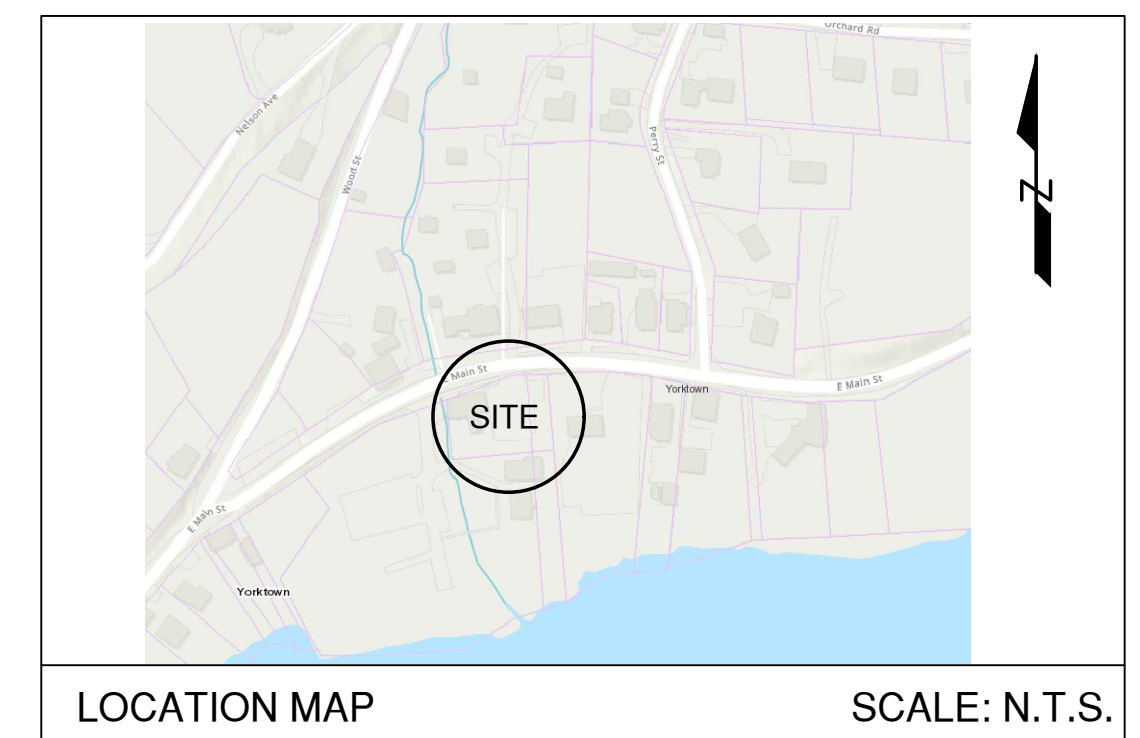


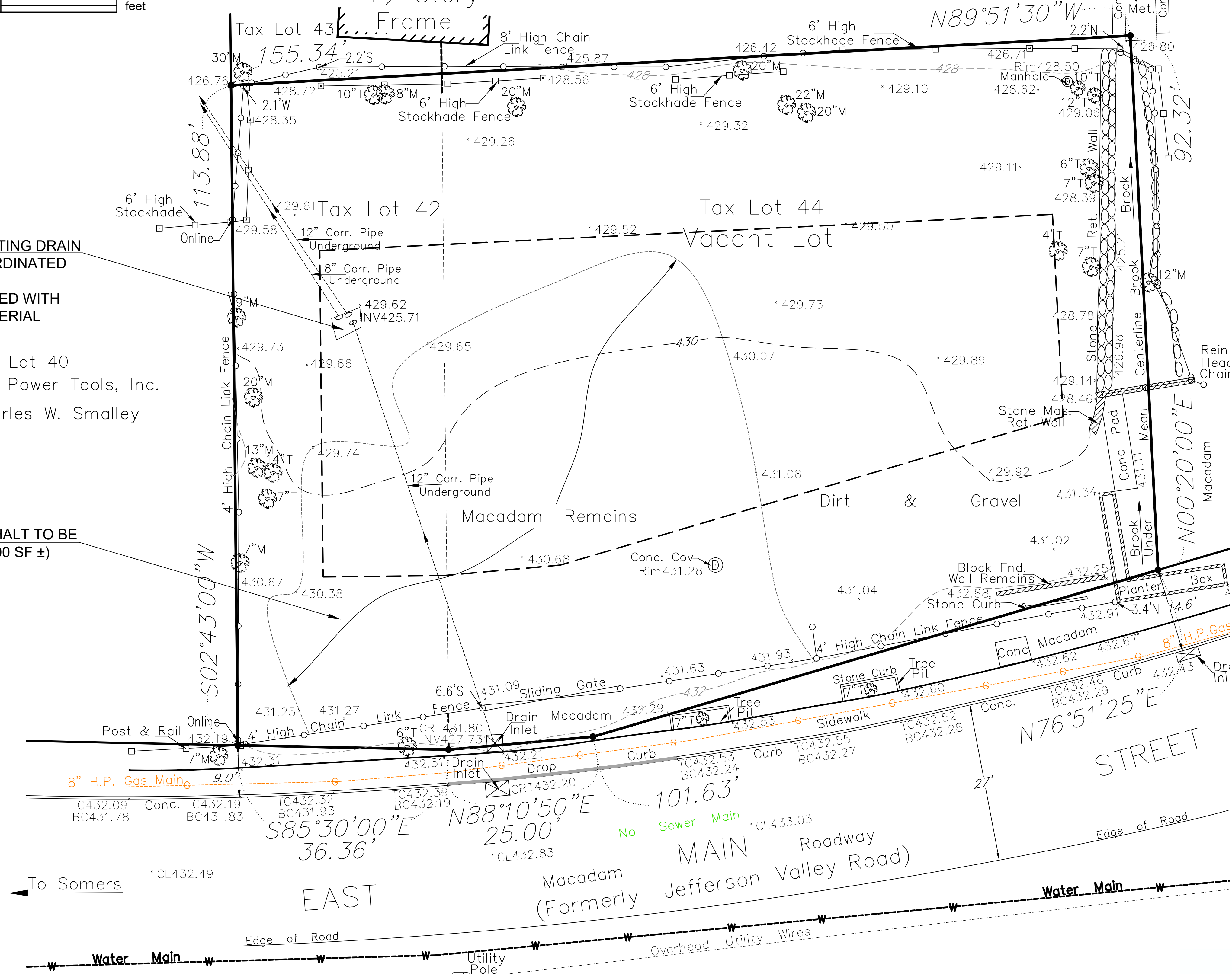
Tax Lot 45  
N/F Osceola Realty Corp.  
N/F Osceola Picnic Grounds, Inc.



REMOVAL OF EXISTING DRAIN PIPES TO BE COORDINATED WITH THE TOWN TRENCH BACKFILLED WITH RUN OF BANK MATERIAL

Tax Lot 40  
N/F Valley Power Tools, Inc.  
N/F Charles W. Smalley

EXISTING ASPHALT TO BE REMOVED (5,400 SF ±)



**GENERAL NOTES:**

- The contractor shall be responsible for the restoration of the existing features disturbed by the construction of this contract to existing condition or better, as determined by the engineer.
- The engineer whose seal appears hereon is not responsible for construction means and methods and, therefore, assumes no responsibility for construction practices, procedures, and results therefrom.
- The engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
- The Town Engineer's office is to be notified 48 hours before commencing site construction.
- All work is to be completed in accordance with the Town's code of practice and specifications.
- All conditions, locations, and dimensions shall be field verified and the engineer shall be immediately notified of any discrepancies.
- All changes made to the plans shall be approved by the engineer and any such changes shall be filed as amendments to the original building permit.
- See plans prepared by the Architect for all building and structural drawings, details and notes.
- The contractor shall work this plan in coordination with those plans prepared by others for improvements related to architecture, structural, MEP, etc. Any discrepancies shall be brought to the attention of the engineer.
- All written dimensions on the drawings shall take precedence over any scaled dimensions.
- It is the contractor's responsibility to call in a "Code 53" at least 2 days but no more than 10 days prior to construction for underground utility locations.
- Substructures and their encroachments below grade, if any, are not shown.
- Contractor to verify all substructures encountered during construction.
- Any proposed electric and/or telephone service lines are to be placed underground.
- The contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
- The contractor shall be responsible to the owner for the acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any of the work under a contract with the contractor.
- The design engineer disclaims any liability for damage or loss incurred during or after construction.

**MAP NOTES:**

- THIS IS NOT A PROPERTY SURVEY.
- SURVEY INFORMATION SHOWN HEREON IS BASED FROM SURVEY PERFORMED BY RONALD PERSAUD, L.S. DATED NOVEMBER 30, 2021

Owner  
401 EAST MAIN STREET, LLC  
5 MADONNA DRIVE  
LAGRANGEVILLE, NY 12540

Site Data  
SITE ADDRESS: 401 E MAIN STREET  
YORKTOWN, NY 10535  
LOT SIZE: 0.38 AC  
TAX MAP: 6.14-1-44 & 42  
ZONING DISTRICT: CC DISTRICT



HILDENBRAND ENGINEERING, PLLC  
208 CREAMERY ROAD  
HOPEWELL JUNCTION, NY  
845.206.6994  
Brian@HildenEng.com

UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (E), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT  
© HILDENBRAND ENGINEERING, PLLC

401 E MAIN STREET  
TOWN OF YORKTOWN  
WESTCHESTER COUNTY, NEW YORK

TITLE:  
EXISTING CONDITIONS & REMOVALS PLAN

Scale:	1" = 10'
Date:	06-27-2024
Drawn By:	
Checked By:	
Project No.:	
Sheet No.:	1 of 4
Dwg. No.:	SP-1

**DEMOLITION NOTES:**

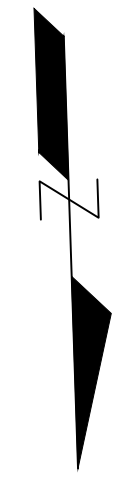
- The contractor shall notify the Town Building Department's office a minimum of 48 hours before commencing site demolition and/or construction activities.
- It is the contractor's responsibility to call in a "Code 53" at least 2 days but no more than 10 days prior to demolition/construction for underground utility locations.
- Prior to demolition of any structure, the owner shall provide documentation from the respective utility owners verifying the dates of disconnection for the gas, electric, water and sewer services as applicable to each structure.
- Prior to demolition of any structure, the owner shall provide an asbestos removal certification demonstrating compliance with New York State Industrial Code Rule 56 - Asbestos, as applicable to each structure, as performed by a NYS licensed asbestos inspector.
- Any asbestos containing materials shall be removed and managed by a qualified asbestos abatement contractor in accordance with regulations specified in 12 NYCRR Part 56 and USEPA Region 2 Guidance, latest edition.
- The contractor is responsible for maintaining a clean and safe work area in accordance with all applicable local, state and federal regulations.
- The contractor is responsible for cleaning all tracked soil and debris from within the right-of-way on a daily basis at a minimum or as directed by the engineer or town officials.
- Any service to be disconnected shall be cut and capped at the main in accordance with the standards and specifications of the respective utility company.
- Building demolition shall include, but not be limited to, all structural components, roofing, siding, concrete and/or block walls, windows and doors, interior partitions, floor slabs and foundations, pavements, interior and exterior lighting, all associated underground and overhead utilities, and all existing features identified on the plan.
- The contractor is responsible for proper off-site disposal of all demolition debris.
- The contractor shall provide all necessary shoring and temporary supports as may be required to protect existing underground utilities and adjacent structures.

RECEIVED  
PLANNING DEPARTMENT  
NOV 12 2024  
TOWN OF YORKTOWN

NO.	REVISION	DATE
1	REVISED PER PB SITE WALK	9/27/24
2	REVISED PER TOWN COMMENTS	10/31/24



LEGEND:  
 86 PROPOSED 2' CONTOUR



Owner  
 401 EAST MAIN STREET, LLC  
 5 MADONNA DRIVE  
 LAGRANGEVILLE, NY 12540

Site Data  
 SITE ADDRESS: 401 E MAIN STREET  
 YORKTOWN, NY 10535  
 LOT SIZE: 0.38 AC  
 TAX MAP: 6.14-1-44 & 42  
 ZONING DISTRICT: CC DISTRICT



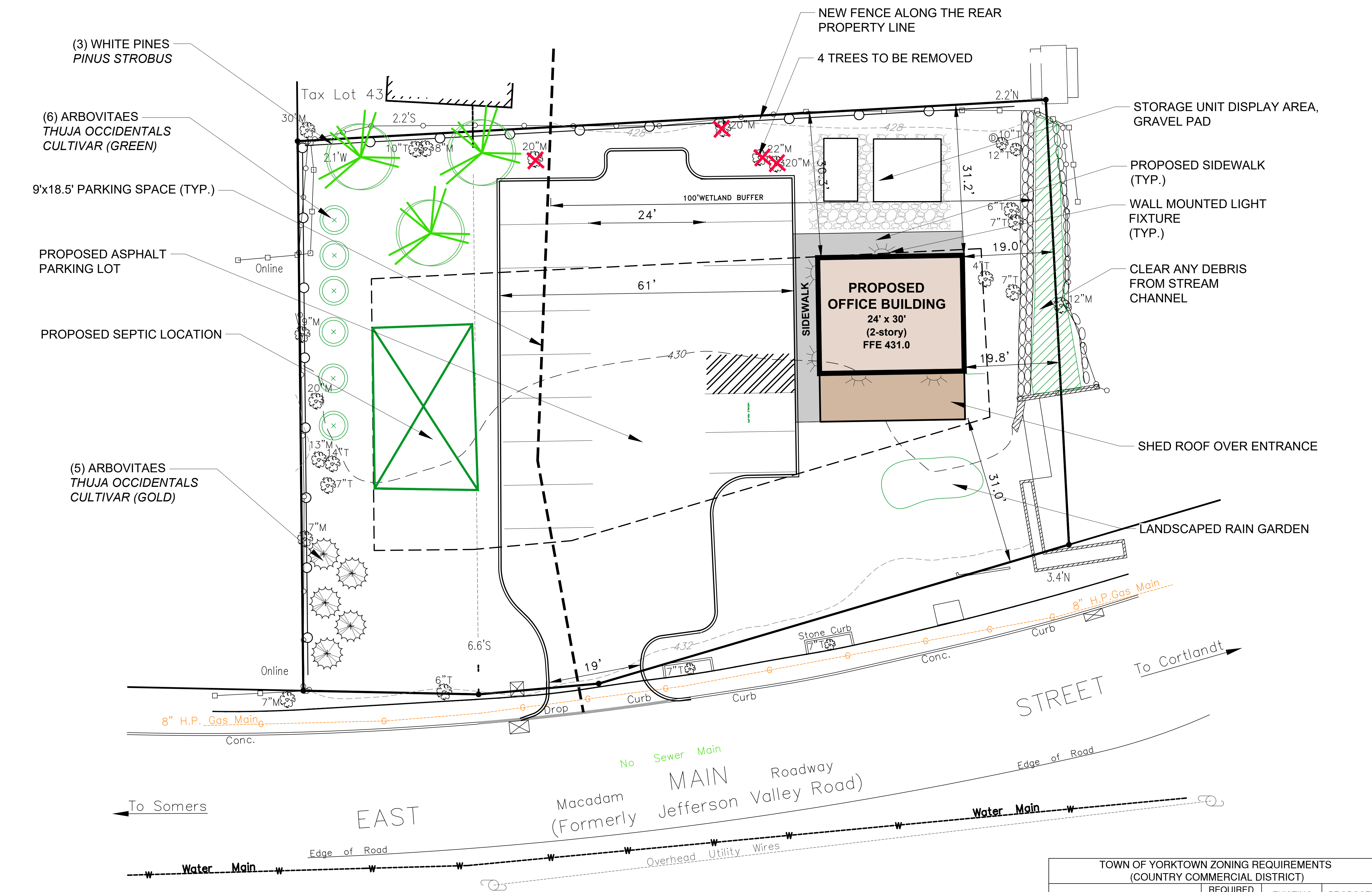
HILDENBRAND ENGINEERING, PLLC  
 208 CREAMERY ROAD  
 HOPEWELL JUNCTION, NY  
 845.206.6994  
 Brian@HildenEng.com

UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT  
 © HILDENBRAND ENGINEERING, PLLC

401 E MAIN STREET  
 TOWN OF YORKTOWN  
 WESTCHESTER COUNTY, NEW YORK

TITLE:  
**SITE PLAN**

Scale: 1" = 10'  
 Date: 06-27-2024  
 Drawn By:  
 Checked By:  
 Project No.:  
 Sheet No.: 2 of 4  
 Dwg. No.: SP-2



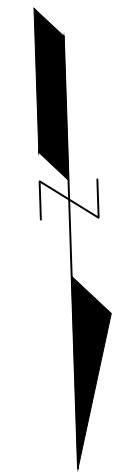
TOWN OF YORKTOWN ZONING REQUIREMENTS (COUNTRY COMMERCIAL DISTRICT)			
	REQUIRED CC	EXISTING	PROPOSED
MINIMUM LOT AREA	NONE	0.38 AC	NO CHANGE
FLOOR AREA RATIO	0.20	-	0.04
BUILDING HEIGHT (FT / ST.)	35 / 2.0	-	<35 / <2.0
MAXIMUM BUILDING LENGTH	100	-	30.0
MAXIMUM BUILDING COVERAGE	30%	-	7%
MINIMUM FRONT YARD (FT.)	30	-	31.0
MINIMUM REAR YARD (FT.)	30	-	30.3
MIN. SIDE YARD (FT.)	15	-	19.0
LANDSCAPE BUFFER (FT.)	10	-	10.0
PARKING REQUIREMENTS	4 PER 1,000 SF	0	12

NO.	REVISION	DATE
1	REVISED PER PB SITE WALK	9/27/24
2	REVISED PER TOWN COMMENTS	10/31/24



LEGEND:

	PROPOSED 2' CONTOUR
	LIMIT OF DISTURBANCE
	SILT FENCE



Owner: 401 EAST MAIN STREET, LLC  
5 MADONNA DRIVE  
LAGRANGEVILLE, NY 12540

Site Address: 401 E MAIN STREET  
YORKTOWN, NY 10535  
Lot Size: 0.38 AC  
Tax Map: 6.14-1-44 & 42  
Zoning District: CC DISTRICT



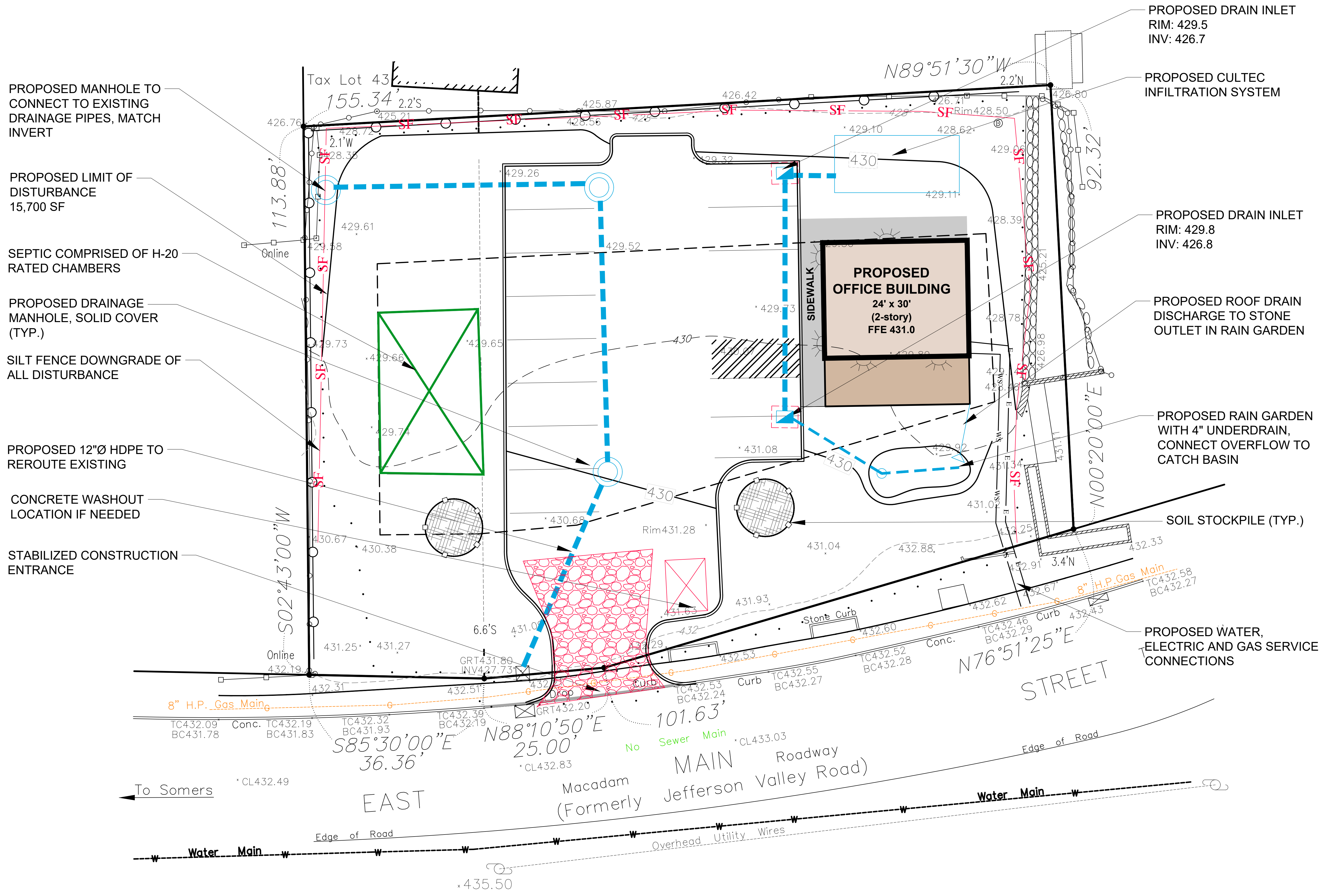
HILDBRAND ENGINEERING, PLLC  
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© HILDBRAND ENGINEERING, PLLC

401 E MAIN STREET  
TOWN OF YORKTOWN  
WESTCHESTER COUNTY, NEW YORK

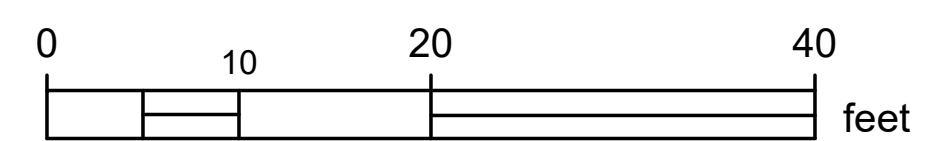
TITLE:  
**GRADING, UTILITY & EROSION  
CONTROL PLAN**

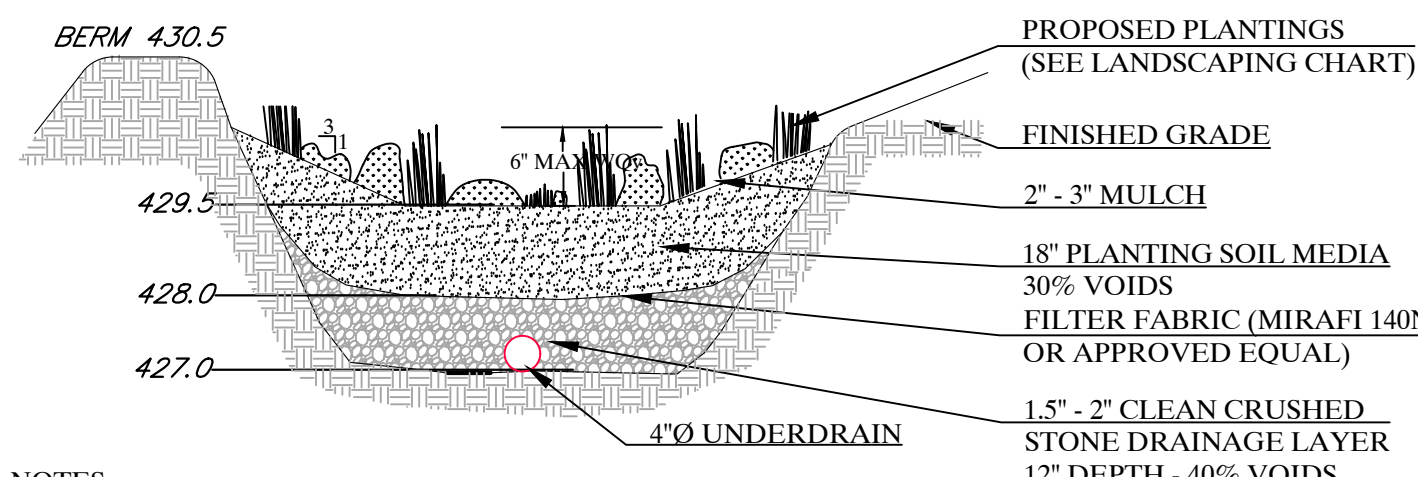
Scale: 1" = 10'  
Date: 06-27-2024  
Drawn By:  
Checked By:  
Project No.:  
Sheet No.: 3 of 4  
Dwg. No.:  
**SP-3**



- GENERAL UTILITY NOTES:**
- Electric, gas, telephone/data services shown on this plan are schematic for coordination purposes only. The contractor is required to coordinate installation and specifications with design drawings and details by others and the respective utility owner.
  - It is the contractor's responsibility to call in a "Code 53" a minimum of 2 days but not more than 10 days prior to any excavation or construction of underground utilities.
  - All utilities, including electric lines, telephone, cable, water, sanitary sewer lines, and storm sewer lines shall be located underground and shall be installed in accordance with the requirements of the town and the utility companies having jurisdiction.
  - Any proposed electric and/or telephone service lines are to be placed underground and shall be encased in rigid casing for a minimum of 6 feet (2-4-2) across all water mains.
  - Roof leaders shall empty into storm drainage systems. The elevation of footings shall be adjusted accordingly to permit proper drainage. Under no circumstances shall the discharge or ground water or storm water, either by gravity or by pumping, be discharged to any sanitary sewer system.
  - Storm drain piping to be high density polyethylene as shown on the construction drawings. Minimum cover to be 2 feet unless otherwise noted.
  - Prior to final approval and operation of the drainage system, the contractor shall clear all accumulated sediment and/or debris from drainage structures, manholes, culverts, outlets and drain inlets. The engineer shall be notified for final inspection.
  - It is the contractor's responsibility to properly shore existing utilities and existing improvements as required by construction.

GENERAL SITE EROSION CONTROL INSPECTION AND MAINTENANCE TABLE			
MAINTENANCE ITEM	FREQUENCY	DESCRIPTION OF INSPECTION PARAMETERS	DESCRIPTION OF REMEDY PROCEDURES
SITE STRUCTURES	ANNUAL & AFTER MAJOR STORMS	-ACCUMULATED SEDIMENT IN CATCH BASIN SUMPS -ACCUMULATED DEBRIS AND LITTER -DAMAGE OR FATIGUE OF STORM STRUCTURES OR ASSOC. COMPONENTS -ACCUMULATION OF POLLUTANTS, INCLUDING OILS OR GREASE, IN CATCH BASIN SUMPS	-REMOVE -REMOVE -REPAIR AND/OR REPLACE, AS NECESSARY -REMOVE POLLUTANTS FROM CATCH BASINS. REMOVE AND/OR REPAIR POLLUTANT SOURCE
PAVEMENT	BIANNUAL/ANNUAL	-ACCUMULATED SEDIMENT IN PAVED AREAS -ACCUMULATED DEBRIS AND LITTER	-REMOVE (SWEEP MIN 2 TIMES/YEAR) -REMOVE
EMBANKMENTS	ANNUAL	-DIFFERENTIAL SETTLEMENT OF EMBANKMENTS -EMBANKMENT EROSION -ANIMAL BURROWS -CRACKING, BULGING, OR SLIDING OF EMBANKMENT	-STABILIZE AND RESTORE TO ORIGINAL SPECIFICATIONS -STABILIZE AND RESTORE TO ORIGINAL SPECIFICATIONS -REMOVE -STABILIZE AND RESTORE TO ORIGINAL SPECIFICATIONS
LAWN AND LANDSCAPED AREAS	ANNUAL	-VEGETATION: 80% COVERAGE + LESS THAN 15% INVASIVE PLANT SPECIES -UNAUTHORIZED PLANTINGS -UNDESIRABLE VEGETATIVE GROWTH -ACCUMULATED DEBRIS AND LITTER	-RESTORE TO ORIGINAL SPECIFICATIONS AS PER PLANTING PLAN -REMOVE -MOW A MIN. OF 3 TIMES A YEAR. MAY INCREASE FOR AESTHETIC REASONS. -REMOVE
WINTER MAINTENANCE	MONTHLY	-ACCUMULATION OF SNOW AND ICE ON CATCH BASINS, INLET AND OUTLET STRUCTURES, AND END SECTIONS -STOCK PILED SNOW NEAR INLETS AND OUTLETS -REMAINING DEICING MATERIALS	-REMOVE -REMOVE -REMOVE IN EARLY SPRING BY SWEEPING



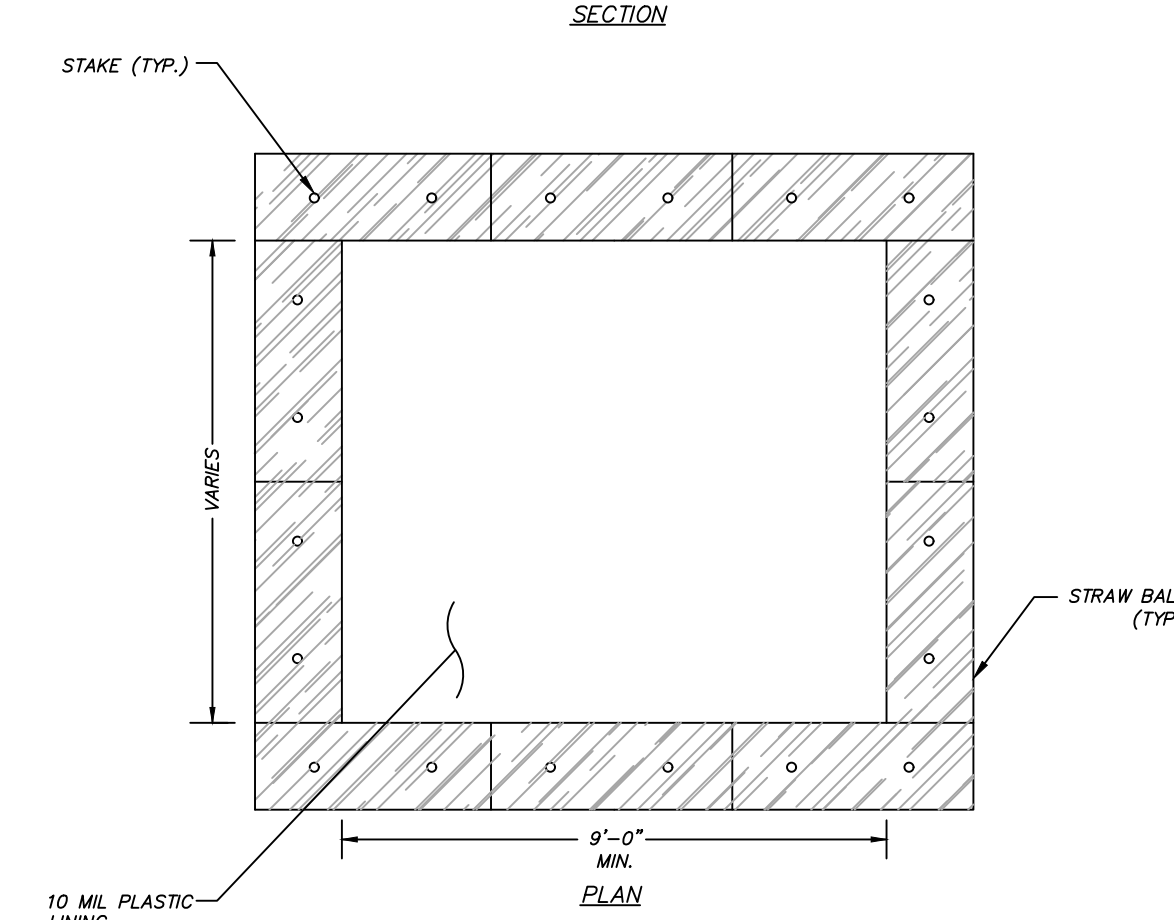
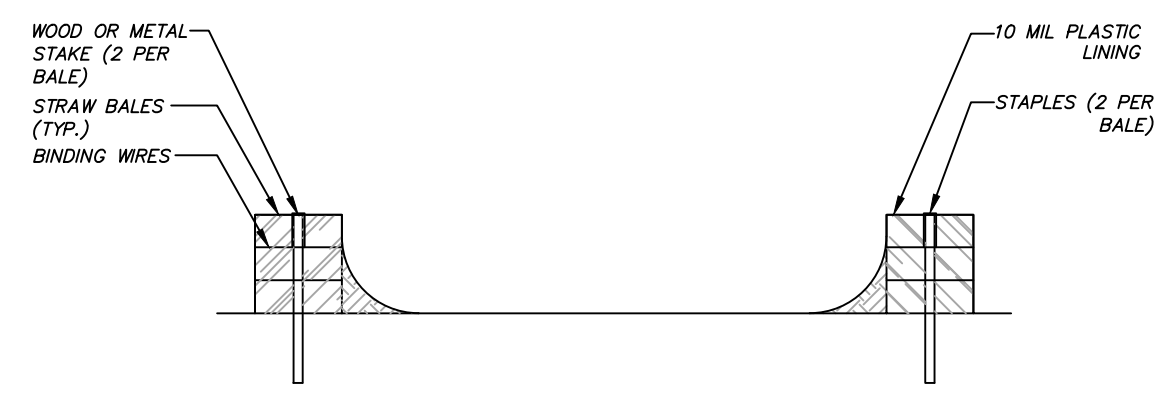


- NOTES:**
1. PLANTING SOIL MEDIA SHOULD CONSIST OF 50%-70% SAND (LESS THAN 5% CLAY CONTENT), 50%-30% TOPSOIL WITH AN AVERAGE OF 5% ORGANIC MATTER (COMPOST OR PEAT).
  2. THE PLANTING SOIL MEDIA SHOULD BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS AND OTHER OBJECTS LARGER THAN 2 INCHES IN DIAMETER. THE SOIL SHOULD BE VISIBLY FREE OF NOXIOUS WEEDS.
  3. THE SOIL SHOULD HAVE A pH RANGE OF 5.2 TO 7.0 AND AN ORGANIC CONTENT OF 1.5%-4.0%.
  4. THE MULCH LAYER SHOULD BE STANDARD LANDSCAPE STYLE, SINGLE OR DOUBLE, SHREDDED HARDWOOD MULCH OR CHIPS. THE MULCH LAYER SHOULD BE WELL AGED (STOCKPILED OR STORED FOR AT LEAST 12 MONTHS). THE MULCH LAYER SHOULD BE UNIFORM IN COLOR AND FREE OF WEED SEEDS, SOIL, ROOTS, GRASS CLIPPINGS, ETC.

**RAIN GARDEN PLANT LIST**

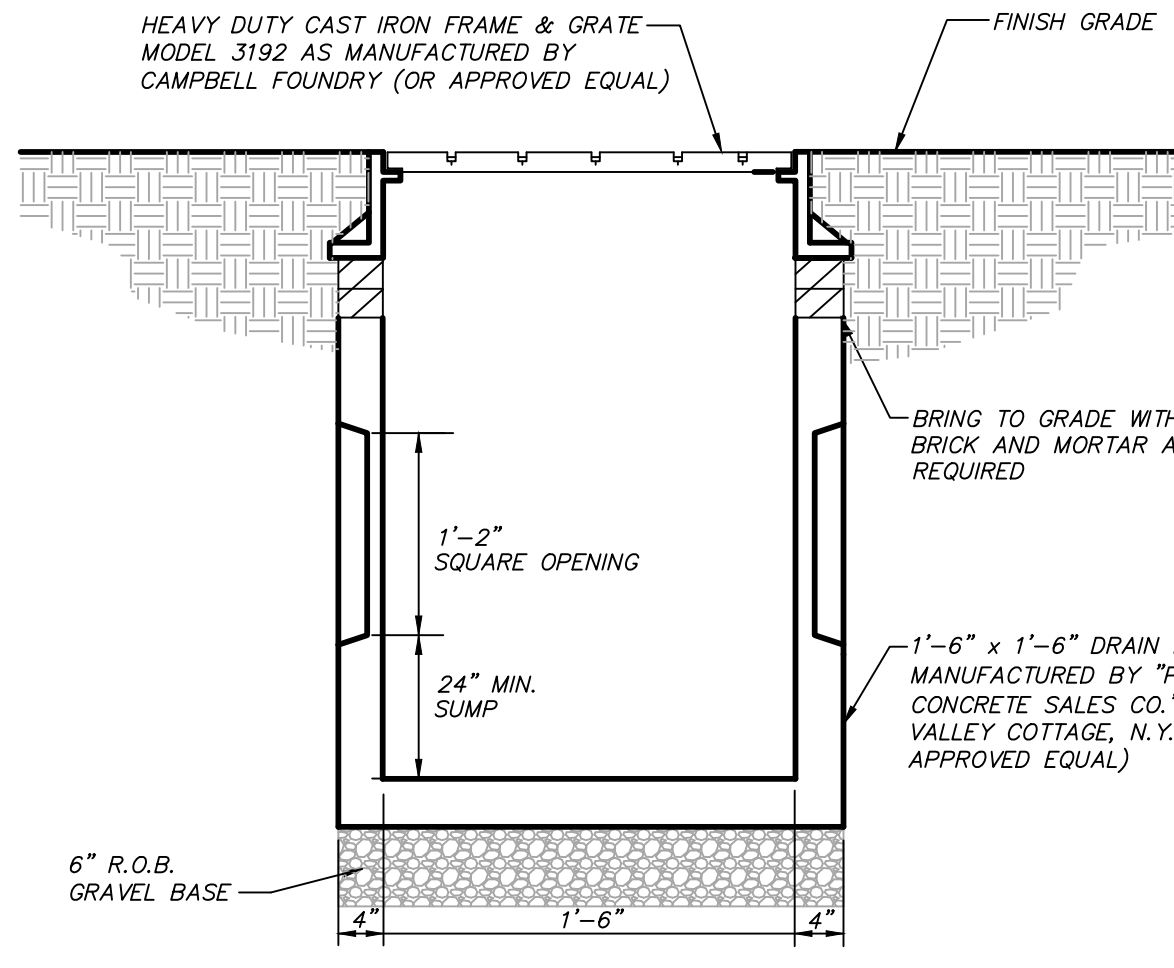
INITIALS	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
<b>BIENNIALS</b>				
CAL	6	Clethra alnifolia	Sweet Pepperbush	2 1/2-3 FT.
CSCAR	6	Cornus sericea 'Cardinal'	Red Osier Dogwood	3 1/2-4 FT.
IVF	3	Ilax verticillata	Winterberry	3 1/2-4 FT.
<b>PERENNIALS AND GROUND COVERS</b>				
COBIL	18	Oenothera biennis	Turtlehead	1 GAL.
LC	18	Loebelia cardinalis	Cardinal Flower	1 GAL.
IVR	18	Iris versicolor	Blue Flag Iris	1 GAL.
TC	18	Tierella cordifolia	Foxglove	1 GAL.

**RAIN GARDEN DETAIL**  
SCALE: N.T.S.

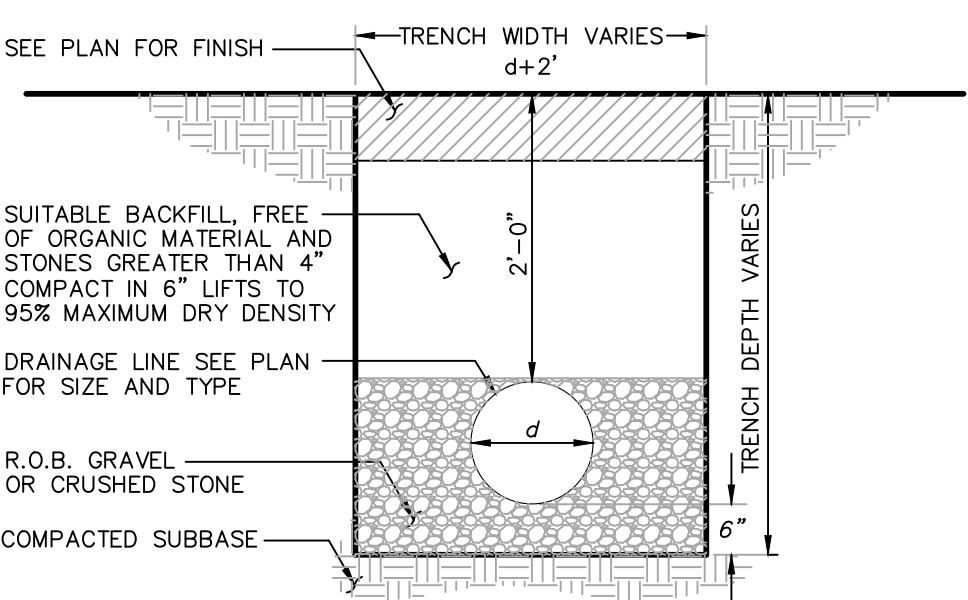


- NOTES:**
1. TEMPORARY CONCRETE WASHOUT TYPE ABOVE GRADE WILL BE CONSTRUCTED AS SHOWN ABOVE, WITH RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FT.
  2. THE WASHOUT WILL BE MINIMUM OF 50 FT FROM STORM DRAIN INLETS.
  3. PLASTIC LINING WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

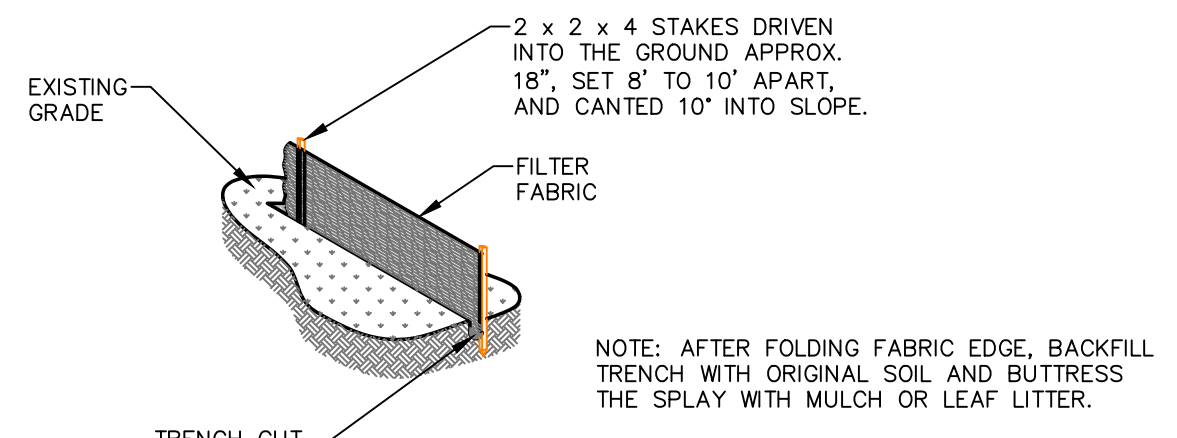
**CONCRETE WASHOUT DETAIL**  
SCALE: N.T.S.



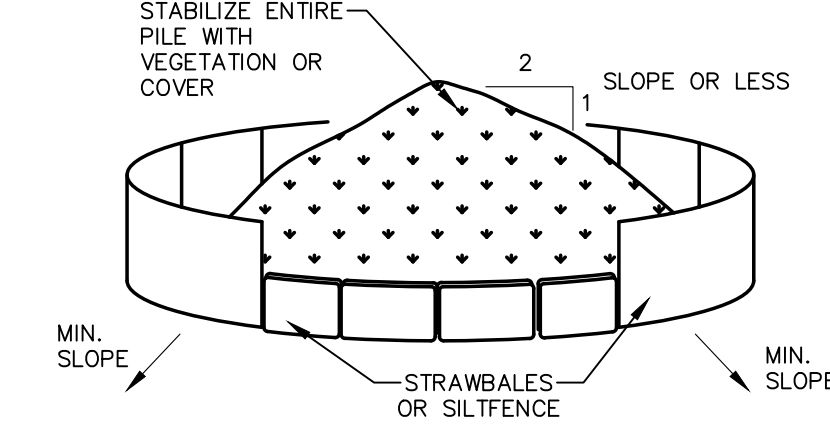
**DRAIN INLET**  
SCALE: N.T.S.



**DRAINAGE TRENCH DETAIL**  
SCALE: N.T.S.

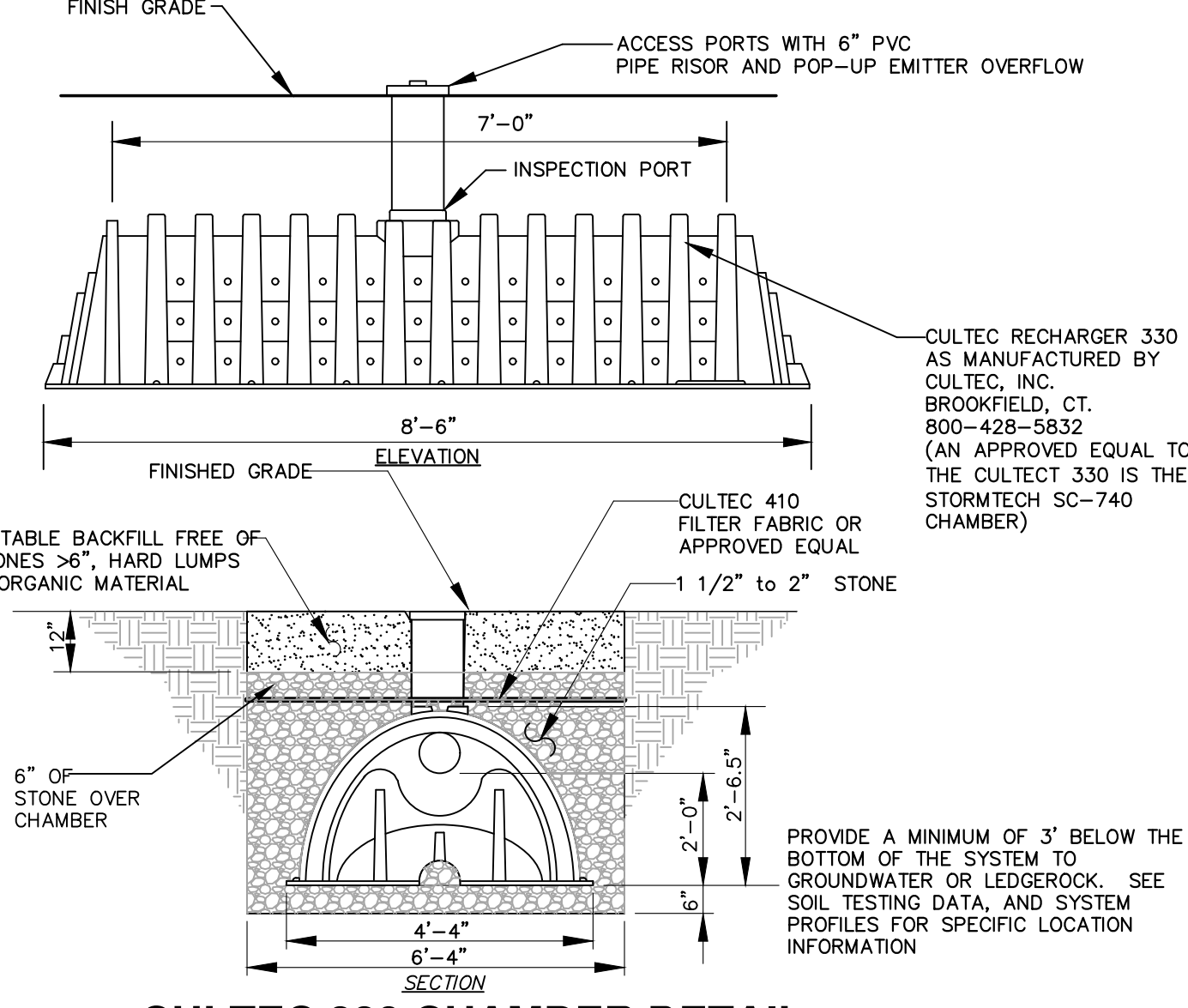


**SILT FENCE DETAIL**  
SCALE: N.T.S.

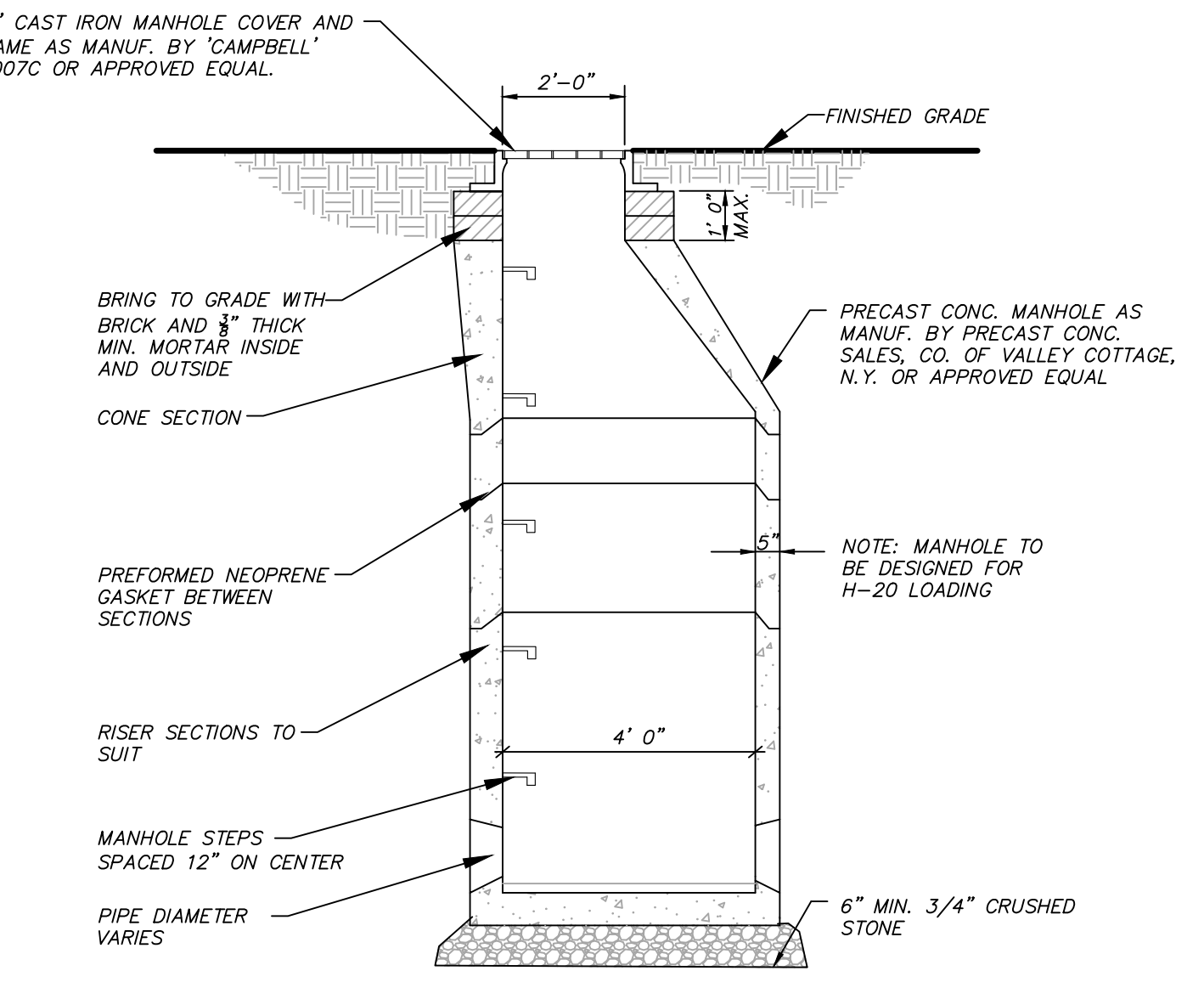


- INSTALLATION NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
  3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
  4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

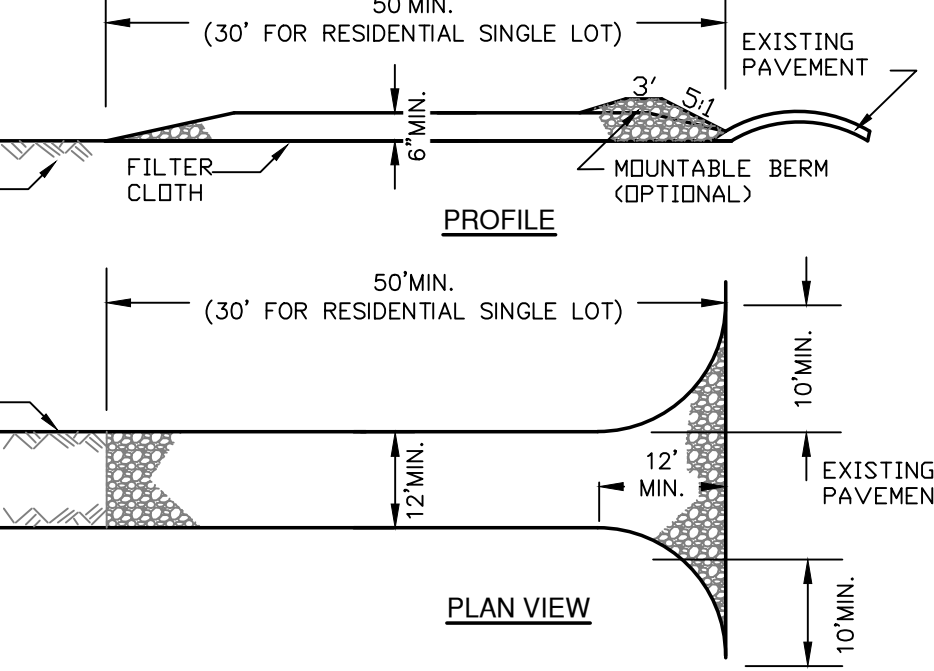
**SOIL STOCKPILE DETAIL**  
SCALE: N.T.S.



**CULTEC 330 CHAMBER DETAIL**  
SCALE: N.T.S.



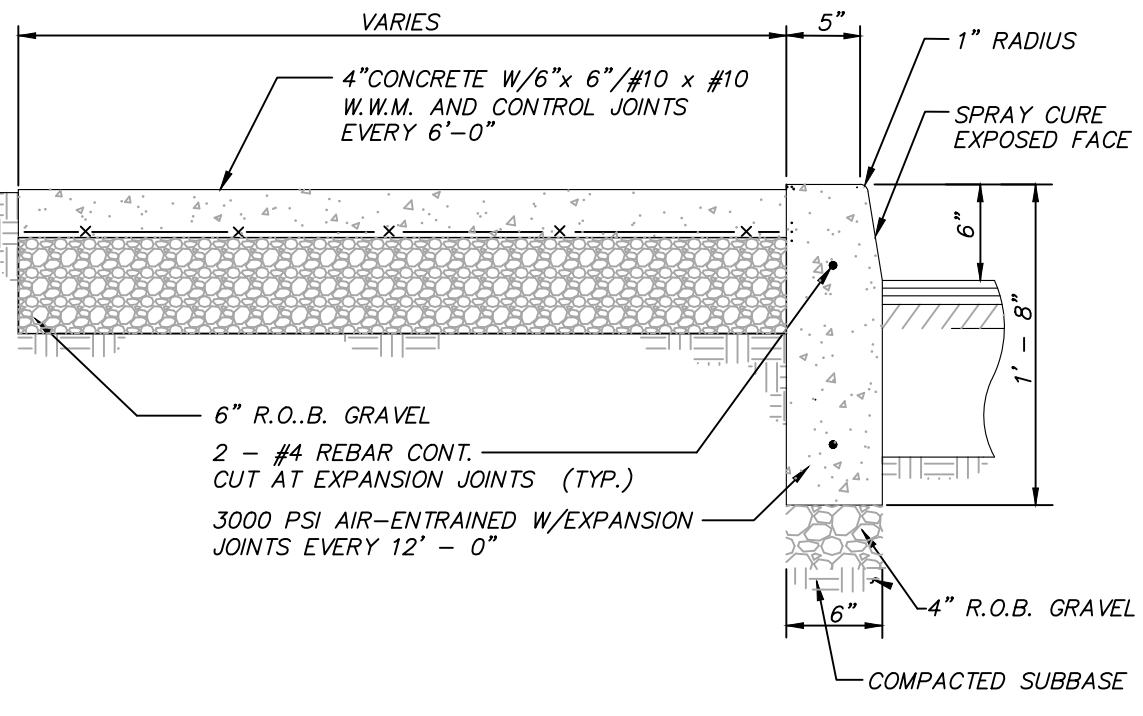
**DRAIN MANHOLE DETAIL**  
SCALE: N.T.S.



**STABILIZED CONSTRUCTION ENTRANCE**  
SCALE: N.T.S.

- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
  3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
  5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED INTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**CONCRETE SIDEWALK AND CURB DETAIL**  
SCALE: N.T.S.



**EROSION AND SEDIMENT CONTROL PLAN**

THIS SWPPP AND ACCOMPANYING PROJECT PLANS IDENTIFY BOTH TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES, WHICH HAVE BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. LATEST REVISION, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO MINIMIZE SOIL EROSION AND CONTROL SEDIMENT TRANSPORT OFF-SITE. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED AFTER CONSTRUCTION TO CONTROL THE QUALITY AND QUANTITY OF STORMWATER RUNOFF FROM THE DEVELOPED SITE.

**EROSION AND SEDIMENT CONTROL MEASURES**

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES TO BE UTILIZED DURING CONSTRUCTION GENERALLY INCLUDE THE FOLLOWING:

1. STABILIZED CONSTRUCTION ENTRANCE - PRIOR TO CONSTRUCTION, STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED TO REDUCE THE TRACKING OF SEDIMENT ONTO PUBLIC ROADWAYS. CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN GOOD CONDITION, WHICH WILL CONTROL TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS. WHEN NECESSARY, THE PLACEMENT OF ADDITIONAL AGGREGATE ATOP THE FILTER FABRIC SHALL BE DONE TO ASSURE THE MINIMUM THICKNESS IS MAINTAINED. ALL SEDIMENTS AND SOILS SPILLED, DROPPED, OR WASHED ONTO THE PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH SUBSTANTIAL RAINFALL EVENT.
2. DUST CONTROL - WATER TRUCKS SHALL BE USED, AS NEEDED, DURING CONSTRUCTION TO REDUCE DUST GENERATED ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE GENERAL CONTRACTOR TO A DEGREE THAT IS ACCEPTABLE TO THE DISTRICT OPERATOR, AND IN COMPLIANCE WITH THE APPLICABLE LOCAL AND STATE DUST CONTROL REQUIREMENTS.
3. TEMPORARY SOIL STOCKPILE - MATERIALS, SUCH AS TOPSOIL, SHALL BE TEMPORARILY STOCKPILED (IF NECESSARY) ON THE SITE DURING THE CONSTRUCTION PROCESS. STOCKPILES SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE, WATER BODIES AND/OR COURSES, AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE BARRIER OR HAY BALES WHEN LOCATED ON PAVED AREAS.
4. SILT FENCING - PRIOR TO THE INITIATION OF AND DURING CONSTRUCTION ACTIVITIES, SILT FENCING SHALL BE ESTABLISHED ALONG THE PERIMETER OF ALL AREAS TO BE DISTURBED AS A RESULT OF THE CONSTRUCTION WHICH LIE UP GRADIENT OF WATER COURSES OR ADJACENT PROPERTIES. THESE BARRIERS MAY EXTEND INTO NON-IMPACT AREAS TO ENSURE ADEQUATE PROTECTION OF ADJACENT LANDS. CLEARING AND GRUBBING SHALL BE PERFORMED ONLY AS NECESSARY FOR THE INSTALLATION OF THE SEDIMENT CONTROL BARRIER. TO ENSURE EFFECTIVENESS OF THE SILT FENCING, DAILY INSPECTIONS AND INSPECTIONS IMMEDIATELY AFTER SIGNIFICANT STORM EVENTS SHALL BE PERFORMED BY SITE PERSONNEL. MAINTENANCE OF THE FENCE SHALL BE PERFORMED AS NEEDED.
5. TEMPORARY SEEDING - WITHIN SEVEN DAYS AFTER CONSTRUCTION ACTIVITY CEASES ON ANY PARTICULAR AREA OF THE SITE, ALL DISTURBED AREAS WHERE THERE SHALL NOT BE CONSTRUCTION FOR LONGER THAN 14 DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED TO MINIMIZE EROSION AND SEDIMENT LOSS.
6. TEMPORARY SEDIMENT BASIN - A TEMPORARY SEDIMENT BASIN SHALL BE CONSTRUCTED TO INTERCEPT SEDIMENT LADEN RUNOFF, REDUCE THE AMOUNT OF SEDIMENT LEAVING THE DISTURBED AREAS, AND PROTECT DRAINAGE WAYS, PROPERTIES, AND RIGHTS-OF-WAY. PROJECTS THAT HAVE PROPOSED STORMWATER PONDS CAN BE USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. TEMPORARY SEDIMENT BASINS SHALL BE INSPECTED AT LEAST EVERY SEVEN CALENDAR DAYS. ALL DAMAGES CAUSED BY SOIL EROSION AND CONSTRUCTION EQUIPMENT SHALL BE REPAIRED UPON DISCOVERY. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASIN/TRAP WHEN IT REACHES 50 PERCENT OF THE DESIGN CAPACITY AND SHALL BE SEDED AND MULCHED. 50 PERCENT SEDIMENT SHALL NOT BE PLACED DOWNSTREAM FROM THE EMBANKMENT, ADJACENT TO A STREAM, OR FLOODPLAIN.
7. DEWATERING - DEWATERING, IF REQUIRED, SHALL NOT BE DISCHARGED DIRECTLY INTO WETLANDS, WATER COURSES, WATER BODIES, AND STORM SEWER SYSTEMS. PROPER METHODS AND DEVICES SHALL BE UTILIZED TO THE EXTENT PERMITTED BY LAW, SUCH AS PUMPING WATER INTO TEMPORARY SEDIMENT BASINS, PROVIDING SURGE PROTECTION AT THE INLET AND OUTLET OF PUMPS, FLOATING THE INTAKE OF THE PUMP, OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS.

**PERMANENT EROSION AND SEDIMENT CONTROL MEASURES TO BE UTILIZED AFTER CONSTRUCTION GENERALLY INCLUDE THE FOLLOWING:**

1. ESTABLISHMENT OF PERMANENT VEGETATION - DISTURBED AREAS THAT ARE NOT COVERED BY IMPERVIOUS SURFACES SHALL BE SEEDED IN ACCORDANCE WITH THE ACCOMPANYING PLANS. THE TYPE OF SEED, MULCH, AND MAINTENANCE MEASURES SHALL BE FOLLOWED. ALL AREAS AT FINAL GRADE SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS AFTER COMPLETION OF THE MAJOR CONSTRUCTION ACTIVITY. ALL SEEDED AREAS SHALL BE PROTECTED WITH MULCH AND/OR HAY. FINAL SITE STABILIZATION IS ACHIEVED WHEN ALL SOIL-DISTURBING ACTIVITIES AT THE SITE HAS BEEN COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80 PERCENT HAS BEEN ESTABLISHED OR EQUIVALENT STABILIZATION MEASURES (SUCH AS THE USE OF MULCHES OR GEOTEXTILES) HAVE BEEN EMPLOYED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES.
2. FINAL SEEDING AND PLANTING - FINAL SEEDING AND PLANTING SHALL BE INSTALLED AS SHOWN ON THE ACCOMPANYING PLANS. FINAL SEEDING AND PLANTING WILL HELP MINIMIZE EROSION AND SEDIMENT LOSS.
3. ROCK OUTLET PROTECTION - ROCK OUTLET PROTECTION SHALL BE INSTALLED AT THE LOCATIONS AS SHOWN ON THE ACCOMPANYING PLANS. THE INSTALLATION OF ROCK OUTLET PROTECTION WILL REDUCE THE DEPTH, VELOCITY, AND ENERGY OF WATER, SUCH THAT THE FLOW WILL NOT ERODE THE RECEIVING WATER COURSE OR WATER BODY.

**POLLUTION PREVENTION CONTROLS**

GOOD HOUSEKEEPING PRACTICES ARE DESIGNED TO MAINTAIN A CLEAN AND ORDERLY WORK ENVIRONMENT. GOOD HOUSEKEEPING MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS BY THOSE PARTIES INVOLVED WITH THE DIRECT CARE AND DEVELOPMENT OF THE SITE. THE FOLLOWING MEASURES SHOULD BE IMPLEMENTED TO CONTROL THE POSSIBLE EXPOSURE OF HARMFUL SUBSTANCES AND MATERIALS TO STORMWATER RUNOFF:

1. MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATION SHALL BE STOCKPILED AWAY FROM STORM DRAINAGE, WATER BODIES AND/OR WATERCOURSES AND SURROUNDED WITH ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES. SOIL STOCKPILE LOCATIONS SHALL BE EXPOSED NO LONGER THAN 14 DAYS BEFORE SEEDING.
2. EQUIPMENT MAINTENANCE AREAS SHALL BE PROTECTED FROM STORMWATER FLOWS AND SHALL BE SUPPLIED WITH APPROPRIATE WASTE RECEPTACLES FOR SPENT CHEMICALS, SOLVENTS, OILS, GREASES, GASOLINE, AND ANY POLLUTANTS THAT MIGHT CONTAMINATE THE SURROUNDING HABITAT AND/OR WATER SUPPLY. EQUIPMENT WASH-DOWN ZONES SHALL BE LOCATED WITHIN AREAS DRAINING TO SEDIMENT CONTROL DEVICES.
3. THE USE OF DETERGENTS FOR LARGE-SCALE (I.E., VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.) WASHING IS PROHIBITED.
4. MATERIAL STORAGE LOCATIONS AND FACILITIES (I.E., COVERED STORAGE AREAS, STORAGE SHEDS, ETC.) SHALL BE LOCATED ON-SITE AND SHALL BE STORED ACCORDING TO THE MANUFACTURER'S STANDARDS IN A DEDICATED STAGING AREA. CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS. RUNOFF CONTAINING SUCH MATERIALS MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
5. HAZARDOUS SPILLS SHALL BE IMMEDIATELY CONTAINED TO PREVENT POLLUTANTS FROM ENTERING THE SURROUNDING HABITAT AND/OR WATER SUPPLY. SPILL KITS SHALL BE PROVIDED ON-SITE AND SHALL BE DISPLAYED IN A PROMINENT LOCATION FOR EASE OF ACCESS AND USE. SPILLS GREATER THAN FIVE (5) GALLONS SHALL BE REPORTED TO THE NYSDES RESPONSE (455-3362) IN ACCORDANCE WITH THE RECORD OF THE INCIDENT(S) AND/OR NOTIFICATIONS SHALL BE DOCUMENTED AND ATTACHED TO THE SWPPP.
6. PORTABLE SANITARY WASTE FACILITIES SHALL BE PROVIDED ON-SITE FOR WORKERS AND SHALL BE PROPERLY MAINTAINED.
7. DUMPSTERS AND/OR DEBRIS CONTAINERS SHALL BE LOCATED ON-SITE AND SHALL BE OF ADEQUATE SIZE TO MANAGE RESPECTIVE MATERIALS. REGULAR COLLECTION AND DISPOSAL OF WASTES SHALL OCCUR AS REQUIRED.
8. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR OTHER MATERIALS SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED AND DISPOSED OF. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED AND/OR REPAIRED, SEEDED, AND MULCHED FOR FINAL STABILIZATION.
9. NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE, MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES.

NO.	REVISION	DATE
1	REVISED PER PB SITE WALK	9/27/24
2	REVISED PER TOWN COMMENTS	10/31/24



LEGEND:

Owner:

401 EAST MAIN STREET, LLC  
5 MADONNA DRIVE  
LAGRANGEVILLE, NY 12540

Site Data:

SITE ADDRESS: 401 E MAIN STREET  
YORKTOWN, NY 10535  
LOT SIZE: 0.38 AC  
TAX MAP: 6.14-144 & 42  
ZONING DISTRICT: CC DISTRICT



HILDENBRAND ENGINEERING, PLLC  
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HOPEWELL JUNCTION, NY  
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UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

401 E MAIN STREET  
TOWN OF YORKTOWN  
WESTCHESTER COUNTY, NEW YORK

TITLE:

DETAILS

Scale:

1" = 10'

Date:

06-27-2024

Drawn By:

Checked By:

Project No.:

Sheet No.:

4 of 4

Dwg. No.:

D-1