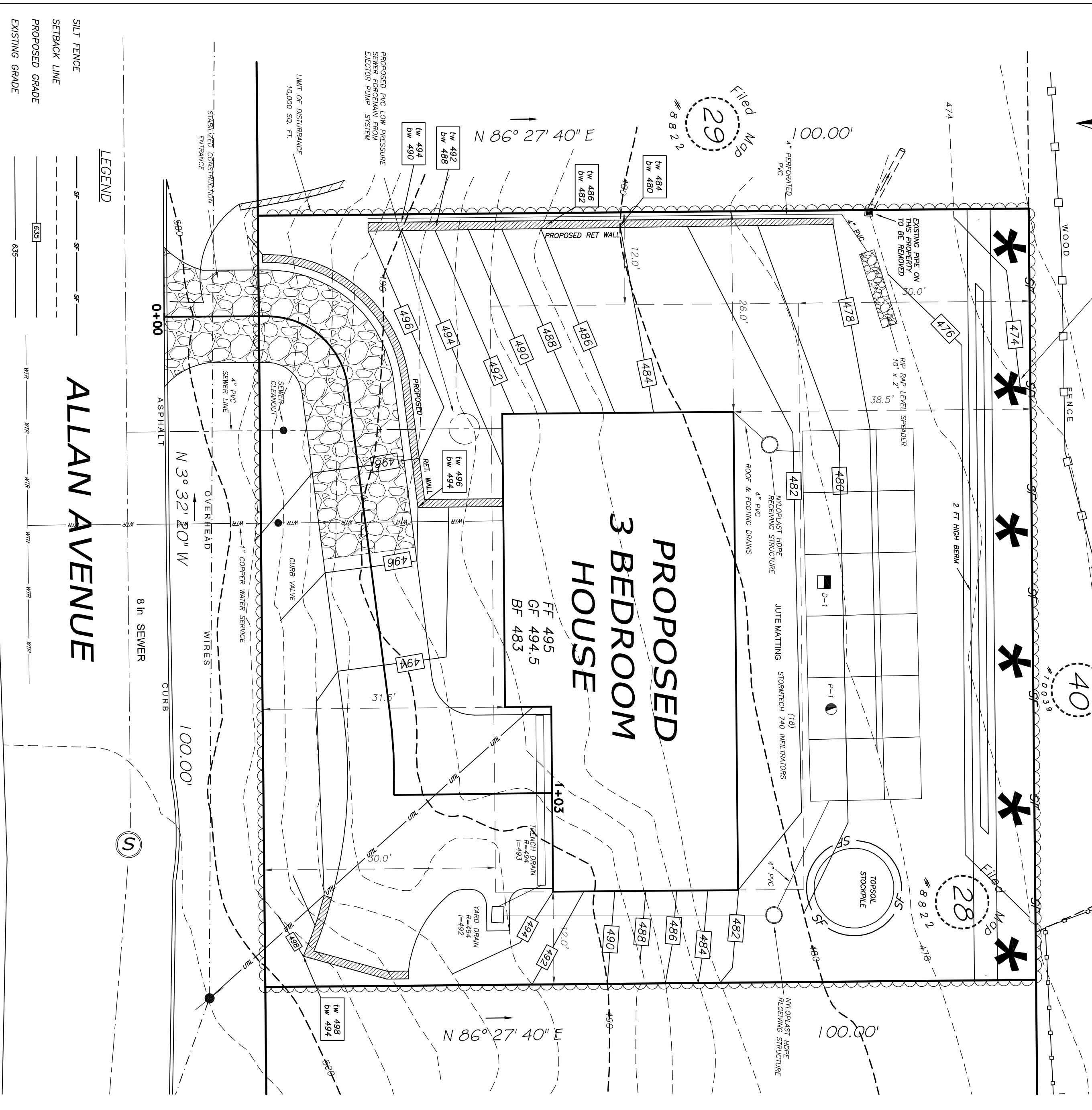


6 FOOT TALL EVERGREENS 5 3/4 32° 20' E



**PLAN: STORMWATER POLLUTION PREVENTION PLAN**

**SEQUENCE OF CONSTRUCTION:**

2060 ALLAN AVENUE, YORKTOWN (T)

The following are sequence and methods of construction of a house on property owned by Panbar Realty, LLC, 361 Route 6, Whippany, New York, 10841 at 2060 Allan Avenue, Yorktown (T) in Westchester County, New York. Erosion and sediment control measures are incorporated into the construction program. Construction of this project will be in one phase.

Proposed erosion and sediment control methods are found on the Site Plan. The erosion controls are assigned in accordance with the State of New York. Guidelines for Urban Erosion and Sediment Control. The project is expected to start in the Summer of 2020 and continue over a one year period.

**A. General Construction Notes**

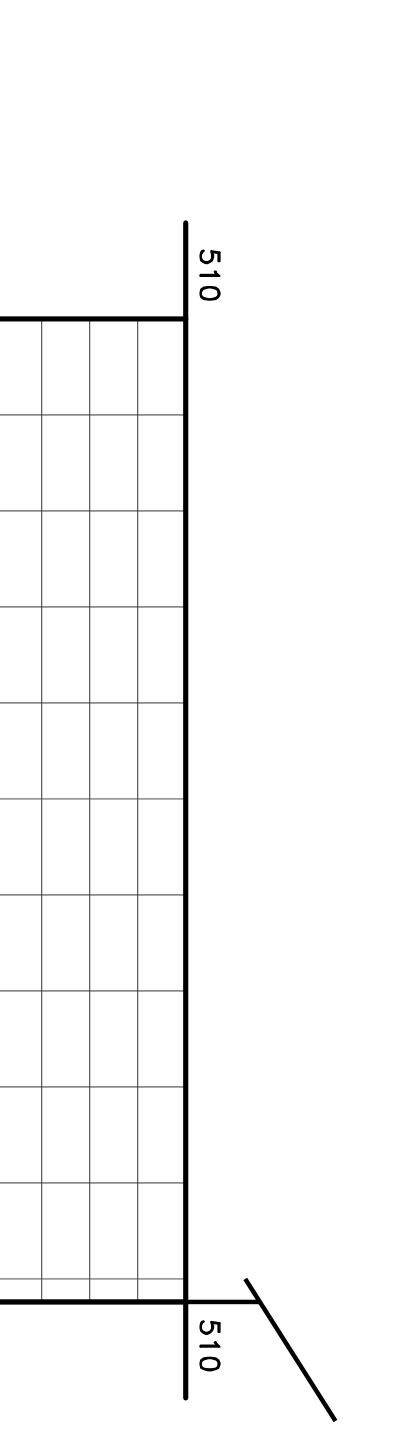
1. The site shall be disturbed only when and where necessary. Only the smallest practical area of land shall be disturbed to complete construction. All disturbed areas shall be stabilized immediately unless specified otherwise. All disturbed areas that are seeded with appropriate seed mixture and procedure are considered stabilized when 80% of the vegetation is achieved.
2. The contractor shall inspect all erosion and sediment control devices during all storm events, prior to weekdays and prior to all forecasted storm events.
3. The contractor shall inspect all erosion and sediment control devices during all storm events, prior to weekends and prior to all forecasted storm events.
4. Slopes steeper than one on three shall be stabilized immediately after grading.
5. Paved roadways shall be kept clear at all times.
6. The site shall, at all times, be clear and unobstructed to allow storm water runoff to flow freely to the street. Erosion and sediment control measures shall be maintained throughout the construction period.
7. Dist shall be controlled by sprinkling or other approved methods.
8. Stockpiles shall not be located within fifty feet (50') of road ways or drainage facilities. The base of all stockpiles shall be protected by a silt fence, hay bales, brush or a combination of both.
9. Soil erosion and sediment control measures shall be inspected and maintained by the contractor on a daily basis to ensure that they remain effective throughout the construction period. If any erosion or sediment control measure is found to be ineffective, it shall be replaced immediately.
10. Mandatory stormwater inspections shall be performed weekly and within 24 hours of any precipitation event producing more than 0.2 inches of rain.
11. All soil erosion and sedimentation control measures shall be maintained by the contractor until final acceptance of the site work by the owner upon completion of final measures. The owner will assume responsibility for the continued maintenance of all erosion and sedimentation control measures.
12. All drainage outlets and inlets shall be lined with 18" x 18" x 4" as specified on the plans and/or per engineer.
13. The contractor is ultimately responsible for implementation of all erosion and sediment control measures.

**B. Construction Sequence**

1. Install all erosion control measures.
2. Perform site grading for the house, septic system and driveway.
3. Construct driveway, utilities and septic system.
4. Remove all temporary erosion control measures. Restore/stockpile to final grade and provide contractor to perform final site clean up and dispose of all debris properly.

**C. STABILIZATION NOTES**

1. Seed shall be applied at a rate of 30 lbs./acre other select mixture as described in the new york guidelines.
2. The contractor shall ensure that the seed is applied to the soil surface and that the soil is covered.
3. The contractor shall ensure that the seed is applied to the soil surface and that the soil is covered.
4. The contractor shall ensure that the seed is applied to the soil surface and that the soil is covered.



**PROFILE SCALE:**  
 HORIZ: 1" = 20'  
 VERT: 1" = 4'

STATION	ELEVATION
0+00	500.2
0+50	489.6
1+02.37	483
0+00	510
0+30	ELEV 499.3
0+67.61	ELEV 495.55
0+00	500
0+50	505
1+00	510
0+00	480
0+50	485
1+00	490
1+50	495
2+00	500
2+50	505
3+00	510

### WCDH NOTES:

1. THERE SHALL BE NO TREES WITHIN 10 FEET OF THE ONSITE WASTEWATER TREATMENT SYSTEM (OWTS).
2. THERE ARE NO OWTS WITHIN 200 FEET OF THE WELL UNLESS OTHERWISE SHOWN ON THE PLAN.
3. THERE ARE NO OWTS WITHIN 200 FEET OF THE WELL UNLESS OTHERWISE SHOWN ON THE PLAN.
4. THE PROPOSED OWTS AREA SHALL BE ISOLATED AND PROTECTED AGAINST DAMAGE BY ADVERSE PHYSICAL CHANGE IN THE CHARACTERISTICS OF THE SOIL OR IN THE DRAINAGE OF THE AREA.
5. IF FOR ANY REASON THE APPROVED CONSTRUCTION PLAN CAN NOT BE FOLLOWED A REVISION MUST BE PREPARED, SUBMITTED, AND APPROVED BY WESTCHESTER COUNTY DEPARTMENT OF HEALTH (WCDH).
6. THE DESIGN PROFESSIONAL SHALL SUPERVISE THE CONSTRUCTION OF THE OWTS AND MAKE AN OPEN WORKS INSPECTION.
7. WITHIN 24 HOURS OF THE COMPLETION OF THE OWTS, THE DESIGN PROFESSIONAL MUST NOTIFY THE WCDH THAT THE OWTS IS READY FOR INSPECTION BY SUBMITTING A COMPLETED REQUEST FOR AN OPEN WORKS INSPECTION ON THE APPROPRIATE FORM TO WCDH.
8. THAT NO BACKFILLING OF A COMPLETED OWTS CAN OCCUR UNTIL AFTER IT HAS BEEN INSPECTED AND ACCEPTED BY THE WCDH.
9. AFTER BACKFILLING THE OWTS, THAT AREA SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF CLEAN TOP SOIL, SEED AND MULCH.
10. THE INSTALLATION OF THE OWTS SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND ENVIRONMENTAL TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.
11. ALL PIPES CONNECTING TO TANK AND BOXES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF BOX.
12. THE PROPOSED OWTS SHALL BE INSTALLED BY A WESTCHESTER COUNTY LICENSED SEPTIC CONTRACTOR.
13. PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7982.
14. THE WESTCHESTER COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES ONE YEAR FROM THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE THE EXPIRATION DATE. THE APPROVAL MAY BE RENEWED BY THE DEPARTMENT.
15. THERE ARE NO SOURCES OF CONTAMINATION WITHIN 200 FEET OF THE PROPOSED WELL (WHERE NEW WELLS WERE PROPOSED).
16. THE MINIMUM WELL YIELD IS 5 GPM, VOLUMES LESS THAN 5 GPM MUST BE IMMEDIATELY REPORTED TO THE DEPARTMENT (WHERE NEW WELLS ARE PROPOSED).

**PERCOLATION ANALYSIS**

PERCOLATION TEST RESULTS (PERCENTAGE OF PERCOLATION):

- PERC. AREA AT 12 INCHES DEPTH (AVE. DEPTH): 14.0%
- PERC. AREA AT 24 INCHES DEPTH (AVE. DEPTH): 14.0%
- PERC. AREA AT 36 INCHES DEPTH (AVE. DEPTH): 14.0%

**STORMWATER POLLUTION PREVENTION PLAN DESIGN**

PLAN FOR THE PROPOSED PROJECT IS BASED ON THE FOLLOWING ASSUMPTIONS:

- 1. THE DESIGN OF THE STORMWATER POLLUTION PREVENTION PLAN IS BASED ON THE ASSUMPTION THAT THE PROPOSED PROJECT WILL BE CONSTRUCTED AND OPERATED IN ACCORDANCE WITH THE CURRENTLY APPLICABLE REGULATIONS AND REQUIREMENTS OF THE STATE OF NEW YORK AND THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND ENVIRONMENTAL TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.
- 2. THE DESIGN OF THE STORMWATER POLLUTION PREVENTION PLAN IS BASED ON THE ASSUMPTION THAT THE PROPOSED PROJECT WILL BE CONSTRUCTED AND OPERATED IN ACCORDANCE WITH THE CURRENTLY APPLICABLE REGULATIONS AND REQUIREMENTS OF THE STATE OF NEW YORK AND THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND ENVIRONMENTAL TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.

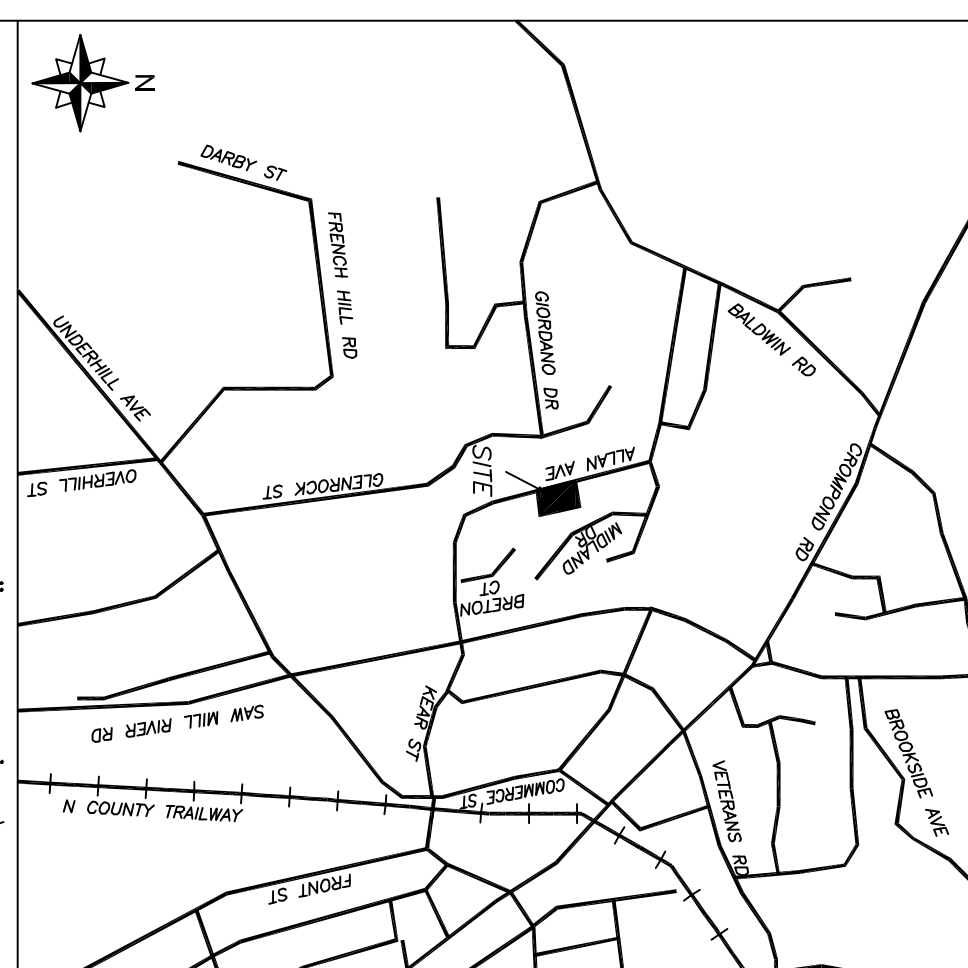
**ZONING SCHEDULE**

2060 ALLAN AVENUE, YORKTOWN

REQUIRED	PROPOSED
R 1-20 RESIDENTIAL	10000
MIN LOT AREA (SQ FT)	80
MIN LOT WIDTH (FT)	100
MIN LOT DEPTH (FT)	100
MIN YARD DIMENSIONS (FT)	30
ROOF	4.0%
2nd	12
3rd	12
4th	30
5th	30
6th	30
7th	35
8th	35
9th	35
10th	35
11th	35
12th	35
13th	35
14th	35
15th	35
16th	35
17th	35
18th	35
19th	35
20th	35
21st	35
22nd	35
23rd	35
24th	35
25th	35
26th	35
27th	35
28th	35
29th	35
30th	35
31st	35
32nd	35
33rd	35
34th	35
35th	35
36th	35
37th	35
38th	35
39th	35
40th	35
41st	35
42nd	35
43rd	35
44th	35
45th	35
46th	35
47th	35
48th	35
49th	35
50th	35
51st	35
52nd	35
53rd	35
54th	35
55th	35
56th	35
57th	35
58th	35
59th	35
60th	35
61st	35
62nd	35
63rd	35
64th	35
65th	35
66th	35
67th	35
68th	35
69th	35
70th	35
71st	35
72nd	35
73rd	35
74th	35
75th	35
76th	35
77th	35
78th	35
79th	35
80th	35

### WCDH/NYC WATERSHED NOTES:

1. THERE ARE NO RESERVOIRS, RESERVOIR STEMS OR CONTROLLED LAKES WITHIN 500 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
2. THERE ARE NO INSIDE WELLS OR WATERCOURSES WITHIN 200 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
3. NDECP MUST BE CONTACTED AT LEAST TWO DAYS PRIOR TO START OF CONSTRUCTION OF THE OWTS SO THAT THE NDECP MAY INSPECT AND MONITOR THE INSTALLATION.



**OWNER:**  
**JOHN KARELL, JR. P.E.**  
 121 CUSHMAN ROAD  
 PATTERSON, NEW YORK 12563

**SCALE:**  
 1" = 10'

**DATED:**  
 MAY 4, 2020

**TAX MAP:**  
 37-19-2-30

**OWNER:**  
**PANBAR REALTY, LLC**  
 2060 ALLAN AVENUE  
 YORKTOWN (T)

**LATEST REVISION:**

**SHEET NO.:**  
 S-1

NO.	DATE	TOWN COMMENTS
1	11-29-2020	TOWN COMMENTS
2	05-28-20	TOWN COMMENTS

THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED AS LOT NO. 38 ON A CERTAIN MAP ENTITLED "SECTION NO. ONE OF CLOVER RIDGE, SITUATE IN THE TOWN OF YORKTOWN, WESTCHESTER COUNTY, N.Y.", FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS, FORMERLY THE WESTCHESTER COUNTY REGISTER'S OFFICE, ON JANUARY 25, 1964, AS FILED MAP NO. 8822

TOPOGRAPHIC SURVEY PREPARED BY LINK LAND SURVEYORS, P.C., ARBITRARY DATUM

ALTIMETER OF THE DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR BEING LEGAL ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL SIGNATURE AND DATE OF ALTERATION.

