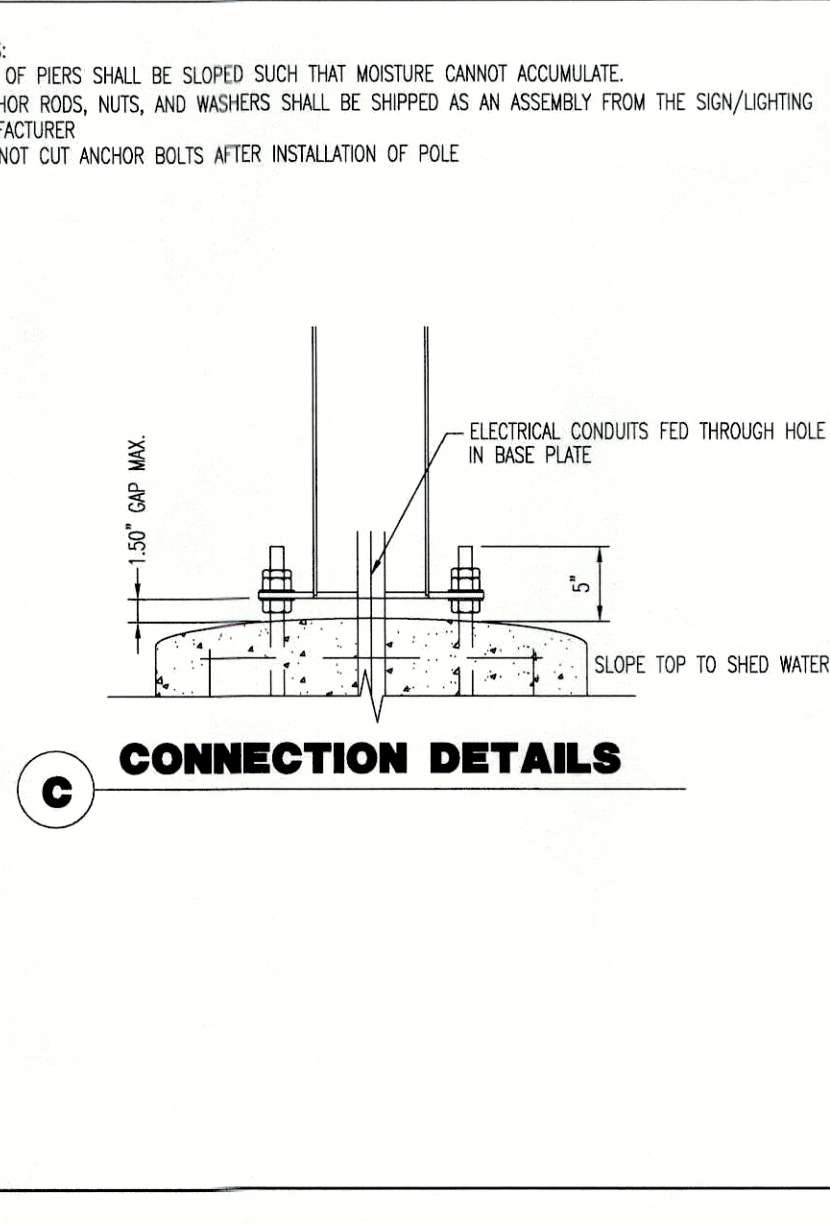
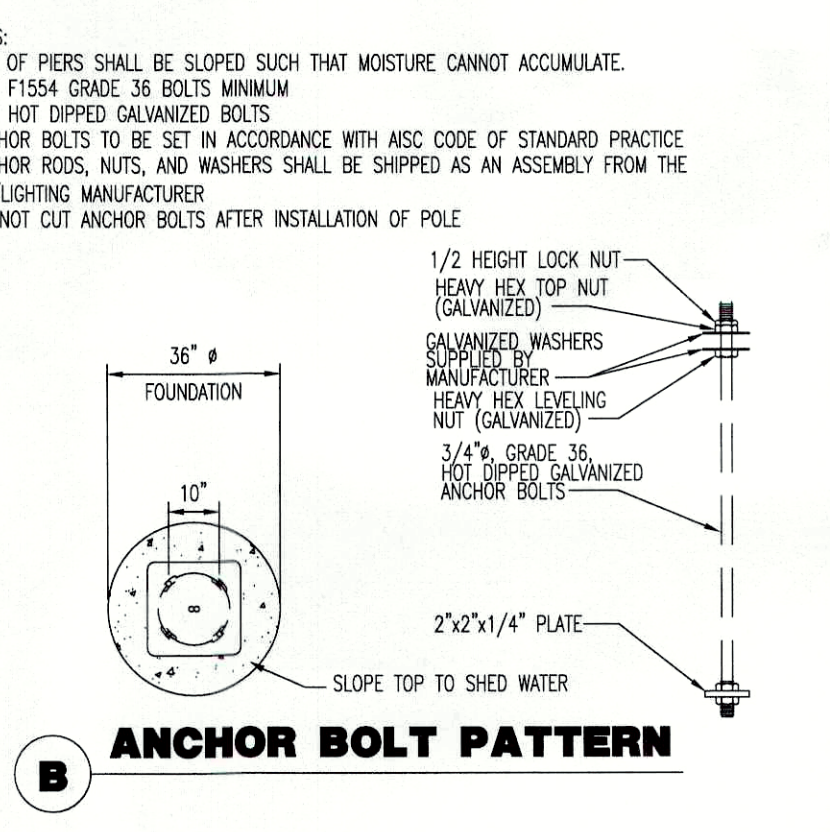
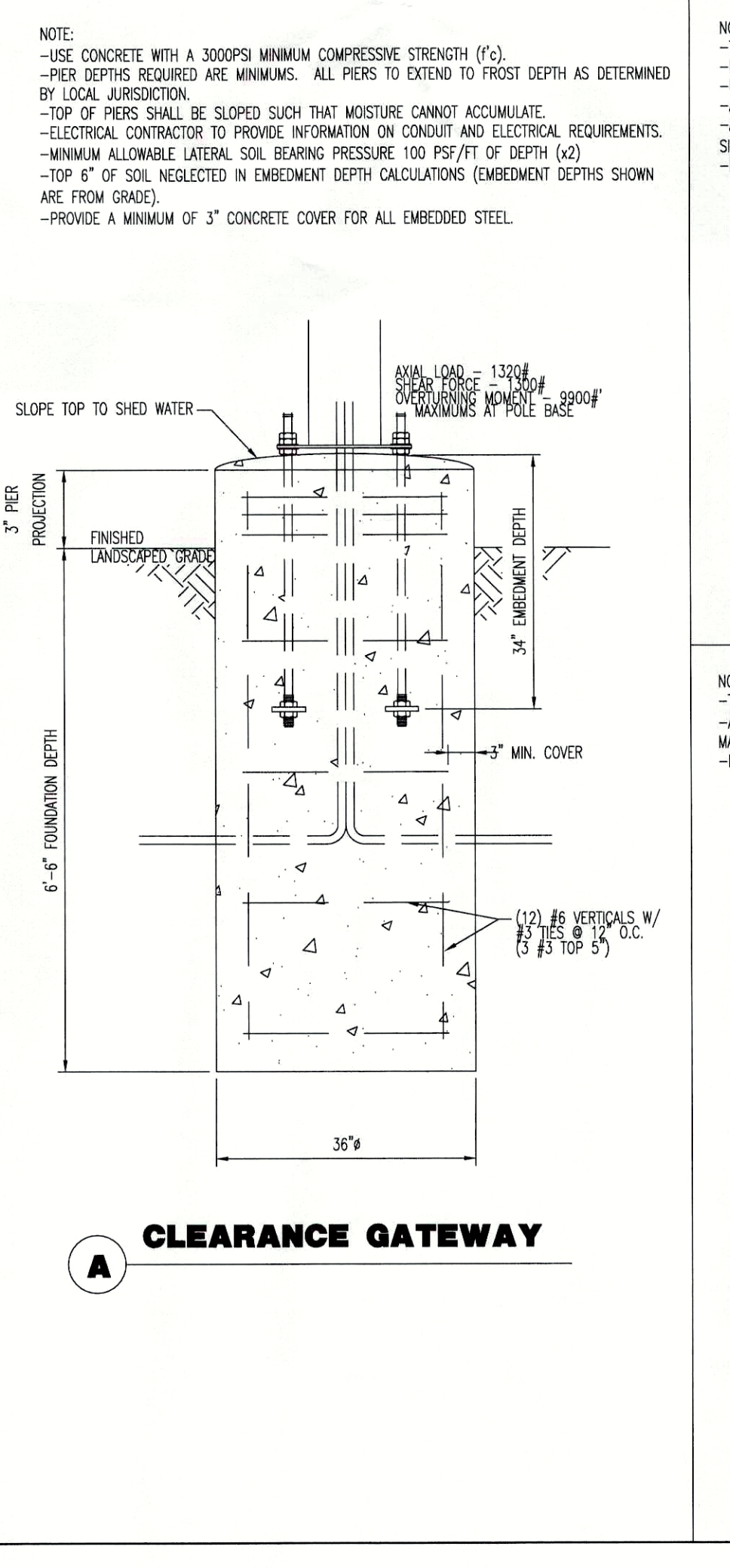
DIGITAL MENU BOARD FOUNDATION DETAIL
NOT TO SCALE

DIGITAL PRE-BROWSE MENU BOARD FOUNDATION DETAIL
NOT TO SCALE



GENERAL NOTES

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
- CONCRETE:
 - ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
 - ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
 - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 - MINIMUM CONCRETE STRENGTH (F_c) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 - USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
 - AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
 - WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 - FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
 - PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
 - REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5
 - ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH ASC CODE OF STANDARD PRACTICE
 - DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E
- STEEL:
 - STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F_y = 35ksi)
 - HSS ROUND SECTION: ASTM A500 GRADE B (F_y = 42ksi)
 - HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F_y = 42ksi)
 - CONNECTION BOLTS: A325
 - STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
 - REINFORCEMENT: GRADE 60
 - NUTS: ASTM A563A OR A194-2H
 - WASHERS: A36
 - USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 - NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
 - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
 - AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
 - ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.
- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- FOUNDATIONS ARE DESIGNED FOR SINGLE OR DOUBLE POLE COLUMNS.
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
- ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER



GENERAL NOTES

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
- CONCRETE:
 - ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
 - ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
 - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
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 - USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
 - AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
 - WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
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 - REINFORCEMENT: GRADE 60
 - NUTS: ASTM A563A OR A194-2H
 - WASHERS: F436
 - USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
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DRIVE-THRU CANOPY FOUNDATION DETAIL
NOT TO SCALE

DRIVE-THRU GATEWAY FOUNDATION DETAIL
NOT TO SCALE

| REV | DATE | DESCRIPTION |
|-----|----------|--|
| 13 | 02/04/22 | REVISED PER BUILDING DEPARTMENT COMMENTS |
| 12 | 09/14/21 | REVISED PER NYCDPE COMMENTS |
| 11 | 06/04/21 | REVISED PER ABACA AND PLANNING BOARD COMMENTS |
| 10 | 11/04/20 | REVISED PER NEW BUILDING |
| 9 | 04/13/20 | REVISED PER NYCDPE COMMENTS |
| 8 | 01/20/20 | REVISED PER PLANNING BOARD COMMENTS |
| 7 | 11/08/19 | REVISED PER BUREAU OF FIRE PREVENTION COMMENTS |
| 6 | 10/29/19 | REVISED PER PLANNING BOARD COMMENTS |
| 5 | 10/09/19 | REVISED PER PLANNING BOARD COMMENTS |
| 4 | | |
| 3 | | |
| 2 | | |
| 1 | | |

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Tel: 212.693.7278
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PREPARED BY: [Signature]

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McDonald's USA, LLC

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PREPARED BY: [Signature]

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APPROVED
Resolution Number 21-15
Date June 14, 2021

JOSEPH C. BRONE
PROFESSIONAL ENGINEER
NEW YORK STATE LICENSE NO. 130274

TIAGO F. DUARTE
PROFESSIONAL ENGINEER

1111 PM, BY: zpanoak, FILE: P:\DEPC PROD\0114 McDonald's\99-146 Yorktown NY LC 31070\03\Site

Product Ver: 24.1s (LMS Tech) 3/11/2022

11 CONSTRUCTION DETAILS

PROPOSED MCDONALD'S REMODEL

CONSTRUCTION DETAILS

DATE ISSUED: 12/28/2018

DATE: 12/28/2018

REVIEWED BY: TFD

STD ISSUE DATE: [Blank]

JTC

DRAWN BY: [Blank]

NEW YORK, NEW YORK

L/C#: 31-0170

L/C: YORKTOWN, NEW YORK

31-0170

0114-99-146

C-11

SHEET 11 OF 16

SECURITY LIGHTING™ VIPER L SERIES

Enhanced Large Viper Luminaire

Intended Use: The Viper Luminaire is available in two sizes with a wide choice of different LED Wattage configurations and optical distributions designed to replace HD lighting up to 1000W MH or HPS. Luminaires are suitable for wall locations.

Construction:

- One piece optical cartridge system consisting of an LED engine, LED lens, reflector, gasket and stainless steel back.
- Cartridge is held together with internal brass standoffs secured to the back so that it can be held in place as a one piece unit.
- Two piece aluminum and micro-castular polycarbonate lens gasket ensure a weather-proof seal around each individual LED.

LED/Options:

- LED rated output 100W through 275W, 50 Hz to 60 Hz E.N.V. or a power that accepts 24V or 80V input.
- Power factor is .92 at full load.
- All electrical components rated at 50,000 hours at full load and 50°C ambient conditions per MIL-STD-883C.
- Dimming drivers are standard with connections for external dimming equipment available upon request.
- Components are mounted within the luminaire may carry no more than 60% of rated load and 50°C ambient conditions per MIL-STD-883C.
- Plug disconnects are listed by UL for use at 500 VAC, 15A or higher. 15A rating applies to primary (AC) side only.

Electrical:

- Fixture electrical compartment shall contain all LED driver components and shall be provided with a sub-panel terminal block for AC power connections.
- Ambient operating temperature -40°C to 40°C.
- Ambient operating temperature -40°C to 40°C.
- Compliant with ANSI C136.41-2013 listed for use at 600VAC at 60°C or higher.
- Plug disconnects are listed by UL for use at 500 VAC, 15A or higher. 15A rating applies to primary (AC) side only.

Warranty: Five year limited warranty. For more information visit www.securitylighting.com

Dimensions:

| Model | A | B | C | D | Weight | EPA |
|---------|--------|--------|--------|--------|---------|------|
| 2012 | 24.19" | 14.25" | 4.13" | 25.02" | 1.02 lb | 1.02 |
| 1704 mm | 614 mm | 362 mm | 105 mm | 635 mm | 0.46 kg | 1.02 |

SECURITY LIGHTING™ RWSC

LED RADIUS WALL SCONCE

The RWSC LED radius wall sconce series offers a combination of light distribution that wash the building facade while the radial arm housing accentuates architectural design elements in all commercial and residential applications.

The RWSC LED provides excellent illumination with a high efficiency LED light source of 72 or 96 watt power LEDs that deliver up to 2,600 lumens and up to 109 lumens per watt.

The RWSC LED fixture has become a building standard and is stocked as a quick ship item in many colors and distributions.

Features:

- Durable cast aluminum housing
- Integrated design eliminates high angle brightness
- Completely sealed, flat tempered glass lenses, UL listed for use in wet locations
- DLC, Downtight only, full cut-off

Operating Temperature: -30°C to 40°C

Electrical:

- Dimming is an option (consult factory)

Mounting: RWSC features Intelligent Mounting Bracket which helps save time and money by allowing only one person to easily install. The small mounting bracket is very easy to handle and features an integrated level bubble on the bracket ensuring fixture installation will always be perfect.

Certifications/Listings: UL, ENEC, ENEC, ENEC

Ordering Information: Ordering Example: RWSC - XXL - XX - XX - U - XX - XX

| Series | # of LEDs | Color | Distribution | Mounting | Finish | Options |
|-------------------------|-------------------------|------------|----------------|------------------------|---|----------------|
| RWSC Radius Wall Sconce | 36L / 36 Mid-Power LEDs | 3K / 3000K | UD / Down only | U / Universal 120/277V | DE / Dark Bronze WH / White BK / Black PS / Polished Silver BK / Black CO / Custom Color | PC / Photocopy |
| | 72L / 72 Mid-Power LEDs | 3K / 3000K | UD / Down only | U / Universal 120/277V | DE / Dark Bronze WH / White BK / Black PS / Polished Silver BK / Black CO / Custom Color | PC / Photocopy |

Link Shop: RWSC36LJSD08K, RWSC36LJSD08H, RWSC36LJSD08B, RWSC36LJSD08S, RWSC72LJSD08K, RWSC72LJSD08H, RWSC72LJSD08B, RWSC72LJSD08S

KNOX PADLOCKS™

When second matter™

EXTERIOR PADLOCK FEATURES AND BENEFITS

Knox exterior padlocks utilize the same master key used with the Knox Rapid Access System. The exterior, heavy-duty Knox Padlock (Model #3770) with a stainless steel shackle is designed for securing perimeter or fire access, industrial equipment yards, residential storage areas, temporary construction sites, gated communities, etc. The shrouded all weather padlock (Model #3772) provides additional security against pry and cut attacks. The lock cylinder has a UL 437 listing which demonstrates it has met the rigorous standard. Performance is tested with a battery of endurance and attack tests.

- All-weather rust free stainless steel shackle
- Shackles are thicker than most standard padlocks
- Heavy-duty lock design and solid brass body resists pull attacks
- Lock and body protects from outdoor elements
- Key Retention: Key can not be removed from an unlocked padlock
- Authorized agency identification labels available: Fire (red), EMS (white), Police (blue), Sheriff (gold), Security (white)

INTERIOR PADLOCK FEATURES AND BENEFITS

Knox interior padlocks utilize the same master key used with the Knox Rapid Access System. The interior Knox Padlock (Models 3771 and 3774) are designed to secure fire sprinkler control systems, hazardous chemical supplies, restricted utility areas, equipment lockers, and cases. The lock cylinder has a UL 437 listing which demonstrates it has met the rigorous standard. Performance is tested with a battery of endurance and attack tests.

- Stainless steel shackle, 5/16" diameter shackle fits on a wider range of interior hasps
- Heavy-duty lock design and solid brass body resists pull attacks
- Key Retention: Key can not be removed from an unlocked padlock
- Authorized agency identification labels available: Fire (red), EMS (white), Police (blue), Sheriff (gold), Security (white)

ABOUT KNOX COMPANY

Over forty years ago, a unique concept in rapid access for emergency response was born. The KnoxBox™, a high-security key lock box, was designed to provide rapid access for emergency responders to reduce response times, minimize injuries and protect property from forced entry.

Today, one revolutionary lock box has grown into a complete system providing rapid access for public safety agencies, industries, military, and property owners across the world. The Knox Company is trusted by over 14,000 fire departments, law enforcement agencies, and governmental entities.

Padlock Comparison Table:

| Padlock | Shrouded Exterior Model #3772 | Exterior Model #3770 | Interior Model #3771 | Interior Model #3774 |
|-------------------|---|---|---|---|
| Lock | Double action rotating tumblers and hardened steel pins accessed by a biased cut key. | Heavy-duty UL Listed cylinder. | Solid brass body and cylinder with a stainless steel shackle. | Solid brass body and cylinder with a stainless steel shackle. |
| Finish | Solid brass body and cylinder with EPDM rubber seal and stainless steel shackle. | Solid brass body and cylinder with a stainless steel shackle. | Solid brass body and cylinder with a stainless steel shackle. | Solid brass body and cylinder with a stainless steel shackle. |
| Dimensions | 3-3/4" H x 2-3/8" W x 1-3/8" D | 4-7/8" H x 2-1/2" W x 1-7/8" D | 5" H x 2-1/16" W x 1-3/16" D | 3-3/4" H x 2-1/16" W x 1-3/16" D |
| Shackle Clearance | 3/4" | 1-13/16" | 2-3/8" | 1-1/8" |
| Shackle Diameter | 7/16" | 7/16" | 5/16" | 5/16" |

Please note: Use the chart above to ensure you're ordering the accurate padlock for your environment.

Graphic depicts a Knox padlock daisy-chained with the property owner's padlock, which allows entry for both entities.

1601 W. DEER VALLEY ROAD, PHOENIX, AZ 85027 | T: 800-552-5669 | F: 623-687-2290 | INFO@KNOXBOX.COM | KNOXBOX.COM

AREA LIGHT DETAIL - A1 & A2

NOT TO SCALE

WALL LIGHT DETAIL - W1

NOT TO SCALE

KNOX PAD LOCK DETAIL

NOT TO SCALE

NOTES:

- SUB-BASE DEPTH AND PREPARATION IS DEPENDENT ON SITE CONDITIONS PLUS LOADING REQUIREMENTS.
- TRUEGRID PRO LITE PRODUCTS ARE SUFFICIENTLY RATED FOR H-20 /HS-20 LOADING AND GREATER.
- TYPICAL SEEDING OR HYDROSEEDING METHODS FOR GRASS GROWTH ARE ACCEPTABLE WITH TRUEGRID.
- SOD CAN BE LAID ON SOIL FILLED GRID FOR IMMEDIATE GRASS (TYPICAL FOR FIRE LANES)
- FOR HIGHER TRAFFIC SOD INSTALLATIONS, RECESS SOIL LEVEL WITHIN TRUEGRID AND PRESS IN SOD SO THAT TOP OF GRID IS AT SOIL LEVEL.
- GEOGRID MESH OR GEOFABRIC MAY BE REQUIRED BETWEEN SUBGRADE & SUBBASE FOR CERTAIN SOILS AND SITE SPECIFIC REQUIREMENTS.
- FILTER FABRIC MAY BE REQUIRED BETWEEN TRUEGRID AND SUB-BASE MATERIAL IF HIGH VOID RATIO IN SUB-BASE MATERIAL.
- NO STAKING TYPICALLY NECESSARY WITH TRUEGRID PRO LITE WHEN SLOPE 20 DEGREES, ASSESS PROJECT AS NEEDED.
- TRUEGRID PRO LITE IS ADA COMPLIANT WITH PROPER FILL MATERIAL.
- FINAL ENGINEERED CROSS SECTION AGGREGATES AND DEPTH SHOULD ALLOW FOR EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS AND LOAD REQUIREMENTS.
- THIS CROSS SECTION IS FOR INFORMATION ONLY.

12. OR APPROVED EQUAL

TRUEGRID BLOCK REFERENCE VIEW
PREASSEMBLED & DELIVERED IN 4' X 4' SHEET. RECONFIGURED AS NEEDED. NO EXTRA TOOLING OR ACCESSORIES REQUIRED.

ADJOINING FINISH GRADE TRUEGRID SURFACE FLUSH OR SLIGHTLY RECESSED SEE DRAWING TG-EDGE-OPTS FOR EDGING OPTIONS

FOR PRICING OR ORDERING: CALL 1-855-355-GRID (4743). IN STOCK. FACTORY DIRECT.

FIRELANE - GRASS FILL TRUEGRID PRO LITE

PERMEABLE PAVER DETAIL
NOT TO SCALE

| | | | | |
|-------------------|----|----|----|----------|
| 00 ORIGINAL ISSUE | JT | CW | CW | 9/3/2019 |
| 1 | 2 | 3 | 4 | 5 |

1-855-355-GRID (4743) CLIENT / PROJECT: TRUEGRID PRO LITE GRASS FILL INSTALLATION HEAVY LOAD FIRE LANE

APPROVAL INFORMATION: TRUEGRID PRO LITE GRASS FILL INSTALLATION HEAVY LOAD FIRE LANE

DATE: 9/30/19

SCALE: 1/2" = 1'-0"

10/11/2019

10/11/2019

10/11/2019

10/11/2019

TRUEGRID® PRO LITE

Manufacturer's Product Specification Sheet

Dimensions: 24" x 24" x 1" (4 sq/ft)

Pre-Assembled: 16 sq/ft per layer (4' x 4' sheet) (4 grids per layer)

Cell Width: 3-2/16"

Weight: 2.53 lbs

Porosity: 90%

Compressive strength: Over 6,000 psi when filled.

Material: Recycled High Density Polyethylene (100% post-consumer)

Color: Black with UV Stabilizer

Temperature Range: Dimensionally Stable for -58F to 194F

Moisture Absorption: .01%

Environmental Compatibility: Nontoxic, harmless to plants, animals, and microorganisms. Inert material, groundwater neutral

Installation Speed: 1000 sq/ft per man hour

APPROVED Resolution Number 21-15 Date June 14, 2021

FOR PRICING OR ORDERING: CALL 1-855-355-GRID (4743). IN STOCK. FACTORY DIRECT.

10/11/2019

10/11/2019

10/11/2019

10/11/2019

Product: 03/24/22 - 1:11 PM, By: zpercoale, File: P:\CSPC PROJECTS\0114 McDonald's\09-146 Yorktown NY LC 31070\DWG\Site Plans\011499146SD13.dwg, ---> 12 CONSTRUCTION DETAILS

REVISIONS

| NO | DATE | DESCRIPTION |
|----|----------|--|
| 13 | 02/04/22 | REVISED PER BUILDING REDESIGN |
| 12 | 09/14/21 | REVISED PER BUILDING DEPARTMENT COMMENTS |
| 11 | 06/04/21 | REVISED PER NYDEP COMMENTS |
| 10 | 11/04/20 | REVISED PER ABCA AND PLANNING BOARD COMMENTS |
| 9 | 04/13/20 | REVISED PER NEW BUILDING |
| 8 | 01/20/20 | REVISED PER NYDEP COMMENTS |
| 7 | 11/09/19 | REVISED PER PLANNING BOARD COMMENTS |
| 6 | 10/25/19 | REVISED PER BUREAU OF FIRE PREVENTION COMMENTS |
| 5 | 10/09/19 | REVISED PER PLANNING BOARD COMMENTS |

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100 South Main Street, Suite 200, Orangetown, NY 10986

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PREPARED BY: [Signature]

DRAWN BY: [Signature]

DATE: 12/28/2018

REVIEWED BY: [Signature]

DATE ISSUED: 12/28/2018

APPROVED Resolution Number 21-15 Date June 14, 2021

PROPOSED MCDONALD'S REMODEL

CONSTRUCTION DETAILS

SITE ID: 31-0770

SITE ADDRESS: 100 S. MAIN ST., ORANGETOWN, NY 10986

TIAGO F. DUARTE

PROFESSIONAL ENGINEER

10114-99-146

C-12

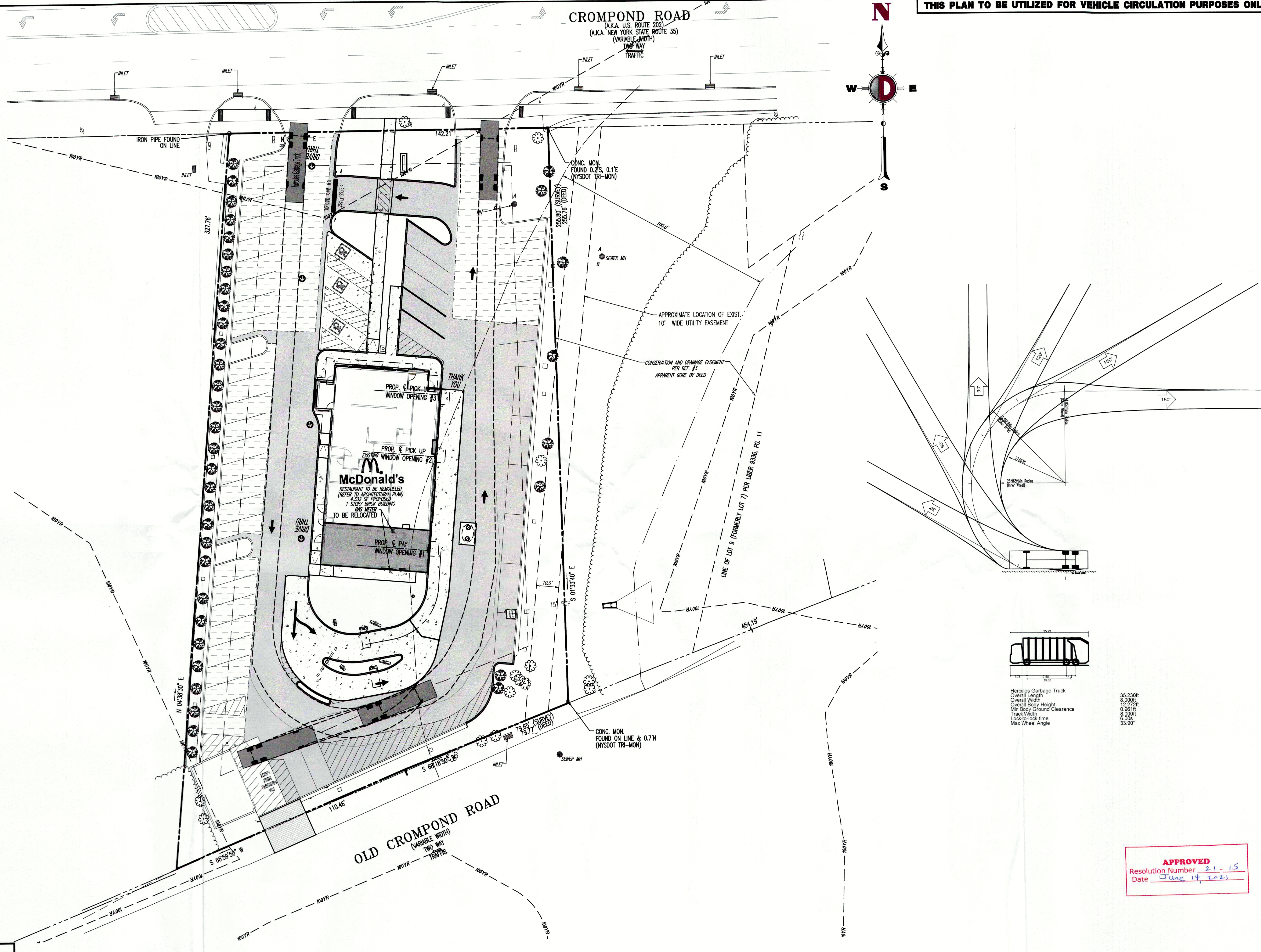
SHEET 12 OF 16

Plotted: 03/24/22 - 1:12 PM. By: sparcoskic, Product: Ver: 24-1s (LMS Tech) File: P:\DCEPC PROJECTS\0114_McDonald's\99-146_Yorktown NY LC 310170.Dwg (Site Plans\011499146SV13.dwg) -> 14. VEHICLE CIRCULATION PLAN (REFUSE TRUCK)

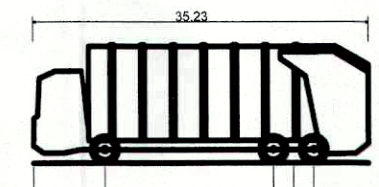
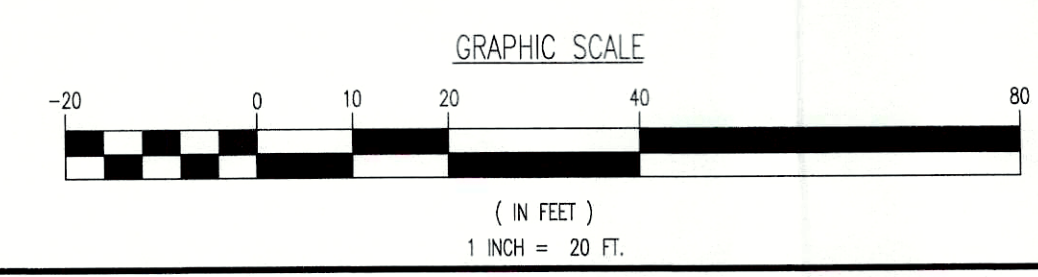
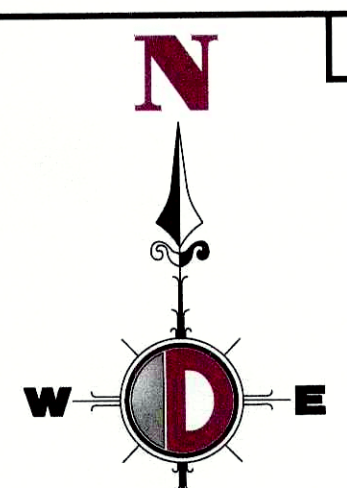
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THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



Hercules Garbage Truck
Overall Length 35.23ft
Overall Width 8.00ft
Overall Body Height 12.27ft
Min Body Ground Clearance 0.96ft
Track Width 8.00ft
Lock-to-lock time 6.0ft
Max Wheel Angle 33.90°

APPROVED
Resolution Number 21-15
Date June 14, 2021

JOSÉ F. DUARTE
PROFESSIONAL ENGINEER
NEW YORK STATE LICENSE NO. 13699

TIAGO F. DUARTE
PROFESSIONAL ENGINEER

| | |
|-------------|--|
| DATE | DESCRIPTION |
| 13 02/04/22 | REVISED PER BUILDING REVISION |
| 12 09/14/21 | REVISED PER BUILDING DEPARTMENT COMMENTS |
| 11 06/04/21 | REVISED PER NYCDOT COMMENTS |
| 10 11/04/20 | REVISED PER ABACA AND PLANNING BOARD COMMENTS |
| 9 04/13/20 | REVISED PER NEW BUILDING JNO/ART |
| 8 01/20/20 | REVISED PER NYCDOT COMMENTS |
| 7 11/08/19 | REVISED PER PLANNING BOARD COMMENTS |
| 6 10/25/19 | REVISED PER BUREAU OF FIRE PREVENTION COMMENTS |
| 5 10/08/19 | REVISED PER PLANNING BOARD COMMENTS |
| REV | DATE |

PREPARED FOR:
McDonald's USA, LLC
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. Use of these drawings for reference or example on another project requires the contractor to obtain the necessary approvals from the appropriate authorities. The contractor shall be responsible for ensuring that the drawings are used in accordance with the contract documents for reuse on another project is not authorized.

PREPARED BY:
JTC
DATE: 12/28/2018

TITLE:
PROPOSED MCDONALD'S REMODEL
VEHICLE CIRCULATION PLAN
(REFUSE TRUCK)

SITE ADDRESS:
3605 W. CROMPOND RD. USE ROUTE 202/STATE ROUTE 35,
CITY OF YORKTOWN, WESTCHESTER COUNTY, NEW YORK

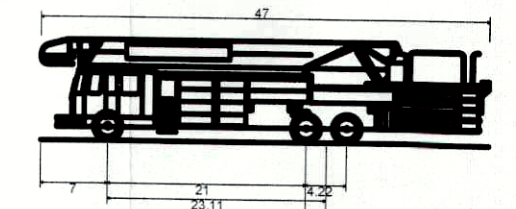
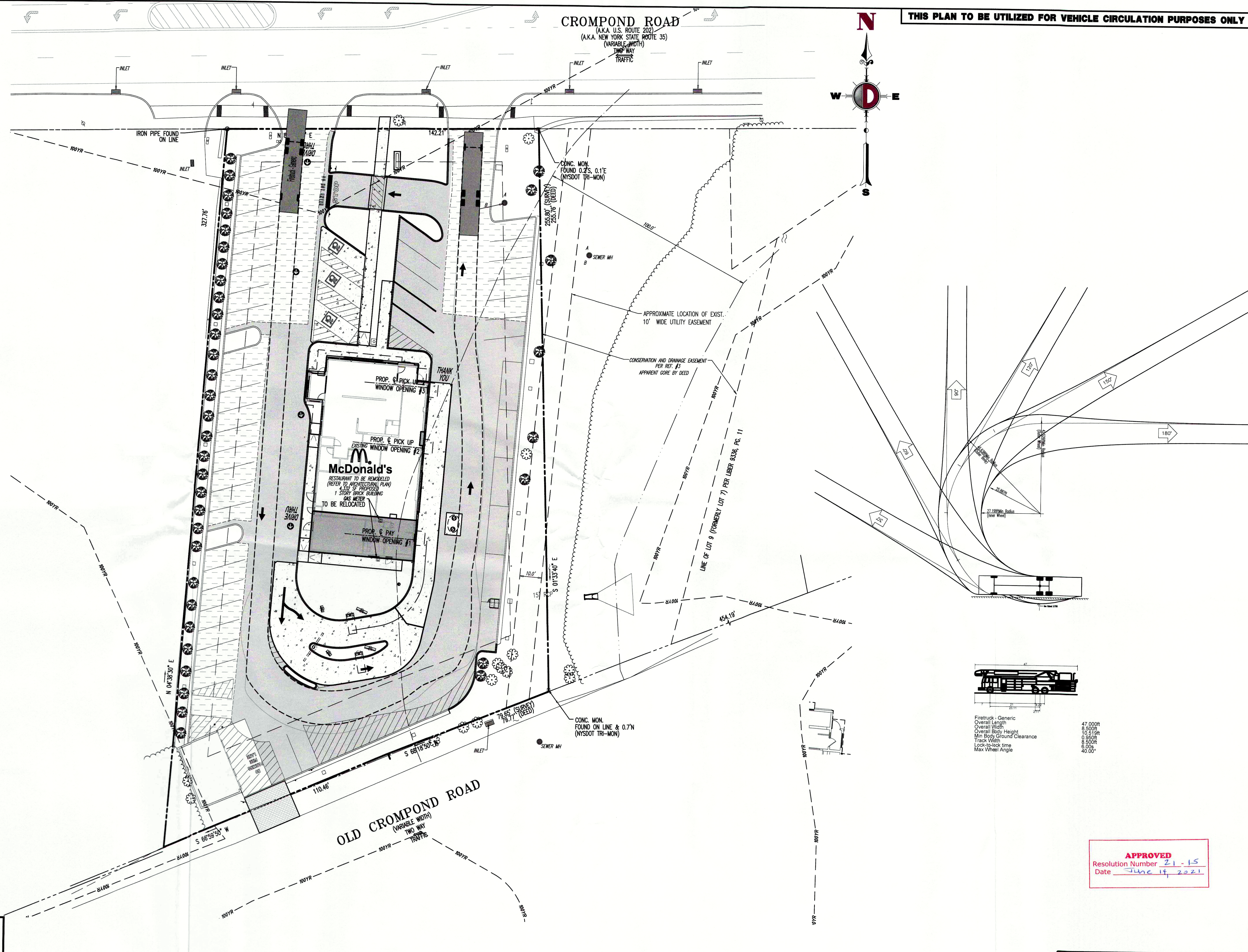
0114-99-146
C-14
SHEET 14 OF 16

Printed: 03/24/22 1:17 PM By: zpercolade Product Ver: 24.1s (LMS Tech) File: \BEGC\PROJECTS\0114_McDonalds\09-146_Yorktown_NY_LP_310170\DWG\Site_Plan\011499146SV13.dwg. ---> 16 VEHICLE CIRCULATION PLAN (FIRE TRUCK)

PROTECT YOURSELF
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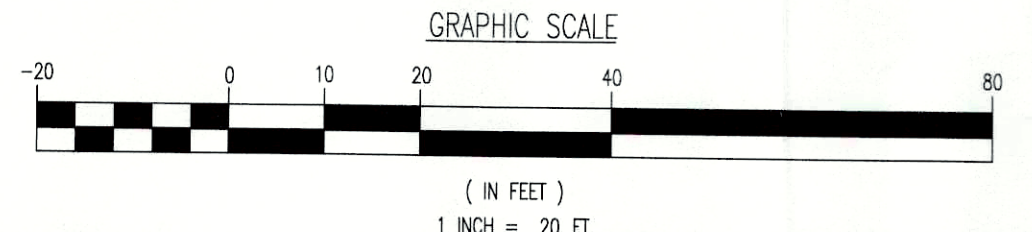
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WWW.CALL811.COM



Firetruck - Generic
Overall Length 8.500ft
Overall Width 10.519ft
Overall Body Height 8.500ft
Min Body Ground Clearance 6.500ft
Track Width 6.000ft
Lock-to-lock time 40.00"
Max Wheel Angle

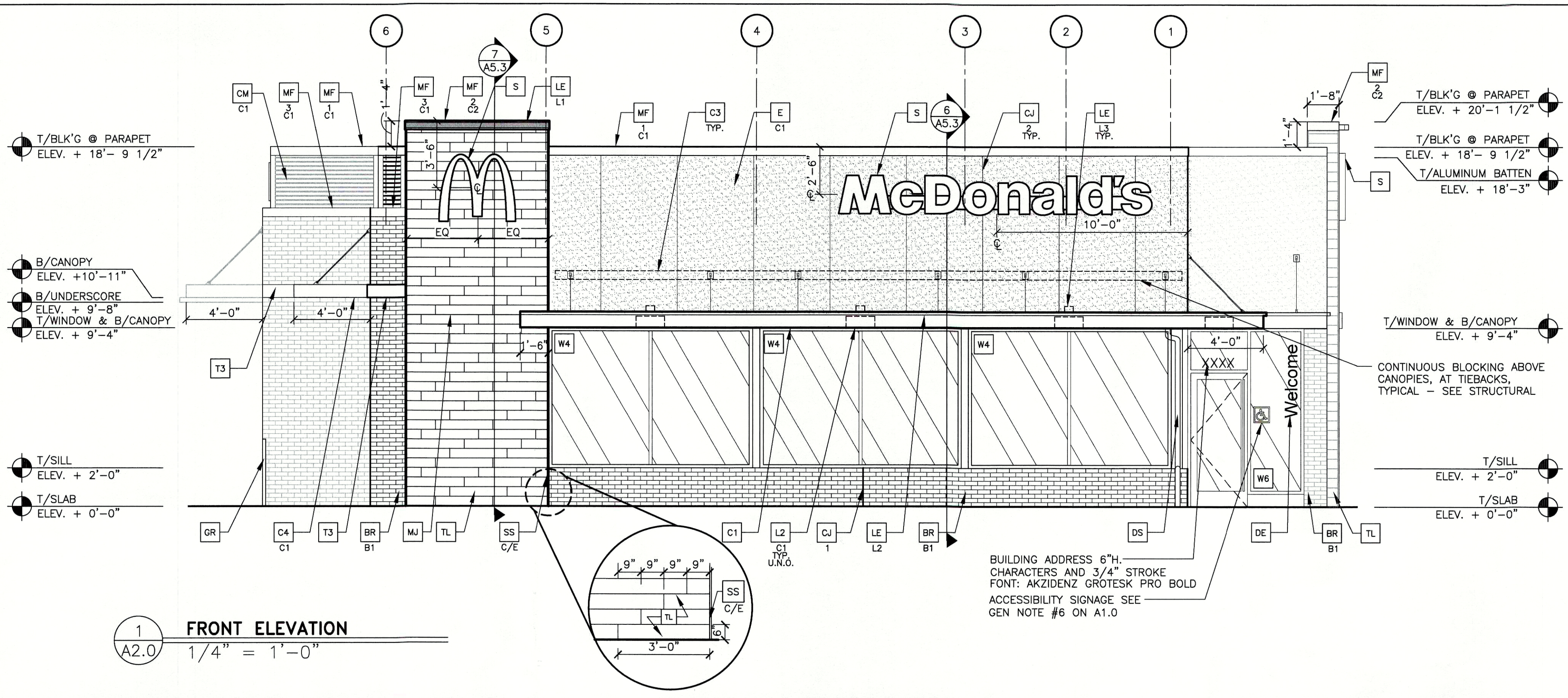
APPROVED
Resolution Number 21-15
Date June 14, 2021



JOSEPH C. SPARONE
PROFESSIONAL ENGINEER
NEW YORK STATE LICENSE NO. 109897

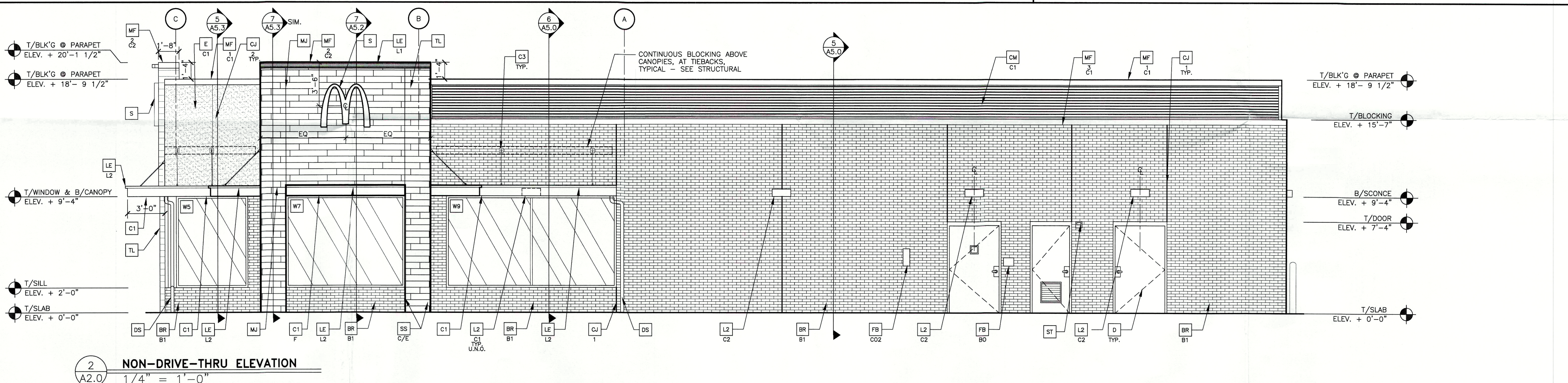
TIAGO F. DUARTE
PROFESSIONAL ENGINEER

| | |
|--|--|
| <p>THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION PREPARED BY: McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be used for any other project without written authorization. The contract documents were prepared for a specific site in conjunction with its issue date and are not suitable for reference or example on another project. Reproduction of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</p> | |
| <p>THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION</p> | <p>2019 McDonald's Corporation</p> |
| <p>PROPOSED MCDONALD'S REMODEL</p> | <p>DRIVEN BY RRR</p> |
| <p>VEHICLE CIRCULATION PLAN (FIRE TRUCK)</p> | <p>STD ISSUE DATE -</p> |
| <p>31-0170</p> | <p>REVIEWED BY TFD</p> |
| <p>DATE ISSUED 12/28/2018</p> | <p>DATE ISSUED 12/28/2018</p> |
| <p>0114-99-146 C-16 SHEET 16 OF 16</p> | <p>DATE 12/28/2018</p> |
| <p>13 02/04/22 REVISED PER BUILDING REDESIGN</p> | <p>13 02/04/22 REVISED PER BUILDING DEPARTMENT COMMENTS</p> |
| <p>12 09/14/21 REVISED PER NYCDPE COMMENTS</p> | <p>12 09/14/21 REVISED PER NYCDPE COMMENTS</p> |
| <p>11 06/04/21 REVISED PER ABACA AND PLANNING BOARD COMMENTS</p> | <p>11 06/04/21 REVISED PER ABACA AND PLANNING BOARD COMMENTS</p> |
| <p>10 11/04/20 REVISED PER NEW BUILDING</p> | <p>10 11/04/20 REVISED PER NEW BUILDING</p> |
| <p>9 04/13/20 REVISED PER NYCDPE COMMENTS</p> | <p>9 04/13/20 REVISED PER NYCDPE COMMENTS</p> |
| <p>8 01/20/20 REVISED PER PLANNING BOARD COMMENTS</p> | <p>8 01/20/20 REVISED PER PLANNING BOARD COMMENTS</p> |
| <p>7 11/09/19 REVISED PER BUREAU OF FIRE PREVENTION COMMENTS</p> | <p>7 11/09/19 REVISED PER BUREAU OF FIRE PREVENTION COMMENTS</p> |
| <p>6 10/25/19 REVISED PER PLANNING BOARD COMMENTS</p> | <p>6 10/25/19 REVISED PER PLANNING BOARD COMMENTS</p> |
| <p>5 10/09/19 REVISED PER PLANNING BOARD COMMENTS</p> | <p>5 10/09/19 REVISED PER PLANNING BOARD COMMENTS</p> |
| <p>REV</p> | <p>DATE</p> |
| <p>DESCRIPTION</p> | <p>DESCRIPTION</p> |



1 FRONT ELEVATION
A2.0 1/4" = 1'-0"

3 NOT USED
A2.0



2 NON-DRIVE-THRU ELEVATION
A2.0 1/4" = 1'-0"

| BUILDING SIGNAGE SCHEDULE | | |
|-------------------------------|----------------------------|-------------|
| FAÇADE | SIGN ELEMENT | S.F. |
| FRONT | 1 McDonald's "M" ARCH LOGO | 14 |
| | 2 McDonald's LOGO | 32.8 |
| | TOTAL: | 46.8 |
| NON-DRIVE THRU SIDE | 1 McDonald's "M" ARCH LOGO | 14 |
| | TOTAL: | 14 |
| DRIVE THRU SIDE | 2 McDonald's LOGO | 32.8 |
| | TOTAL: | 32.8 |
| REAR | | 0 |
| | TOTAL: | 0 |
| TOTAL BUILDING SIGNAGE | | 93.6 |

KEY NOTES:

- BR MODULAR FACE BRICK COLOR: DESERT SCHEME
- B1 B1 = "SILVERADO" SMOOTH BY HEBRON BRICK COMPANY MORTAR: SM300 LIGHT BUFF BY SPEC MIX
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE
- C2 ALUMINUM CANOPY FASCIA COLOR: WHITE
- F ALUMINUM CANOPY TIEBACK COLOR: CHARCOAL
- C3 ALUMINUM CANOPY TIEBACK ON WALL BEHIND TIEBACKS COLOR: CHARCOAL
- C4 ALUMINUM CANOPY SYSTEM COLOR: CITYSCAPE
- CJ CONTROL JOINT
- T1 TYPE: 1 = MASONRY, SEE DETAIL 7/A4.1 2 = E.I.F.S.
- CM CORRUGATED METAL PANEL BY METAL ERA OVER EXTERIOR GRADE SHEATHING - SEE 1B/A5.0
- D HOLLOW METAL DOOR PAINT: "HC-85 FAIRVIEW TAUPE" BY BENJAMIN MOORE
- DE DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com GEX INTERNATIONAL (847) 543-4800, mcdonaldsdecor@gixi.com
- DS DOWNSPOUT PAINT TO MATCH SURROUNDING MATERIAL. CONNECT TO STORM LINE REFER PLUMBING & CIVIL
- E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)
- C1-COLOR: C1 = "HC-85 FAIRVIEW TAUPE" BY BENJAMIN MOORE
- FB FILL BOX
- CO2 CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 48.00) BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.19)
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH SEE 4/A2.1 FOR DETAILS PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
- C1-COLOR: C1 = WHITE C2 = PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL
- L1-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
- T1-TYPE: C1 = 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = PRE-FAB CUSTOM ARCADE FASCIA C2 = PRE-FAB MASONRY CAP FASCIA
- DE BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com GEX INTERNATIONAL (847) 543-4800, mcdonaldsdecor@gixi.com
- DS DOWNSPOUT PAINT TO MATCH SURROUNDING MATERIAL. CONNECT TO STORM LINE REFER PLUMBING & CIVIL
- EU EUROWEST E-WOOD BLACK 6X36 TILE
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR UNIT: APERTURE WPT, #D/A2013 CALL 1-877-756-7842 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- SS STAINLESS STEEL PRODUCT #
- C = (CONNER STRIP) COLOR TO MATCH TILE E = (EDGE STRIP) COLOR TO MATCH TILE
- UN METAL UNDERSCORE COLOR: GOLD
- T3 ALUMINUM 2" x 8" WALL FASCIA SYSTEM COLOR: CITYSCAPE
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: DARK BRONZE - SEE ASSEMBLY NOTES ON 4/A5.0 & FRAME TYPES ON SHEET A5.0
- W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE
- XX-SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

GENERAL TILE NOTES:

- EUROWEST CONTACT: JAN DETER, 714-937-7500 E-WOOD COLLECTION BY EUROWEST
- SIZE: COLOR: R9 BLACK SIZE: 6"x36"x3/8" PATTERN: 1/4" RUNNING BOND
- GROUT: MAPEI ULTRA COLOR PLUS GROUT COLOR: 47 CHARCOAL
- GROUT WIDTH: 1/8" TO 3/16"
- WATERPROOFING MEMBRANE: FLEXIBLE, CEMENT-BASED WATERPROOFING MEMBRANE-MAPEI, MAPELASTIC AQUA DEFENSE
- QUICK-SETTING THIN-SET MORTAR: MAPEI, GRANI/RAPID SYSTEM CONSISTING OF GRANI/RAPID POWDER AND LATEX ADDITIVE.
- FAST SETTING, POLYMER-MODIFIED GROUT: MAPEI, ULTRACOLOR PLUS FA, FAST-SETTING, POLYMER-MODIFIED, COLOR-CONSISTENT, NONSHRINKING, EFFLORESCENCE-FREE GROUT.
- INITIAL CLEANING: DETERDEK
- *** POST INSTALLATION CLEANER IS REQUIRED ON ALL TILE APPLICATIONS. VERIFY CLEANING SOLUTION PRODUCT AND INSTRUCTIONS WITH MANUFACTURER.***

ADDITIONAL MATERIALS:

- BY SCHLUTER SCHLUTER SYSTEMS L.P. CONTACT: EARL MAICUS, CSI, 1-800-472-4588 (GENERAL); 1-518-324-3410 (DIRECT)
- SCHLUTER STRIPS: ON OUTER CORNERS (TO PROTECT THE EDGES) - RONDEC R010QAGSB (BLACK) ALUMINUM, 10MM
- SCHLUTER STRIP MOVEMENT JOINTS: MATCH TILE COLOR
- MOVEMENT JOINTS COLOR: CAULK TO MATCH CAULK TO MATCH GROUT COLOR
- MOVEMENT JOINTS WIDTH: 3/16" TO 1/4"
- TILE GENERAL NOTES: REFERENCE 2014 TCNA HANDBOOK -E171 MOVEMENT JOINT GUIDELINES
- 1. LOCATION AND FREQUENCY OF JOINTS EXTERIOR: 8' TO 12' FEET IN EACH DIRECTION, OR AS INDICATED ON ELEVATIONS.
- 2. JOINT WIDTH: EXTERIOR: MINIMUM 3/8" FOR JOINTS 8' ON CENTER, MINIMUM 1/2" FOR JOINTS 12' ON CENTER.
- 3. PERIMETER JOINTS - MOVEMENT JOINTS ARE REQUIRED WHERE TILE WORK ABUTS RESTRAINING SURFACES SUCH AS PERIMETER WALLS, AND GRADE FLEXIBLE SEALANT AND COMPRESSIBLE BACK-UP WHEN REQUIRED OR BOND BREAKER TAPE. JOINT MATERIAL: URETHANE COLOR: TO MATCH TILE AND GROUT COLOR
- 4. TIE-BACK AND SIGNAGE ATTACHMENT - PRE-DRILL TILE AND SLEEVE AND SEAL ALL ATTACHMENT POINTS.

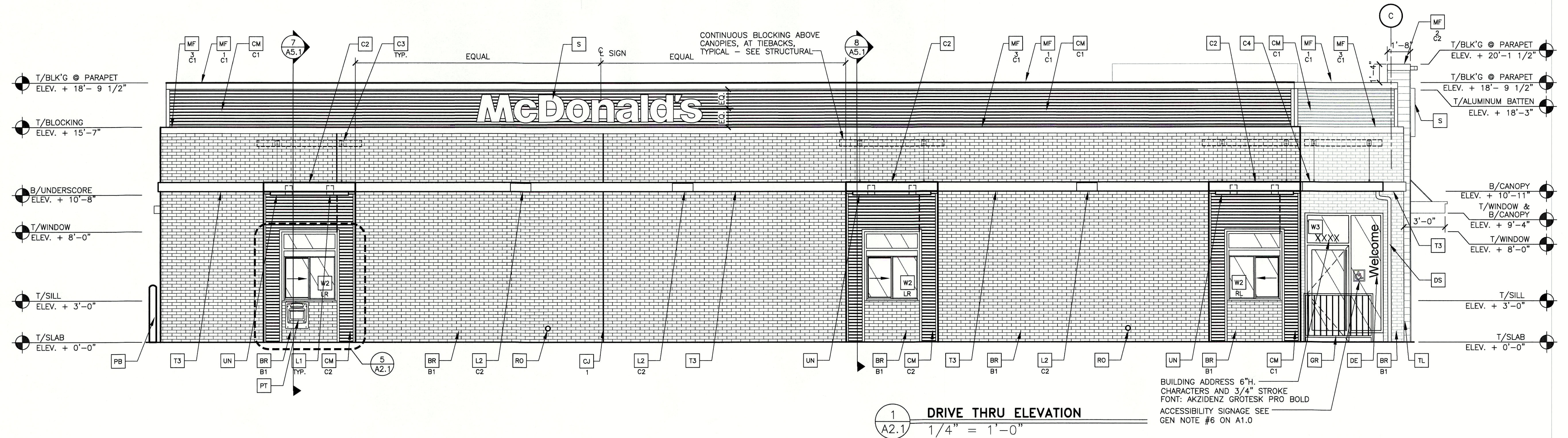
APPROVED
Resolution Number 21-15
Date: June 17, 2021

DRAWN BY: HM
 STD ISSUE DATE: 2019_01
 REVIEWED BY: AECOM Team
 DATE ISSUED: 02/18/2022
 SITE ID: 031-0170-001
 SITE ADDRESS: 3481 US HIGHWAY 202
 CORTLANDT MANOR, NY

PREPARED FOR: McDonald's USA, LLC
 PROJECT: 2022 STANDARD BUILDING - CORE 16
 TITLE: 4 WALL REBUILD
 DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD ROOF TRUSS FRAMING E.I.F.S./BATTEN/METAL PANEL/BRICK EXTERIOR FINISH

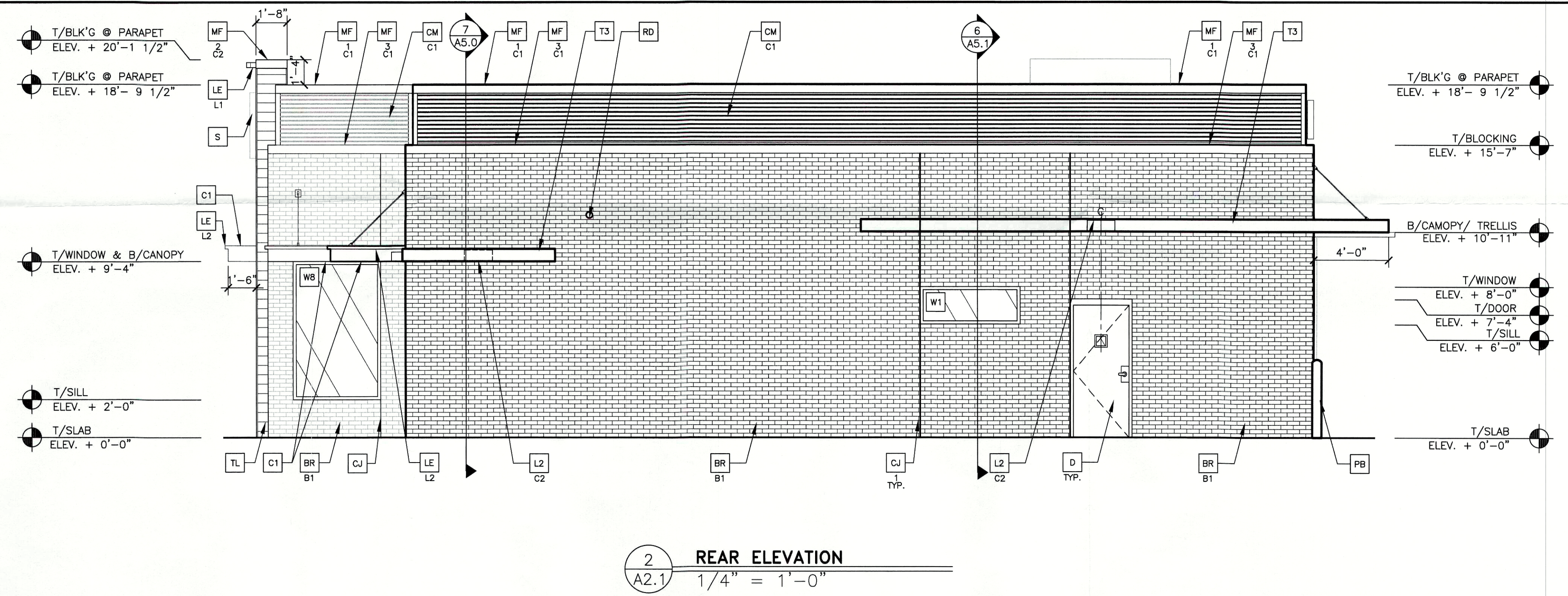
URS
 Architecture & Engineering -
 New York, P.C.
 1255 Broad Street, Suite 201
 Clifton, NJ 07013-3988
 973.883.8590 fax 973.883.8501
 http://www.urscorp.com

SHEET NO. **A2.0**
 ELEVATIONS



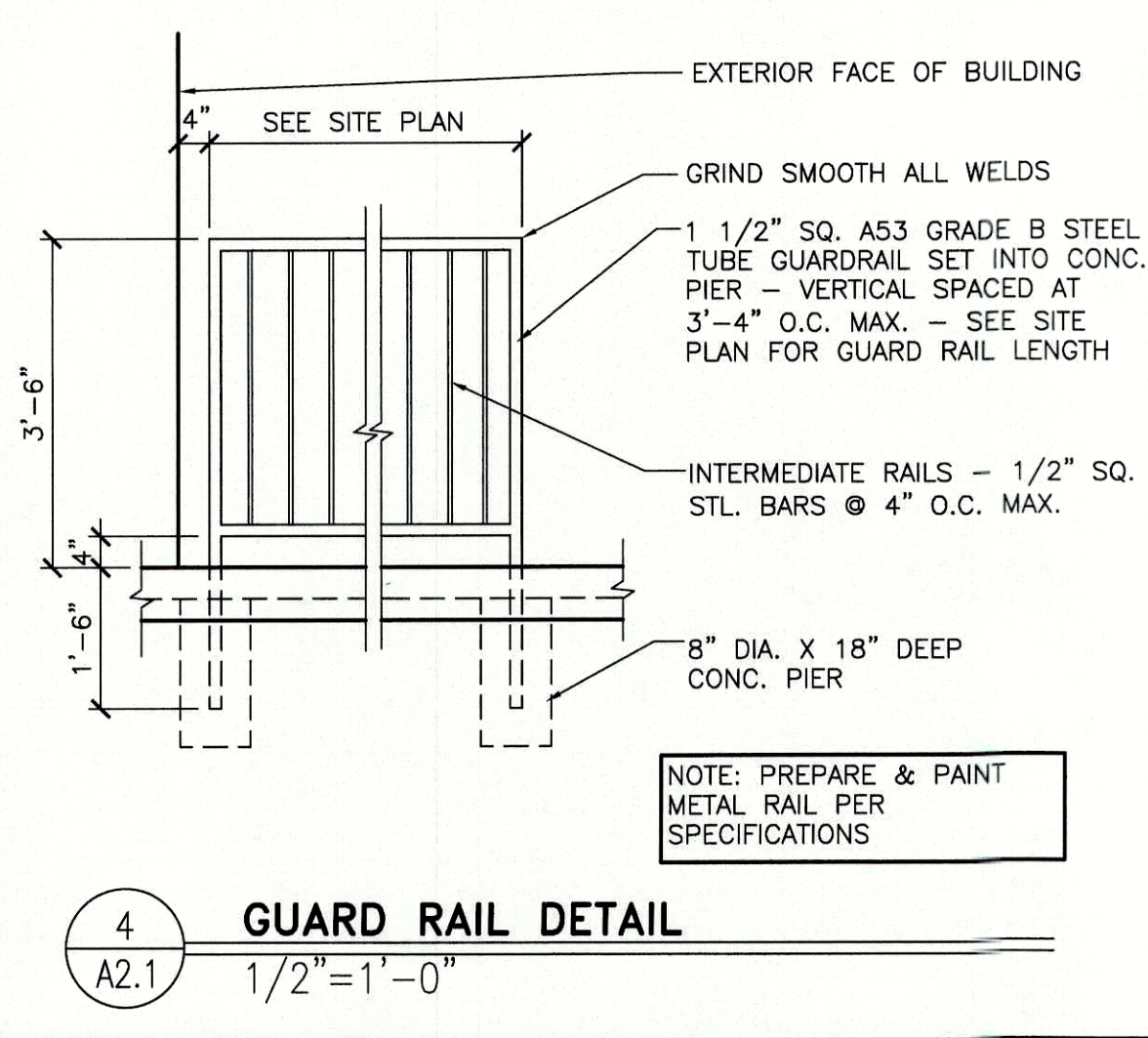
1 DRIVE THRU ELEVATION
1/4" = 1'-0"

BUILDING ADDRESS 6" H. CHARACTERS AND 3/4" STROKE BOLD FONT: AKZIDENZ GROTESK PRO BOLD
ACCESSIBILITY SIGNAGE SEE GEN NOTE #6 ON A1.0

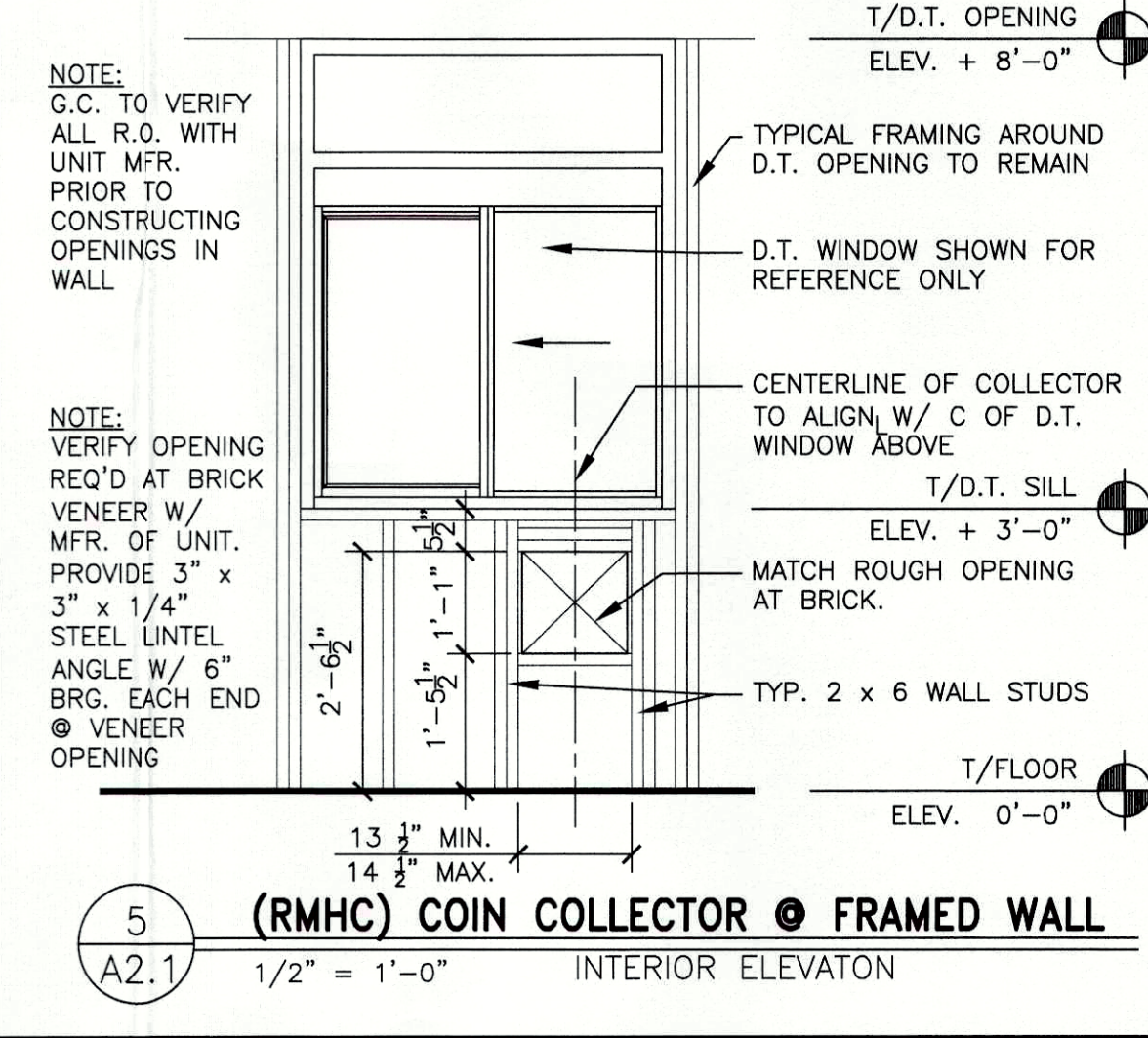


2 REAR ELEVATION
1/4" = 1'-0"

3 NOT USED
1/4" = 1'-0"



4 GUARD RAIL DETAIL
1/2" = 1'-0"



5 (RMHC) COIN COLLECTOR @ FRAMED WALL
1/2" = 1'-0"

- KEY NOTES:**
- BR MODULAR FACE BRICK COLOR: DESERT SCHEME
 - B1 COLOR: SILVERADO SMOOTH BY HEBRON BRICK COMPANY
 - MORTAR: SM300 LIGHT BUFF BY SPEC MIX
 - C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE
 - C1 ALUMINUM CANOPY FASCIA COLOR: WHITE
 - C2 ALUMINUM CANOPY SYSTEM COLOR: CHARCOAL
 - C3 ALUMINUM CANOPY TIEBACK COLOR: CHARCOAL
 - GO TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
 - C4 ALUMINUM CANOPY SYSTEM COLOR: CITYSCAPE
 - CJ CONTROL JOINT
 - T-TYPE: 1 = MASONRY, SEE DETAIL 7/A4.1
 - 2 = E.I.F.S.
 - CM CORRUGATED METAL PANEL BY METAL ERA OVER EXTERIOR GRADE SHEATHING - SEE 1B/A5.0
 - C1-COLOR: C1 = "CITYSCAPE" C2 = "CHARCOAL GRAY" (DT WINDOW SURROUND)
 - D DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
 - SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com
 - SEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@sex.com
 - DS DOWNSPOUT PAINT TO MATCH SURROUNDING MATERIAL. CONNECT TO STORM LINE REFER PLUMBING & CIVIL

- E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)
- C1-COLOR: C1 = "HC-85 FAIRVIEW TAUPE" BY BENJAMIN MOORE
- FB FILL BOX
- CO2 = BULK CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00)
- BO = BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18)
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH SEE 4/A2.1 FOR DETAILS
- PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
- COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
- C1-COLOR: C1 = WHITE C2 = PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL
- L1-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
- T-TYPE: C1 = PRE-FAB ANCHOR-TITE FASCIA C2 = PRE-FAB CUSTOM ARCADE FASCIA C3 = PRE-FAB MASONRY CAP FASCIA
- COLOR: C1 = CITYSCAPE C2 = CHARCOAL
- XX MOVEMENT JOINT SCHLUTER DILEX PRODUCT

- TL EUROWEST E-WOOD BLACK 6X36 TILE
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
- UNIT: APERTURE WPT, #DTA2013
- CALL 1-877-766-7642 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- SS STAINLESS STEEL PRODUCT #
- UN UNIFORM STRIP COLOR TO MATCH TILE
- E = (EDGE STRIP) COLOR TO MATCH TILE
- UN METAL UNDERSCORE COLOR: GOLD
- T3 ALUMINUM 2" x 8" WALL FASCIA SYSTEM COLOR: CITYSCAPE
- Wk EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: DARK BRONZE - SEE ASSEMBLY NOTES ON 4/A5.0 & FRAME TYPES ON SHEET A5.0
- DRIVE-THRU WINDOW BY READY ACCESS
- MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRIC RELEASE
- COLOR: DEEP BRONZE
- XX-SLIDE DIRECTION: LR = RIGHT TO LEFT
- LR = LEFT TO RIGHT

- GENERAL TILE NOTES:**
- EUROWEST CONTACT
JAN DETER, 714-937-7500
E-WOOD COLLECTION BY EUROWEST
- SIZE: COLOR: R9 BLACK SIZE: 6"x36"x3/8"
- PATTERN: 1/4" RUNNING BOND
- SCHLUTER STRIPS: ON OUTER CORNERS (TO PROTECT THE EDGES) - RONDEC R100AGSB (BLACK) ALUMINUM, 10MM
- SCHLUTER STRIP MOVEMENT JOINTS: MATCH TILE COLOR
- GROUT WIDTH: 1/8" TO 3/16"
- WATERPROOFING MEMBRANE: FLEXIBLE, CEMENT-BASED WATERPROOFING MEMBRANE-MAPEL, MAPELASTIC AQUA DEFENSE
- QUICK-SETTING THIN-SET MORTAR: MAPEL, GRANI/RAPID SYSTEM CONSISTING OF GRAN/RAPID POWDER AND LATEX ADDITIVE. FAST SETTING, POLYMER-MODIFIED GROUT: MAPEL, ULTRACOL PLUS FA, FAST-SETTING, POLYMER-MODIFIED, COLOR-CONSISTENT, NONSHRINKING, EFFLORESCENCE-FREE GROUT.
- INITIAL CLEANING: DETERJEX
- *** POST INSTALLATION CLEANER IS REQUIRED ON ALL TILE APPLICATIONS. VERIFY CLEANING SOLUTION PRODUCT AND INSTRUCTIONS WITH MANUFACTURER.***

- ADDITIONAL MATERIALS**
- BY SCHLUTER SCHLUTER SYSTEMS L.P.
CONTACT: EARL MAICUS, CSI, 1-800-472-4588 (GENERAL); 1-518-324-3410 (DIRECT)
- SCHLUTER STRIPS: ON OUTER CORNERS (TO PROTECT THE EDGES) - RONDEC R100AGSB (BLACK) ALUMINUM, 10MM
- SCHLUTER STRIP MOVEMENT JOINTS: MATCH TILE COLOR
- MOVEMENT JOINTS COLOR: CAULK TO MATCH CAULK TO MATCH GROUT COLOR
- MOVEMENT JOINTS WIDTH: 3/16" TO 1/4"
- TILE GENERAL NOTES:**
- REFERENCE 2014 TCNA HANDBOOK - EJ171 MOVEMENT JOINT GUIDELINES
1. LOCATION AND FREQUENCY OF JOINTS
EXTERIOR: 8' TO 12' FEET IN EACH DIRECTION, OR AS INDICATED ON ELEVATIONS.
 2. JOINT WIDTH
EXTERIOR: MINIMUM 3/8" FOR JOINTS 8' ON CENTER, MINIMUM 1/2" FOR JOINTS 12' ON CENTER.
 3. PERIMETER JOINTS - MOVEMENT JOINTS ARE REQUIRED WHERE TILE WORK ABUTS RESTRAINING SURFACES SUCH AS PERIMETER WALLS, AND GRADE. FLEXIBLE SEALANT AND COMPRESSIBLE BACK-UP WHEN REQUIRED OR BOND BREAKER TAPE.
JOINT MATERIAL: URETHANE
COLOR: TO MATCH TILE AND GROUT COLOR
 4. TIE-BACK AND SIGNAGE ATTACHMENT - PRE-DRILL TILE AND SLEEVE AND SEAL ALL ATTACHMENT POINTS.

HEBRON ARCHITECTURE
ARCHITECTURE & ENGINEERING
NEW YORK, P.C.
1255 BROAD STREET, SUITE 201
CLIFTON, NJ 07013-3988
973.883.8601 FAX 973.883.8601
http://www.aecom.com

PREPARED FOR: McDonald's USA, LLC

PROJECT: 2022 STANDARD BUILDING - CORE 16

SHEET NO: 4 WALL REBUILD

DATE ISSUED: 02/18/2022

DATE: 3/28/22

DESCRIPTION: ELEVATIONS

PROJECT No. 60580812 Task: 031-0170