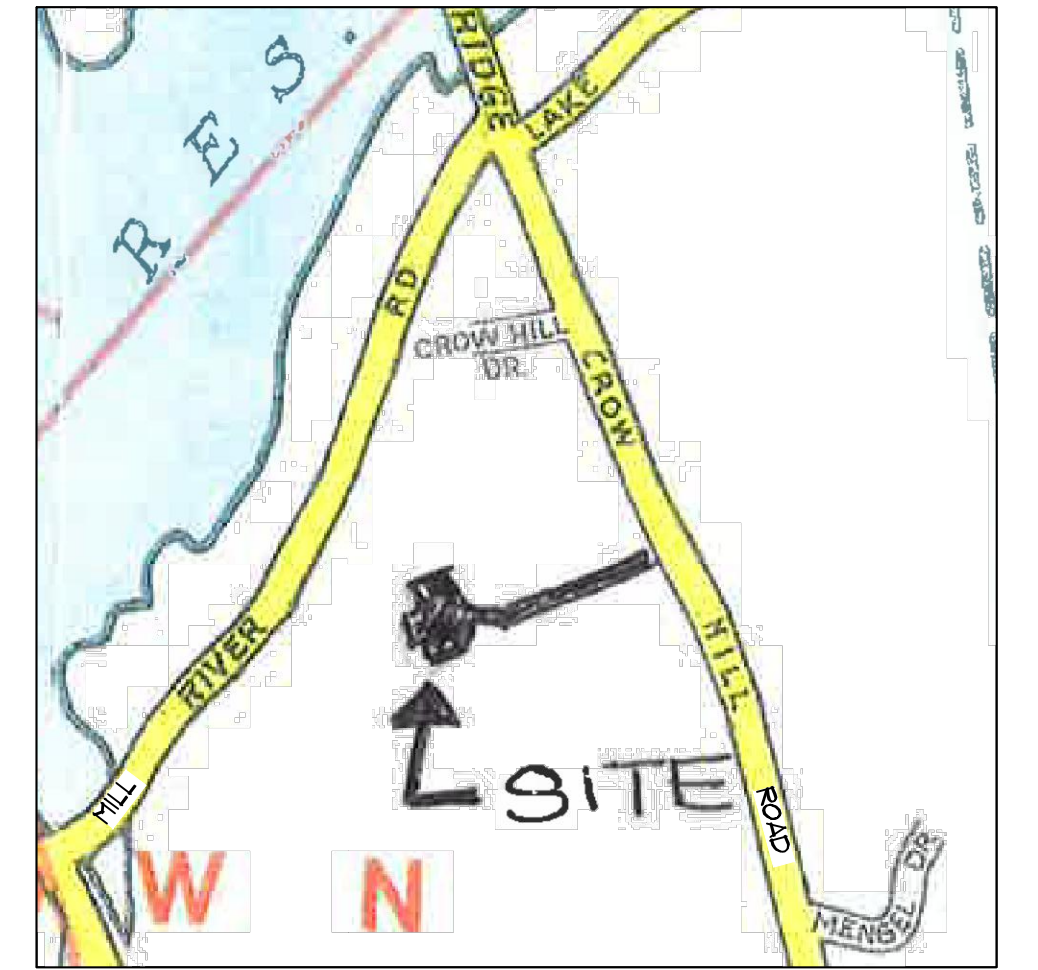
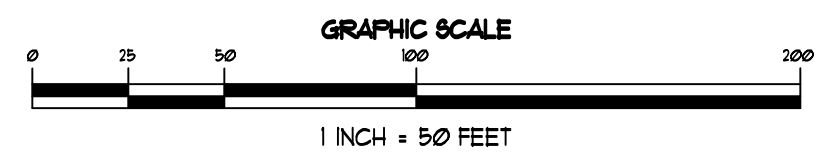
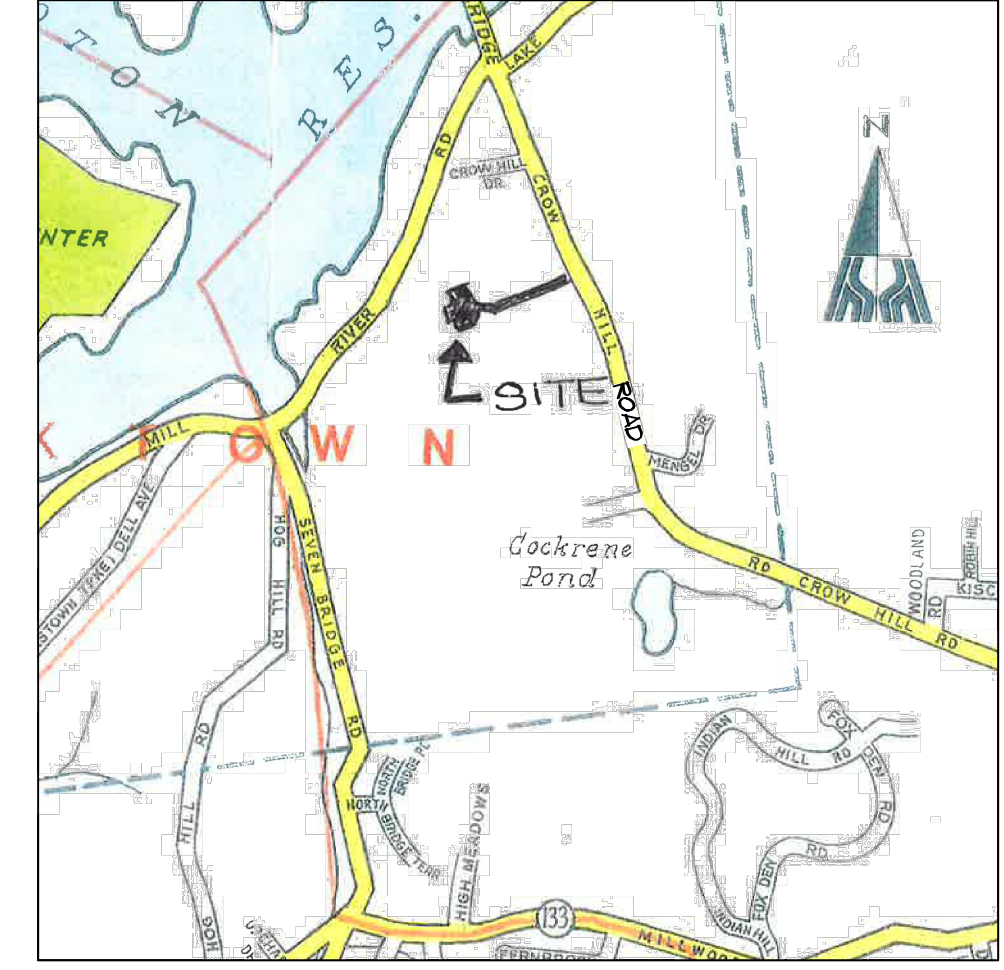
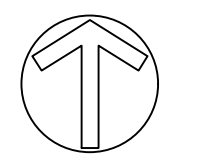


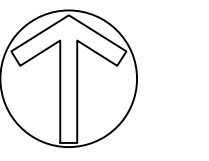
SKETCH SUBDIVISION PLAN



AREA MAP:
SCALE: 1"=1000'



LOCATION MAP:
SCALE: 1"=1000'



Bulk Zoning Chart

	R1-80	Lot 1 80,004	Lot 2 114,389
Lot area (square feet)	80,000		
Floor area ratio, usable (with public sewers) (square feet)		1837	2,626
Minimum site Area (acres)		230.7	333.9
Lot width at main building line (feet)	200	231.7	388.7
Lot depth (feet)	200	847.6	106.1
Front yard (feet)	75		
Side yard (feet)			
Main or accessory building, minimum either side	30	40.0	33.5
Two combined	80	138.0	270.0
Accessory building if in rear yard, minimum either side	10	NA	NA
Rear yard (feet)			
Main building	75	75.0	150.9
Accessory building	10	NA	NA
Maximum height (feet)			
Main Building (FEET)	35	< 35	< 35
Accessory building or structure	15	NA	NA
Minimum usable floor area of dwelling unit (square feet)	1,200	3325	2,400
Maximum building coverage of actual lot area (all buildings)	10%		
Required off street parking spaces per dwelling unit	1		
Road frontage (feet)	200	25.15	0

PUTNAM ENGINEERING, PLLC
ENGINEERS - ARCHITECTS
4 OLD ROUTE 6, BREWSTER, NEW YORK 10509
(845) 219-6109 FAX (845) 219-6169
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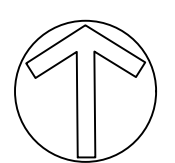
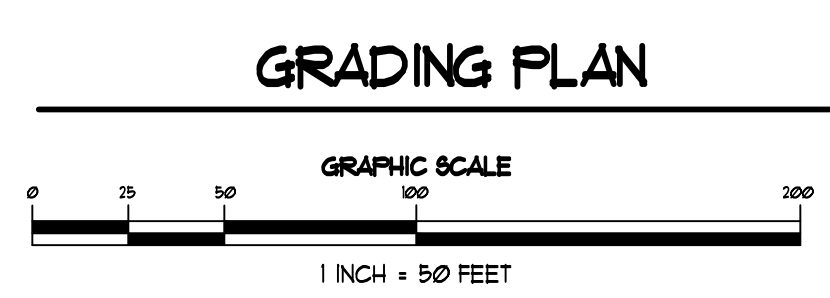
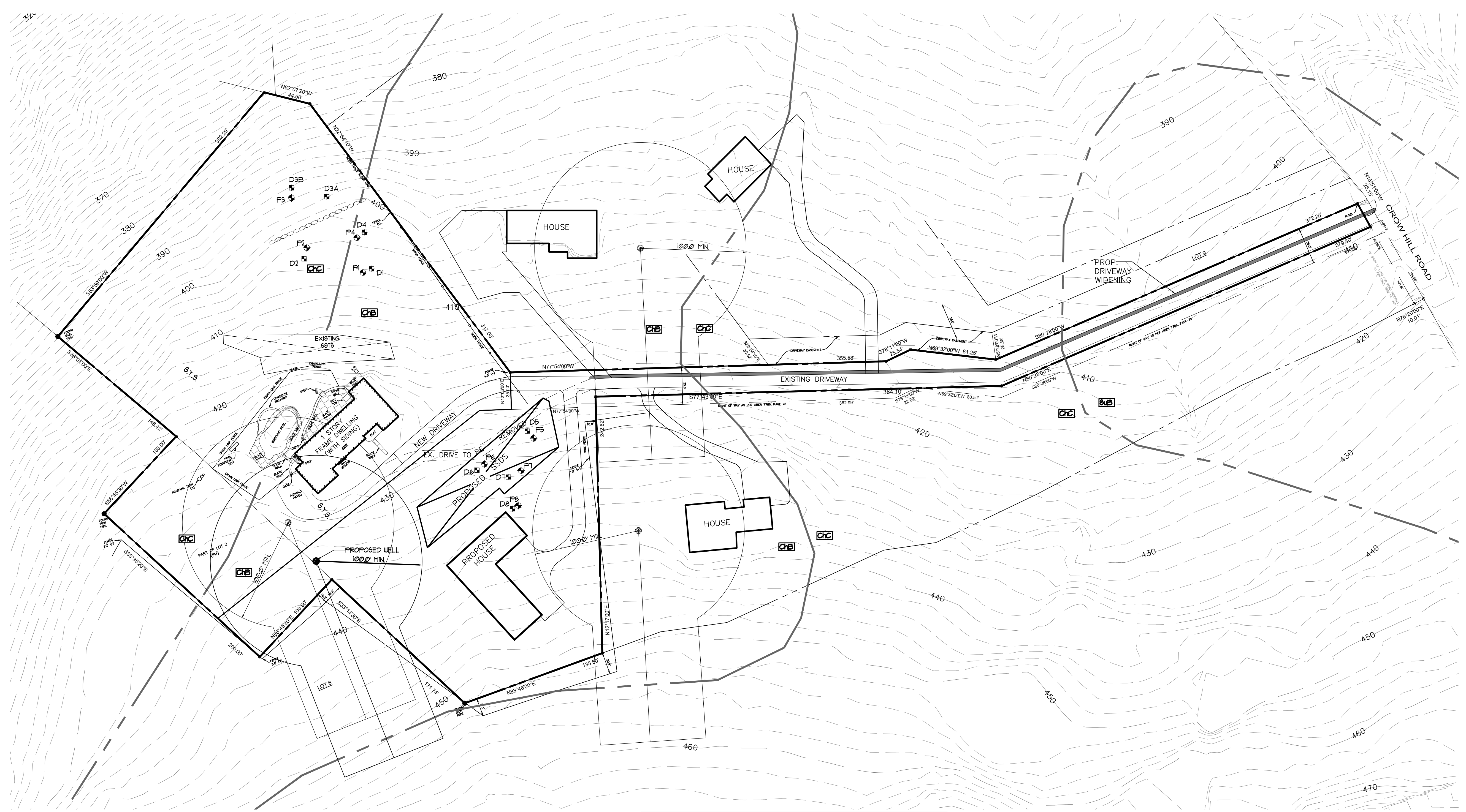
REVISIONS		
NO.	DATE	DESCRIPTION
1	9/1/24	REVISED LOT 1 HOUSE LOCATION & DRIVEWAY

PROJECT
PLAN PREPARED FOR:
EVAN LAMP
351 CROW HILL ROAD
MT. KISCO, NY 10543
TOWN OF YORKTOWN
TAX MAP 100B, BLOCK 1, LOT 8

DATE
28 MAY 2024
PROJECT MANAGER
FML
DRAWN BY
FMK
CHECKED BY
FML
SCALE
AS NOTED

DRAWING
SKETCH SUBDIVISION PLAN

PROJECT NUMBER
8462
DRAWING NUMBER
6-1
SHEET 1 OF 2



SOILS LEGEND		
SOIL SYMBOL	SOIL GROUP	SOIL NAME
ChB	B	CHARLTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
ChC	B	CHARLTON FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
Sub	B/D	SUTTON LOAM, 3 TO 8 PERCENT SLOPES

NOTE: APPROXIMATE LIMITS OF SOIL TYPES TAKEN FROM UEB/SOILSURVEY/NRCS/USDA.GOV

PUTNAM ENGINEERING, PLLC
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REVISIONS		
NO.	DATE	DESCRIPTION
1	5/1/24	REVISED LOT 1 HOUSE LOCATION & DRIVEWAY

PROJECT

PLAN PREPARED FOR:
EVAN LAMP
351 CROW HILL ROAD
MT. KISCO, NY 10549
TOWN OF YORKTOWN
TAX MAP 100B, BLOCK 1, LOT 8

DATE
28 MAY 2024

PROJECT MANAGER
FML

DRAWN BY
FMK

CHECKED BY
FML

SCALE
AS NOTED

DRAWING

GRADING PLAN

SKETCH SUBDIVISION PLAN

PROJECT NUMBER
8462

DRAWING NUMBER
5-2

SHEET 2 OF 2