

# WMH DRAWING LIST

PAGE #	
1	ELEVATIONS
2	FOUNDATION PLAN
3A,3B	FLOOR PLANS
6A,6B	ELECTRICAL PLANS
8	STD. NOTES & DETAILS

TOTAL AREA	= 2,784 SQ. FT.
USE GROUP	= DETACHED SINGLE FAMILY DWELLING
CONST. TYPE	= WOOD FRAME UNPROTECTED
GROUND SNOW LOAD	= 40 LB/SF
SEISMIC DESIGN CAT.	= C
SOIL SITE CLASS	= D
WIND SPEED (Vult)	= 130 MPH
EXPOSURE CATEGORY	= B
FLOOD ZONE	= NO
FLOOR LIVE LOAD	= 40 LB/SF
	1st FL. = 40 LB/SF
	2nd FL. = 30 LB/SF
CLIMATE ZONE	4 (5550 HDD)

THIRD PARTY INSPECTION AGENCY



**DESIGNED TO THE FOLLOWING:**

- NYS UNIFORM CODE (WHICH INCORPORATES BY REFERENCE):
- 2017 UNIFORM CODE SUPPLEMENT, PUBLICATION DATE JULY 2017 (2017 UCS), WHICH REPLACES THE 2016 UNIFORM CODE SUPPLEMENT (2016 UCS)
  - REFERENCES THE INTERNATIONAL CODE COUNCIL PUBLICATIONS (2015 IRC, 2015 IBC, 2015 IPC, 2015 IMC, 2015 IFGC, 2015 IFC, 2015 IPMC, AND 2015 IEBC), WITH SPECIFIC CODE PRINTINGS, APPENDICES, AND REFERENCED STANDARDS AS IDENTIFIED IN THE 2017 UCS.
- NYS ENERGY CODE (WHICH INCORPORATES BY REFERENCE):
- 2016 SUPPLEMENT TO THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, PUBLICATION DATE AUGUST 2016, REVISED AUGUST 2016 (2016 ECS). ALL REFERENECES WITHIN THE 2016 ECS TO THE 2016 UCS, SHALL BE DEEMED TO BE AMENDED TO BE A REFERENCE TO THE 2017 UCS.
  - REFERENCES THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (2015 IECC), AS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL, WITH SPECIFIC CODE PRINTING, APPENDICES, AND REFERENCED STANDARDS AS IDENTIFIED IN THE 2016 ECS.
  - ASHREA 90.1-2013, PRINTING AS IDENTIFIED IN THE 2016 ECS.
  - OTHER REFERENCED STANDARDS MENTIONED IN 19 NYCRR PART 1240.
- 2014 NATIONAL ELECTRICAL CODE

**NOTES:**

1. ALL ITEMS NOTED AS "B/P" REFER TO THE BUILDER AND/OR PURCHASER OF THE HOME.
2. B/P SHALL BE RESPONSIBLE TO SUPPLY AND INSTALL ALL MATERIALS ON SITE IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS AND STATE AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS: ALL PORCHES, DECKS, STAIRS, RAILS AND GUARDS, ALL SUPPORTING STRUCTURE FROM THE BOTTOM OF THE MODULES TO GRADE AND BELOW, ALL PLUMBING PIPING BELOW THE 1ST FLOOR SHEATHING (INCLUDING CLEANOUTS), HOT WATER HEATER, ALL ELECTRICAL SERVICE TO THE PANEL BOX LOCATION, ALL EQUIPMENT REQUIRED FOR HEATING AND COOLING OF THE RESIDENCE NOT INSTALLED BY WMH.
3. B/P SHALL BE RESPONSIBLE TO COMPLETE TO FOLLOWING ITEMS PARTIALLY DONE IN THE FACTORY: INSTALL ALL REMAINING SIDING AND ACCESSORIES, CONNECT PLUMBING VENT THROUGH ROOF, CONNECT PIPING TO HOT WATER HEATER, INSTALL GWB AT MATING LINE, INSTALL ALL WIRING AND BREAKERS TO ELECTRIC PANEL BOX, AND LOCATE ROOF TRUSS TYPE SIGNAGE AT THE ELECTRIC METER (SUPPLIED BY WMH AND INSTALLED ON SITE BY B/P)
4. ALL CUTTING, BORING, AND NOTCHING OF STRUCTURAL MEMBERS SHALL BE DONE IN ACCORDANCE WITH R502.7, R602.6, R802.7 OR AS APPROVED BY A QUALIFIED DESIGN PROFESSIONAL.

**NOTE:**

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209, ARTICLE 145 OF THE NYS EDUCATION LAW.

PROJECT ADDRESS

TAX LOT #10  
MADISON CT  
YORKTOWN HEIGHTS, NY 10598  
"WESTCHESTER" COUNTY

**ANTHONY S. PISARRI, P.E.**  
DESIGN PROFESSIONAL  
3 ROSALIND DRIVE  
CORTLANDT MANOR, NY 10567  
(914) 739-6580

**P.F.S. CORPORATION**  
3RD PARTY INSPECTION AGENCY  
1115 OLD BERWICK ROAD  
BLOOMSBURG, PA 17815  
(570) 784-8396

**NOTES:**

1. THE PLANS AND SPECIFICATIONS OF THIS PERMIT PLAN SET ARE DERIVED FROM AND CONSISTENT WITH THE SYSTEMS SET OF PLANS AND SPECIFICATIONS ON FILE WITH THE DEPARTMENT OF STATE, UNDER SYSTEMS NUMBER M0659-2016-073.
2. ENERGY COMPLIANCE IS SHOWN THROUGH THE USE OF RESCHECK SOFTWARE AND IS IN COMPLIANCE WITH CHAPTER 11 OR THE CODE.
3. BLOWER DOOR TESTING SHALL BE PERFORMED ON SITE BY A QUALIFIED HERS RATER IN ACCORDANCE WITH N1102.4.1.2. RATING COMPANY TO BE USED IS TROY HODAS (SPRUCE MOUNTAIN INC), 832 SOUTH RD WURTSBORO, NY 12790.
4. WHOLE HOUSE VENTILATION SYSTEM TO BE DESIGNED, SUPPLIED, AND INSTALLED ON SITE BY B/P WITH A MINIMUM CONTINUOUS FLOW RATE OF PER TABLE M1507.3.3(1). WITH A MINIMUM CONTINUOUS FLOW RATE OF 75cfm.
5. THERE ARE NO LOT LINE SEPARATION REQUIREMENTS FOR THIS DWELLING AS LOCATED ON THIS LOT.

SEE STANDARD NOTES & DETAILS DWG #8

<b>SERIAL No.</b> 19189	<b>PRODUCTION No.</b>	<b>REVISION</b>	<b>DATE</b>	<b>CHECK</b>	<b>DATE</b>	<b>STD. REVISION</b>	<b>DATE</b>
<b>HOMEOWNER:</b> KATIE & DAMIAN CARPARELLI	<b>SITE:</b> TAX LOT #10 MADISON CT YORKTOWN HEIGHTS, NY 10598						08/08/18
<b>BUILDER:</b> WMHCC 1995 ROUTE 22 BREWSTER, NY 10509	<b>NEW YORK 2 STORY COVER SHEET</b>				Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698		
<b>USE GROUP:</b> DETACHED SINGLE FAMILY DWELLING	<b>CONSTR. TYPE:</b> WOOD FRAME UNPROTECTED	<b>DESIGNER:</b> CLARREY/MAGA	<b>DATE:</b> 10/21/19	<b>SCALE:</b> N/A	<b>PAGE:</b> 0		

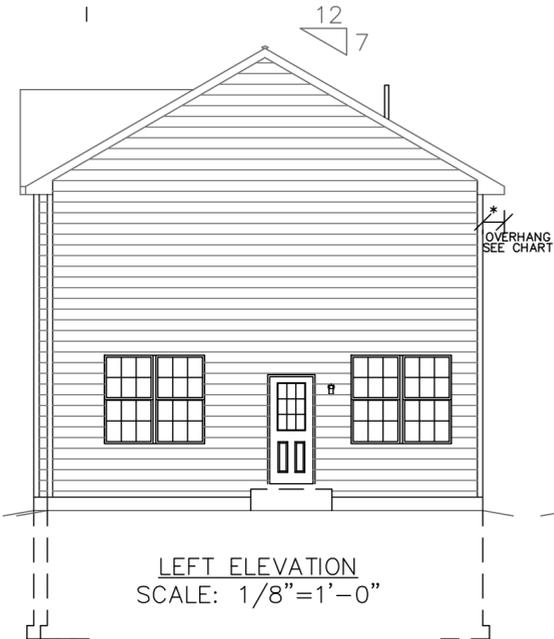
OVERHANG DIMENSION (*)			
ROOF PITCH	HOUSE WIDTH		
	24'-0"	26'-0"/30'-0"	27'-8"/31'-8"
5/12	16"	11"	16"
7/12	16"	11"	16"
9/12	12"	11"	12"
12/12	8 3/4"	8 3/4"	8 3/4"

**NOTE:**

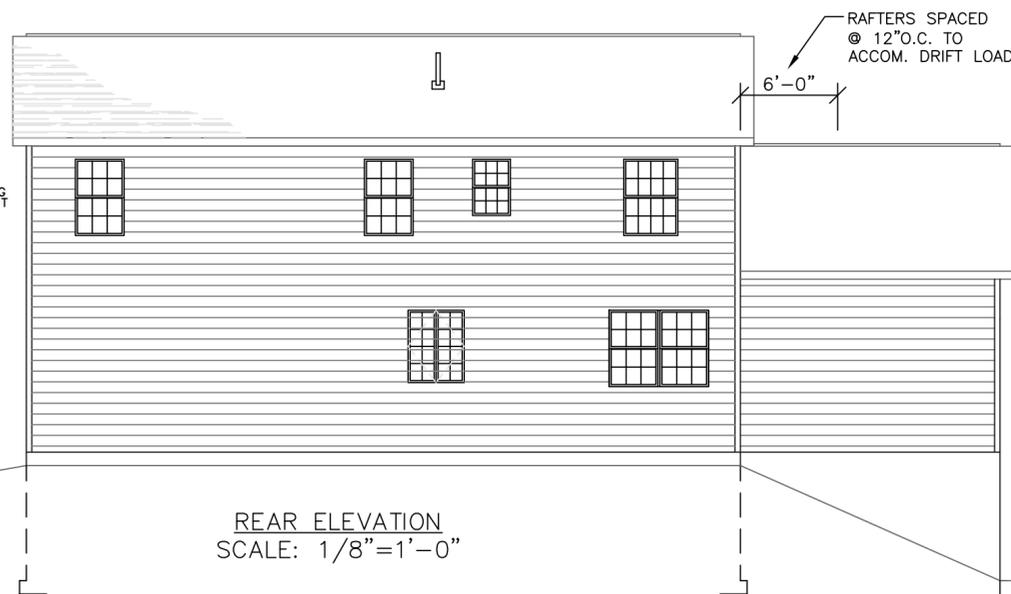
- WINDOW GRILLE PATTERNS SHOWN ARE FOR ANDERSEN WINDOWS. GRILLE PATTERNS FOR OTHER MANUFACTURERS MAY BE DIFFERENT.
- ALL EXT. STAIRS, STEPS, RAILS, GUARDS AND ACCESS TO GRADE TO BE DESIGNED, SUPPLIED AND INSTALLED BY B/P



FRONT ELEVATION  
SCALE: 1/4"=1'-0"



LEFT ELEVATION  
SCALE: 1/8"=1'-0"



REAR ELEVATION  
SCALE: 1/8"=1'-0"

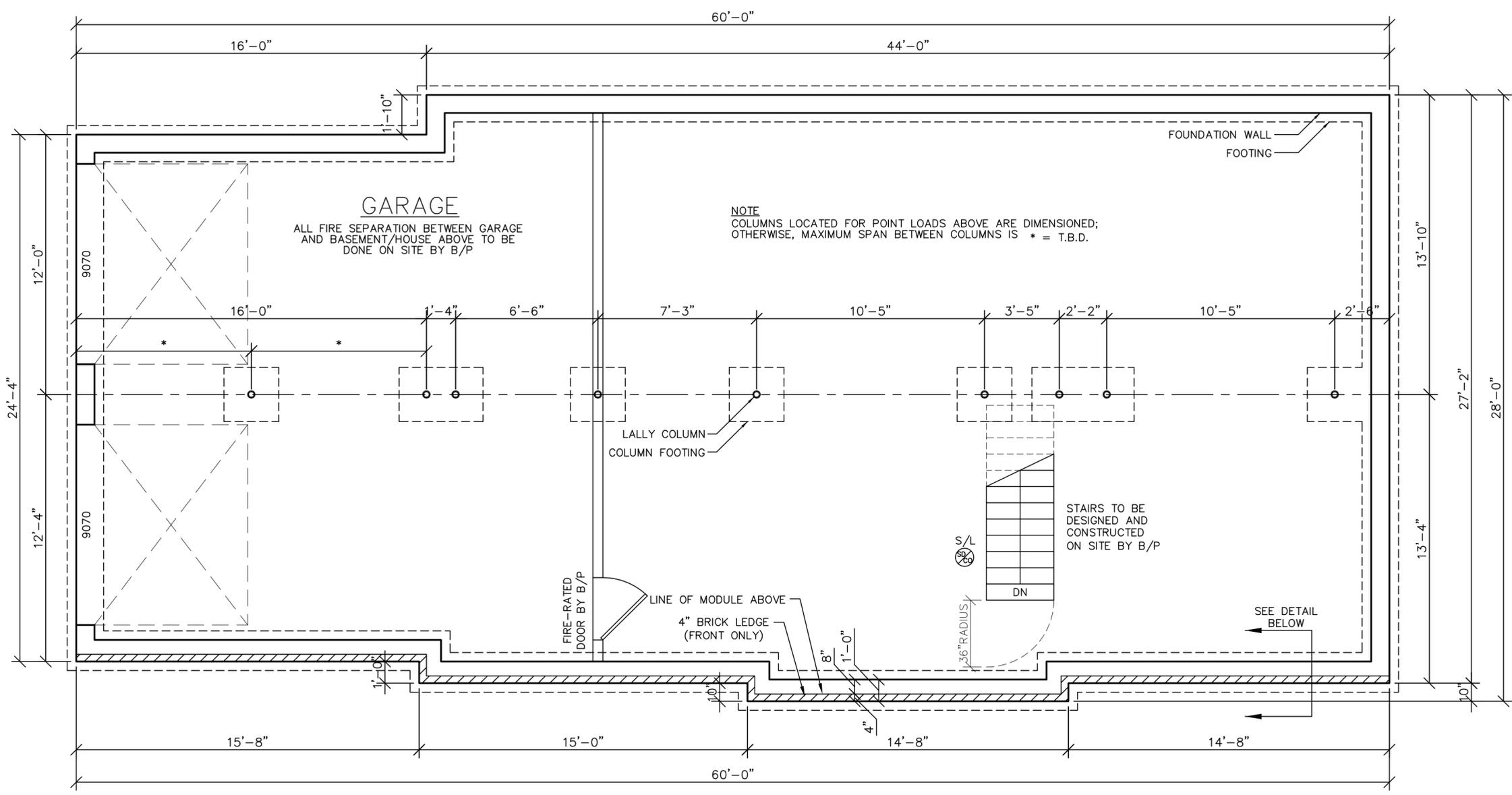


RIGHT ELEVATION  
SCALE: 1/8"=1'-0"

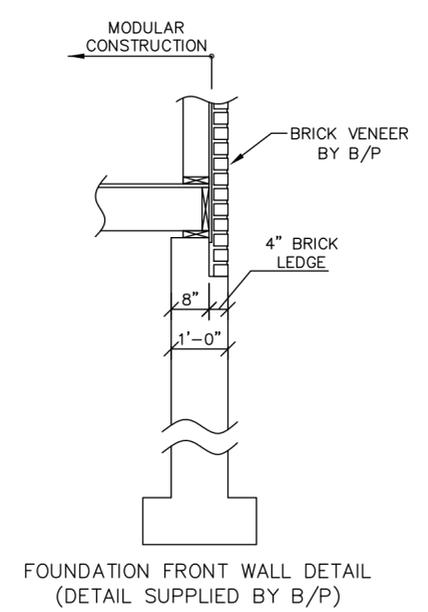
SEE STANDARD NOTES & DETAILS DWG #8

SERIAL No. <b>19189</b> PRODUCTION No.		THIRD PARTY INSPECTION AGENCY PE / RA	
HOMEOWNER: KATIE & DAMIAN CARPARELLI	BUILDER: WMHCC 1995 ROUTE 22 BREWSTER, NY 10509	SITE: TAX LOT #10 MADISON CT YORKTOWN HEIGHTS, NY 10598	
USE GROUP: DETACHED SINGLE FAMILY DWELLING	DESIGNER: C. LARREYNAGA	COLONIAL CTM-L ELEVATIONS	
CONST. TYPE: WOOD FRAME UNPROTECTED	DATE: 10/21/19	Westchester Modular Homes Inc 30 Regans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698	
SCALE: AS NOTED	PAGE: 1	REVISION CHECK DATE CHECK DATE	





- FOUNDATION NOTES:**
- 1) THE FOUNDATION PLAN IS PROVIDED FOR FOUNDATION DESIGN PARAMETERS ONLY. COMPLETE FOUNDATION ENGINEERING BASED ON SPECIFIC SITE CONDITIONS, APPLICABLE LOCAL AND STATE CODES, TO BE REVIEWED AND APPROVED BY A REGISTERED ARCHITECT OR ENGINEER IN THE STATE OF HOUSE DESIGNATION.
  - 2) THE BUILDER/PURCHASER SHALL BE RESPONSIBLE FOR DESIGN, CONSTRUCTION AND CODE COMPLIANCE OF ALL FOUNDATION ELEMENTS INCLUDING (BUT NOT LIMITED TO) STRUCTURAL, PLUMBING, ELECTRICAL, HEATING, ENERGY CONSERVATION AND FIRE SEPARATION.
  - 3) LALLY COLUMN SHALL BE MINIMUM 3 1/2" Ø STEEL PIPE WITH 8"x8" TOP PLATE. THICKNESS OF THE TOP PLATE SHALL BE DESIGNED BY PE/RA TO SUPPORT LOADS GIVEN.
  - 4) MINIMUM COLUMN FOOTING SIZE SHALL BE 2'-6" x 2'-6" x 10" DEEP.
  - 5) CONCRETE STRENGTH TO BE A MINIMUM 3000 PSI.
  - 6) FOUNDATION SILL SHALL BE PRESERVATIVE TREATED LUMBER (SUPPLIED AND INSTALLED BY B/P PRIOR TO HOUSE DELIVERY AND SET). THERE SHALL BE NO PROTRUSION ABOVE TOP OF SILL PLATE.
  - 7) THE BUILDER/PURCHASER SHALL BE RESPONSIBLE FOR ENCLOSING THE BASEMENT STAIRS AND INSULATING THE BASEMENT STAIR WALLS IN ACCORDANCE WITH ALL APPLICABLE ENERGY CODE REQUIREMENTS

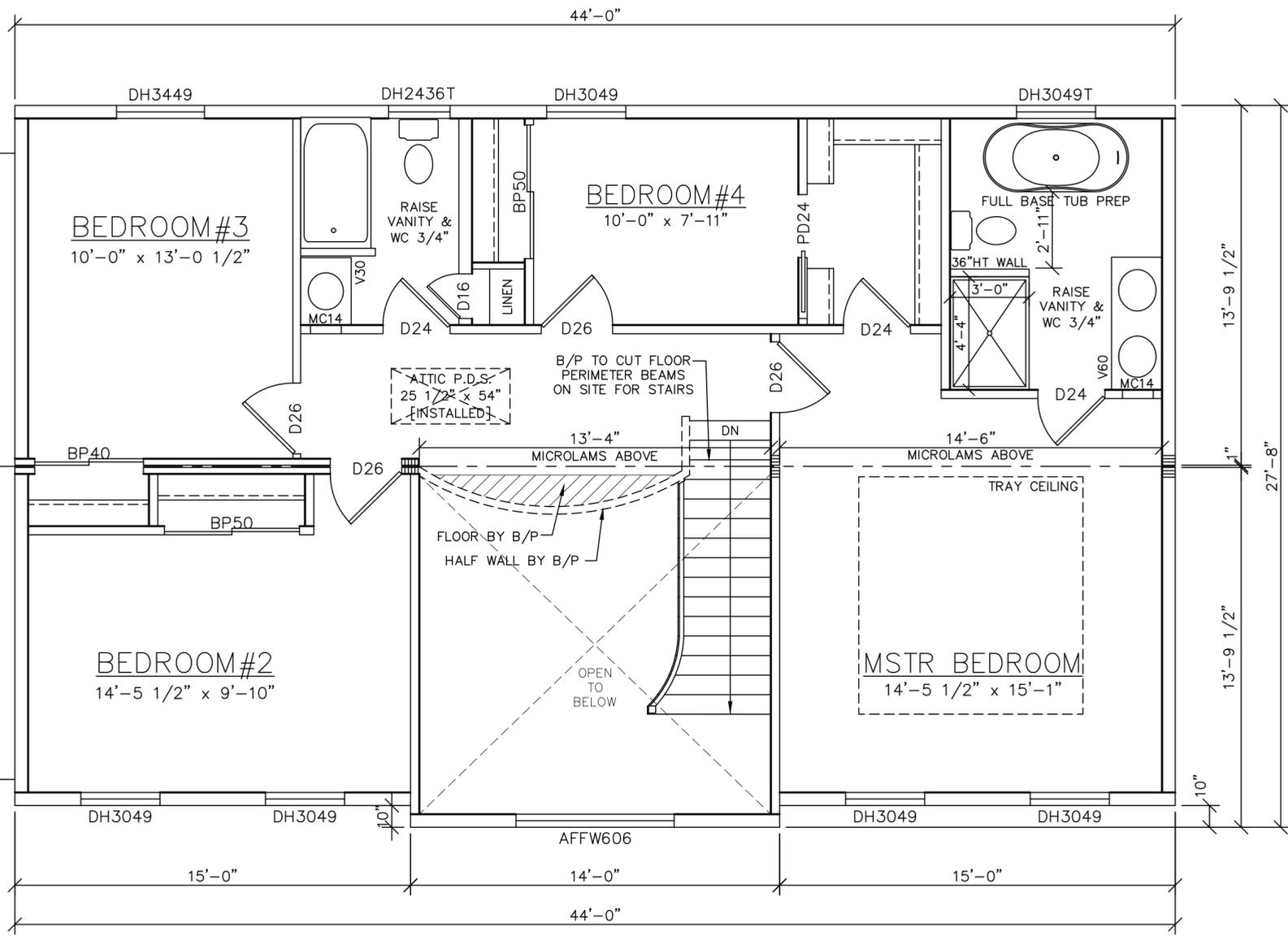


SEE STANDARD NOTES & DETAILS DWG #8

THIRD PARTY INSPECTION AGENCY		PE / RA		SERIAL No. <b>19189</b>	
PRODUCTION No.		REVISION		DATE	
CHECK		DATE		DATE	
HOMEOWNER: KATIE & DAMIAN CARPARELLI		SITE: TAX LOT #10 MADISON CT YORKTOWN HEIGHTS, NY 10598		BUILDER: WMHCC 1995 ROUTE 22 BREWSTER, NY 10509	
DESIGNER: CLARRYMAGA		DATE: 10/21/19		SCALE: 1/4" = 1'-0"	
PAGE: 2		<p><b>COLONIAL CTM-L</b> FOUNDATION PLAN</p> <p>Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698</p>		<p>19189</p>	



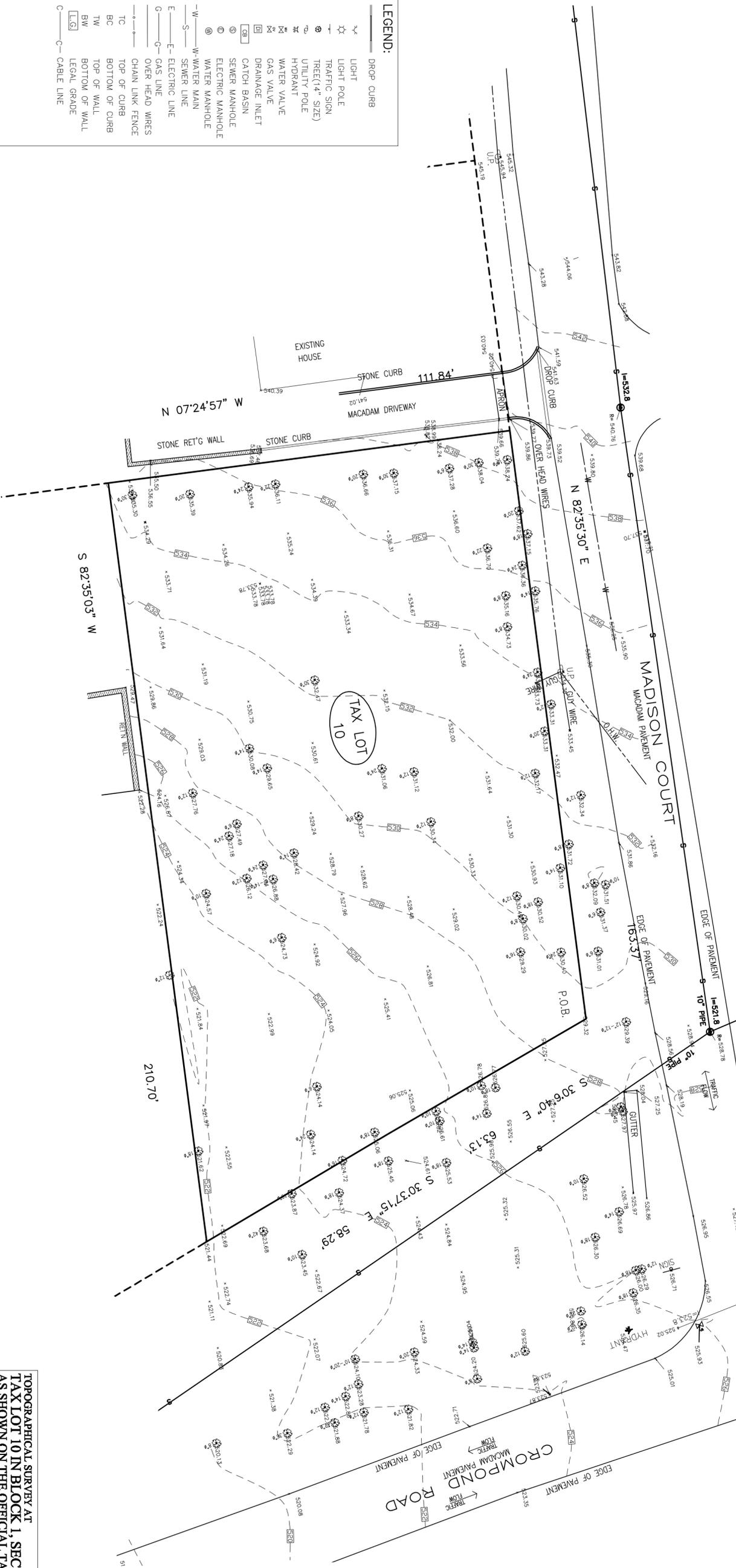
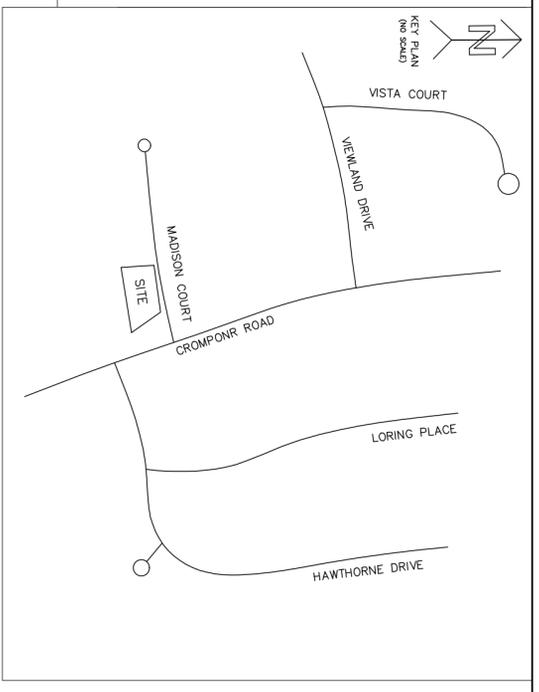
LIGHT & VENTILATION SCHEDULE (SF)			
ROOM	AREA	LIGHT SUPPLIED	VENT SUPPLIED
MSTR BEDROOM	234	19.82	11.52
BEDROOM#2	151	19.82	11.52
BEDROOM#3	130	11.95	6.84
BEDROOM#4	79	9.91	5.76



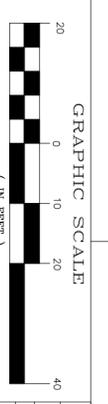
SEE STANDARD NOTES & DETAILS DWG #8

USE GROUP: DETACHED SINGLE FAMILY DWELLING CONST. TYPE: WOOD FRAME UNPROTECTED	BUILDER: WMHCC 1995 ROUTE 22 BREWSTER, NY 10509	HOMEOWNER: KATIE & DAMIAN CARPARELLI SITE: TAX LOT #10 MADISON CT YORKTOWN HEIGHTS, NY 10598	SERIAL No. <b>19189</b>	THIRD PARTY INSPECTION AGENCY
COLONIAL CTM-L SECOND FLOOR PLAN			PRODUCTION No.	
			REVISION	
Westchester Modular Homes Inc 30 Reagans Mill Road, Wingdale, New York, 12594 Tel (845)832-9400 Fax (845)832-6698			CHECK	DATE
<b>3B</b>			CHECK	DATE

- NOTE:
1. ELEVATIONS SHOWN HEREON ARE IN NAVD 88 VERTICAL DATUM.
  2. THE INFORMATION GIVEN ON THIS SURVEY PERTAINING TO UTILITIES AND OR SUBSTRUCTURES IS NOT CERTIFIED FOR ACCURACY OR COMPLETENESS.
  3. SEWER MANHOLE RIM AND INVERT ELEVATIONS SHOWN HEREON WERE OBTAINED FROM FIELD MEASUREMENTS (NO MANHOLES WERE FOUND AND OPENED AT CROMPOUR ROAD BECAUSE OF SPEEDY TRAFFIC).
  4. WATER, ELECTRIC AND GAS LINES SHOWN HEREON ARE TAKEN FROM FIELD MARKING AND MUST BE VERIFIED BEFORE ANY DESIGN.
  5. CONSULT THE APPROPRIATE UTILITY COMPANY PRIOR TO DESIGNING IMPROVEMENTS.
  6. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.
  7. UNDER GROUND UTILITIES WERE NOT MARKED BY CODE 753, AS A RESULT UNDER GROUND CONNECTIONS BETWEEN COULDN'T BE VERIFIED.
- CALL BEFORE YOU DIG:  
PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION CALL 1800-272-4480.



- LEGEND:
- DROP CURB
  - LIGHT
  - TRAFFIC SIGN
  - TREE(14" SIZE)
  - UTILITY POLE
  - HYDRANT
  - WATER VALVE
  - GAS VALVE
  - DRAINAGE INLET
  - CATCH BASIN
  - SEWER MANHOLE
  - ELECTRIC MANHOLE
  - WATER MANHOLE
  - W-WATER MAIN
  - S-SEWER LINE
  - E-ELECTRIC LINE
  - G-GAS LINE
  - OVER HEAD WIRES
  - CHAIN LINK FENCE
  - TC TOP OF CURB
  - BC BOTTOM OF CURB
  - TW TOP OF WALL
  - BW BOTTOM OF WALL
  - LEGAL GRADE
  - C-CABLE LINE



NO.	DATE	DESC.	BY

ALL ELEVATIONS HEREON ARE GENERALLY ALIGNED WITH NAVD 88 VERTICAL DATUM.

BEFORE GRADING OR CONSTRUCTION, THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN HEREON, ARE NOT CERTIFIED.

A TITLE REPORT OF THE SUBJECT PROPERTY WAS NOT PROVIDED.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS VIOLATION OF 799, SUB-DIVISION 2 OF NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL, NOT BE CONSIDERED TO BE A TRUE AND VALID COPY. (NOT FOR TITLE TRANSFER)

SCALE: 1"=20.0'  
Measurement in U.S. Standard

DATE: JUNE 29, 2019

JOB NUMBER  
WC137-09-81-10(TORO)

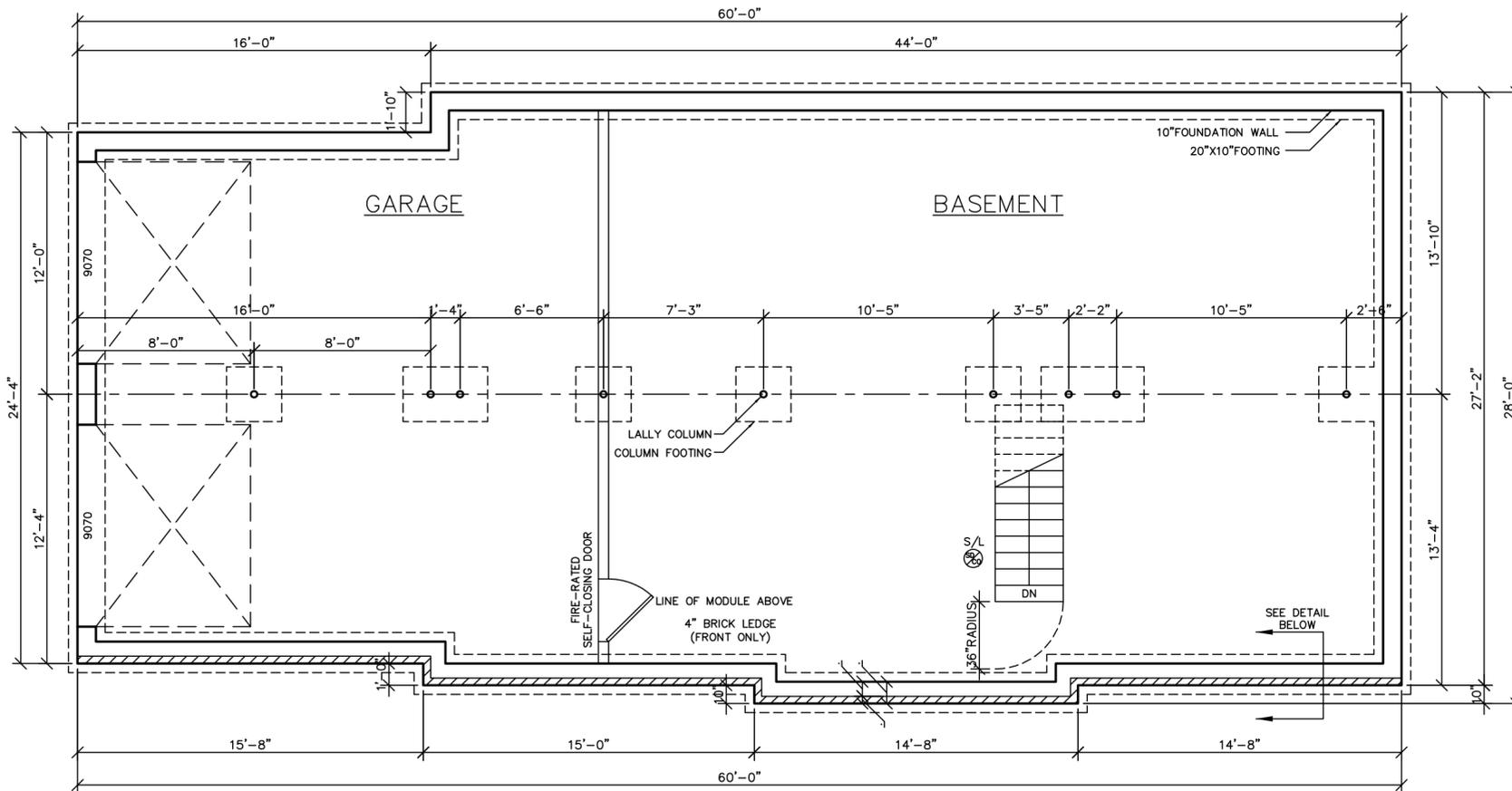
TOPOGRAFICAL SURVEY AT  
TAX LOT 10 IN BLOCK 1, SECTION 37.09  
AS SHOWN ON THE OFFICIAL TAX MAPS OF  
TOWN OF YORKTOWN  
LOCATED AT  
TOWN OF YORKTOWN  
WESTCHESTER COUNTY NEW YORK  
ADDRESS: 0 MADISON COURT, YORKTOWN, NY

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.

Rakesh R. Behal, L.S. New York State License Number 050666.

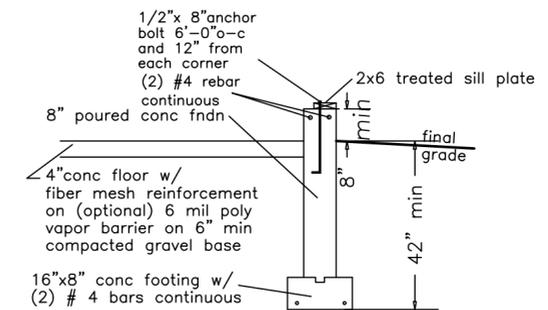
Summit Land Surveying P.C.  
21 Drake Lane  
White Plains NY 10607  
Tel. 9146297758

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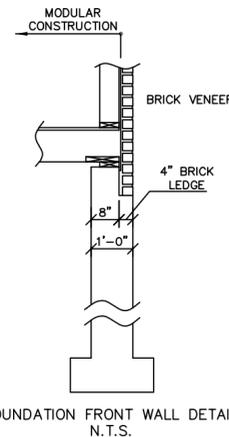


Scale 3/16" = 1'-0"

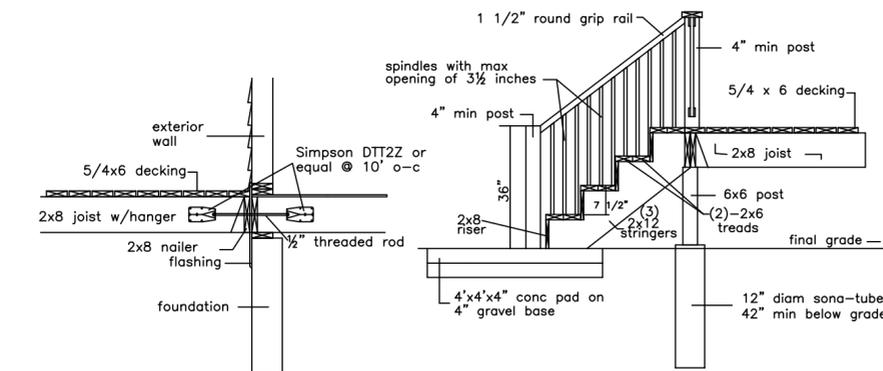
- GARAGE
- Provide 6" insulation in ceiling and insulate all pipes
  - Provide 5/8" fire code type "X" gypsum board on ceiling
- BASEMENT
- Provide 6" insulation in ceiling
  - Insulate all pipes
  - Provide 5/8" fire code type "X" gypsum board over boiler



GARAGE WALL SECTION  
n.t.s.

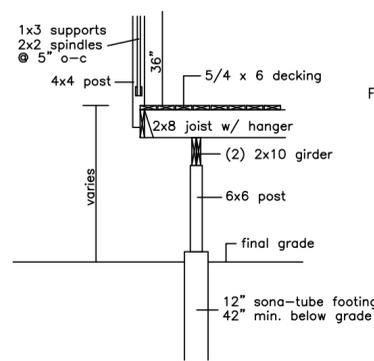


- Hold Down Schedule
- Up to 1,000 lbs - (1) 20 gauge strap, 12" min up stud
  - Up to 2,000 lbs - (2) 20 gauge straps on adjacent studs, 12" min up stud
  - Up to 5,300 lbs - (1) STGDRJ-14 embedded strap

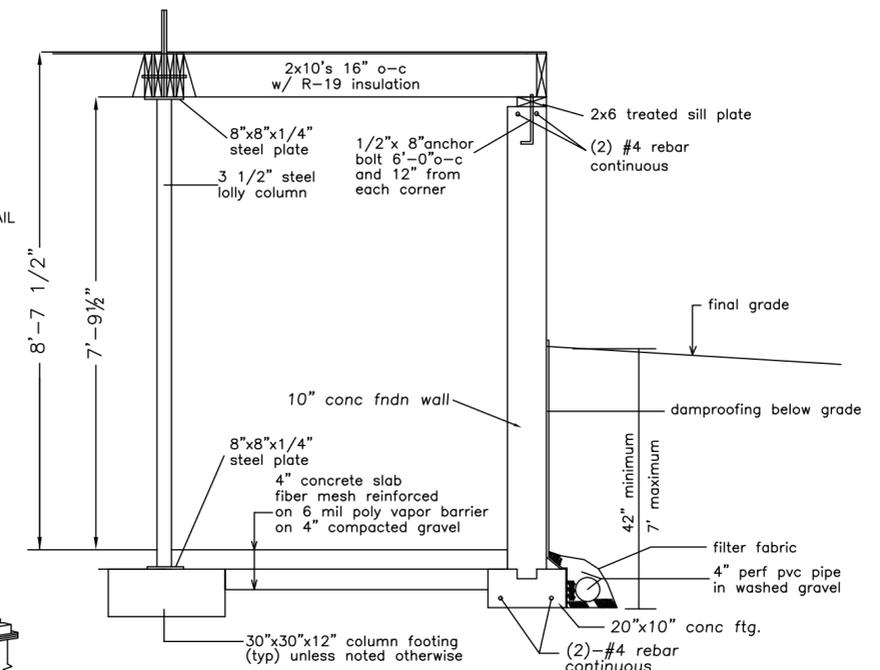


JOIST CONNECTION AT HOUSE  
n.t.s.

DETAIL OF OPTIONAL STAIR  
n.t.s.



RAILING/POST DETAIL  
n.t.s.



TYPICAL WALL SECTION  
n.t.s.



GENERAL NOTES:

- 1.) All concrete shall be 3000 psi min.
- 2.) Minimum soil bearing capacity shall be 2 tons/s.f.
- 3.) Lolly columns shall have 8"x8"x1/4" plates, top and bottom.
- 4.) Column plates shall be fastened to mating wall w/ min. (2) 3/8"x 2" lag bolts.

DECK NOTES:

- 1.) Number of risers to be determined by final grade in field.
- 2.) (2)-2x10 girder may rest directly on footing as grade requires.
- 3.) Metal flashing to extend 2" min. below top of foundation.
- 4.) All lumber shall be pressure treated.

"Unauthorized alteration or addition to this drawing is a violation of §7209(2) of the NYS Education Law."

PROPOSED FOUNDATION PLAN FOR  
Kate and Damian Carparelli - Lot 10 Madison Ct  
Yorktown, New York

SHEET 2019-17-05  
SCALE AS NOTED  
FILE D:\2K7\WMHCC\CARPARELLI  
DATE 11/14/2019

ANTHONY S. PISARRI, P.E., P.C.  
CONSULTING ENGINEER  
3 Rosalind Drive, Cortlandt Manor, N.Y. 10567