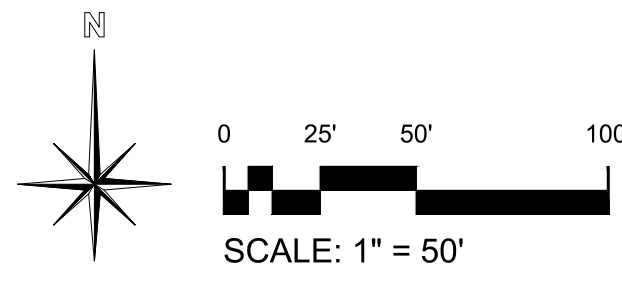


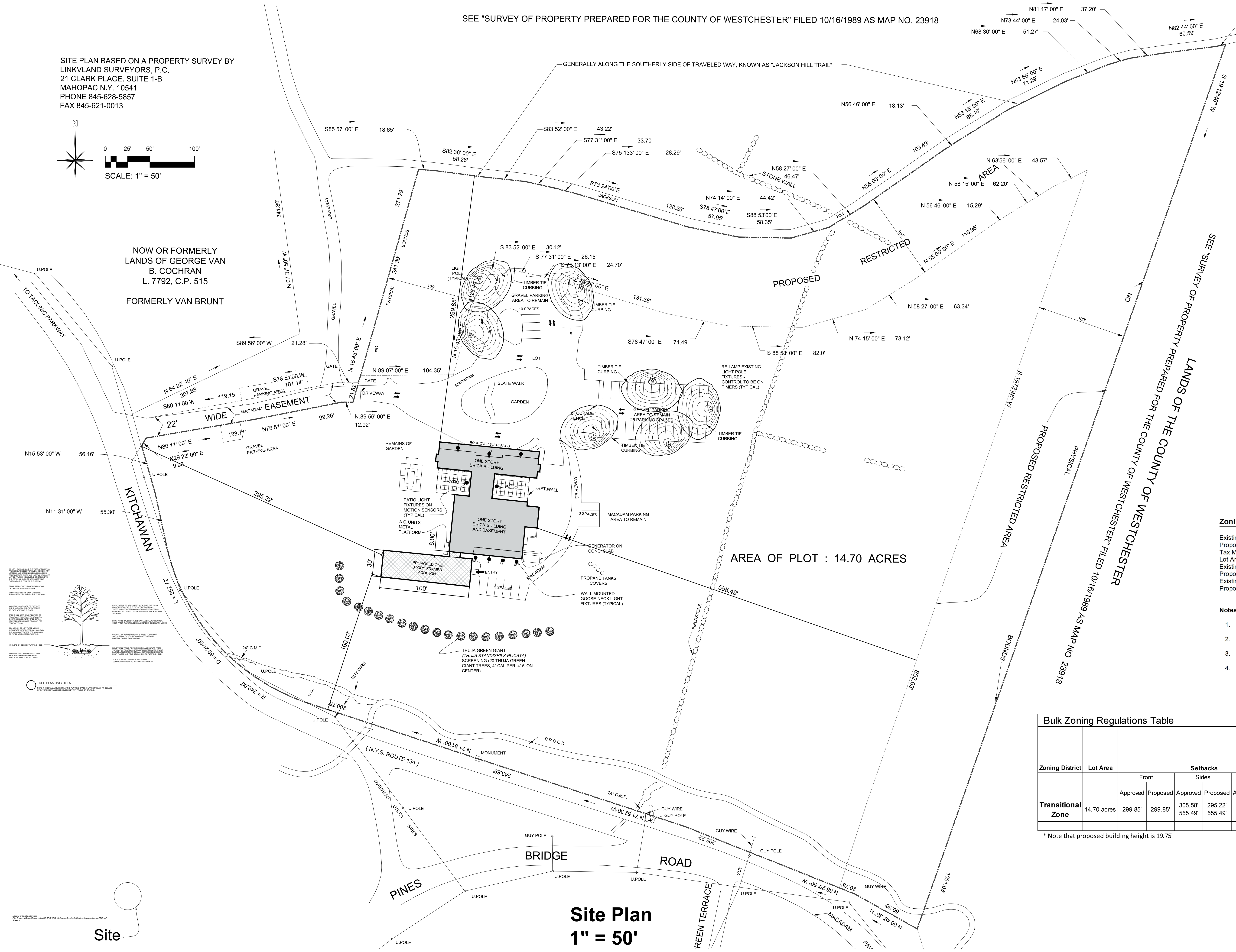
LANDS OF THE COUNTY OF WESTCHESTER

SEE "SURVEY OF PROPERTY PREPARED FOR THE COUNTY OF WESTCHESTER" FILED 10/16/1989 AS MAP NO. 23918

SITE PLAN BASED ON A PROPERTY SURVEY BY
LINKVLAND SURVEYORS, P.C.
21 CLARK PLACE, SUITE 1-B
MAHOPAC N.Y. 10541
PHONE 845-628-5857
FAX 845-621-0013



NOW OR FORMERLY
LANDS OF GEORGE VAN
B. COCHRAN
L. 7792, C.P. 515
FORMERLY VAN BRUNT



712 Kitchawan Road - Transitional Zone - Use Table:

PERMITTED MAIN USES:

- Office.
- For-profit office and flex space including use for a digital printing/cutting/laminating business.

MAIN USES BY SPECIAL PERMIT FROM TOWN BOARD:

- Main Uses Permitted by special permit from the Town Board in accordance with the provisions of §300-21(C)(1)(b) and in accordance with the provisions of Article VII.

PERMITTED ACCESSORY USES:

- One dwelling unit or guest facility for the temporary accommodation of company employees and of visitors to the office provided that such unit is located in a main building and that the site is limited to one such dwelling unit or guest facility.
- Permitted Accessory Uses in accordance with the provisions of § 300-21(C)(1)(c) and subject to the provisions of § 300-182.

PERMITTED ACCESSORY USES BY SPECIAL PERMIT FROM TOWN BOARD:

- Permitted accessory uses by special permit from Town Board in accordance with the provisions of § 300-21(C)(1)(d) and in accordance with the provisions of Article VII.

REVISIONS		
NUMBER	DATE	REVISION
1	10/19/20	PLAN REVISION
2	03/01/2021	REFINED BUILDING ADDITION

Zoning Summary

Existing Zoning District:	Transitional Zone
Proposed Zoning District:	Transitional Zone
Tax Map No.:	Section 70.06 Block 1 Lot 4
Lot Area:	14.70 acres
Existing Building Footprint:	13,987 square feet
Proposed Building Footprint:	15,112 square feet
Existing Use:	Office and flex space, including use for a digital printing /cutting / laminating business
Proposed Use:	Office and flex space, including use for a digital printing /cutting / laminating business

Notes:

- There are 43 pre-existing parking spaces on the premises that will remain.
- Requests to use of the property for more than 30 employees shall require Town Board approval.
- Deliveries to the premises not between the hours of 9am and 5pm, shall be to the front entrance of the building.
- Entrance signage will be consistent in size and style with existing signage.

Bulk Zoning Regulations Table

Zoning District	Lot Area	Setbacks						Lot Width at Front Line of Main Building	Allowable Building Height - Approved	Allowable Building Height - Proposed	Building Coverage		Parking
		Front		Sides		Rear					Approved	Proposed	
		Approved	Proposed	Approved	Proposed	Approved	Proposed				(2.2% of lot area)	(2.4% of lot area)	
Transitional Zone	14.70 acres	299.85'	299.85'	305.58' 555.49'	295.22' 555.49'	179.67'	160.03'	802.64'	35' Main Building 20' Accessory Building	35' Main Building 20' Accessory Building*	13,987 SF (2.2% of lot area)	15,112 SF (2.4% of lot area)	43 Spaces

* Note that proposed building height is 19.75'



Site Plan
Sheet 1 of 3

712 Kitchawan Road

Yorktown, New York
Scale: 1" = 50'
July 14, 2017
Revised March 1, 2021

Applicant:
Kitchawan Barns, LLC

Architect:
Aryeh Siegel, Architect
84 Mason Circle
Beacon, New York 12508

Site Plan
1" = 50'



Image
Not to Scale



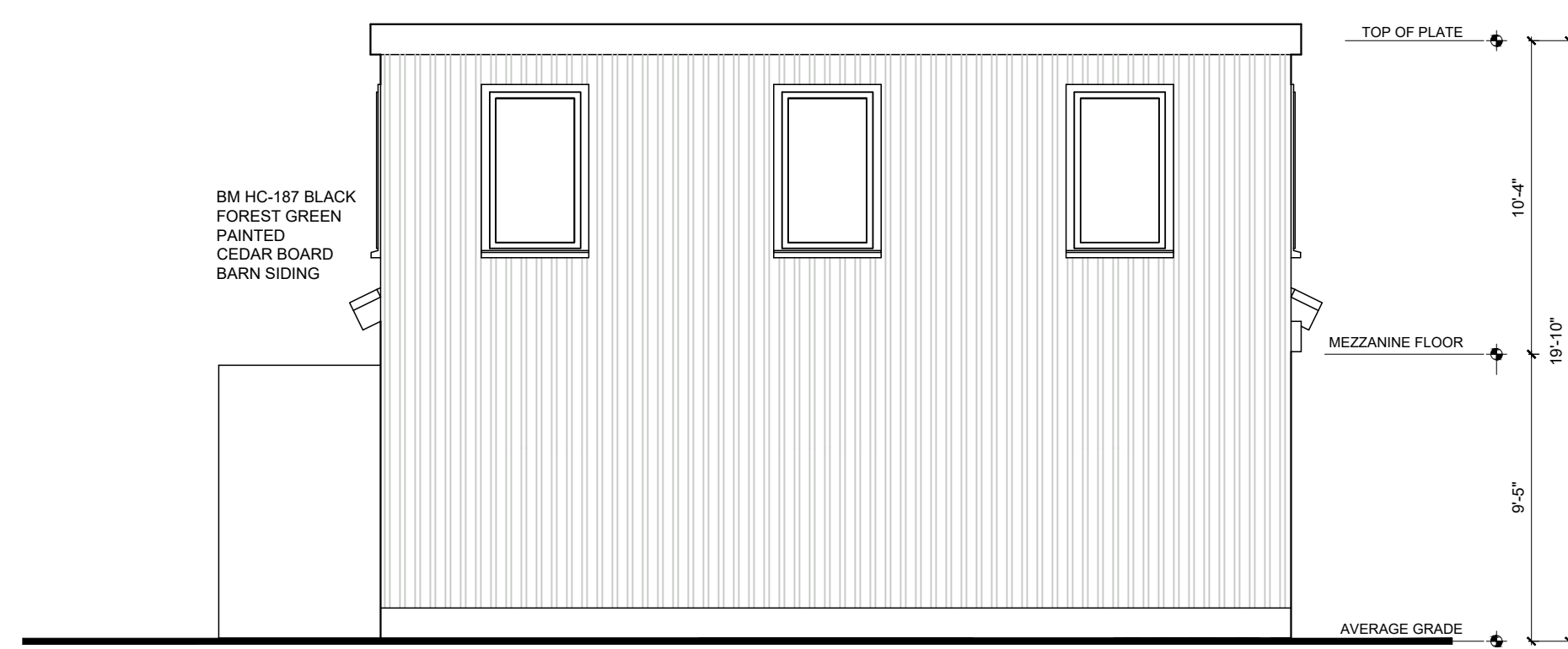
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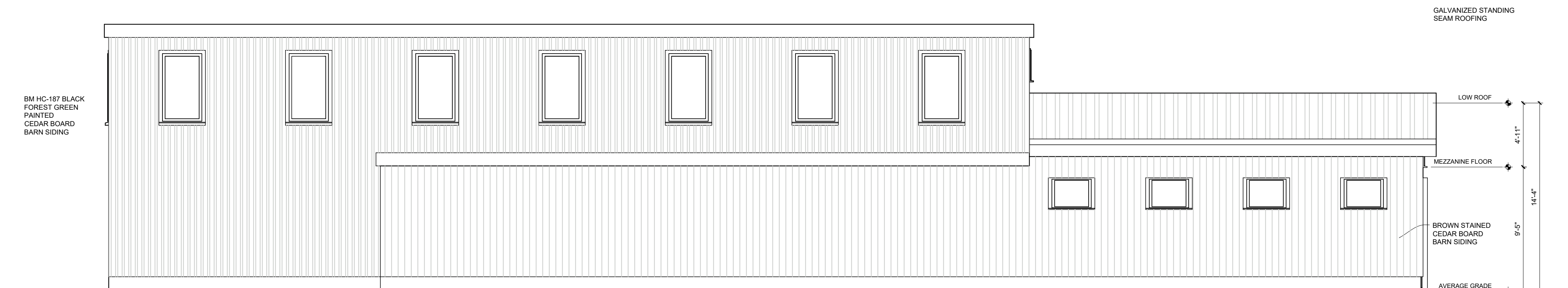


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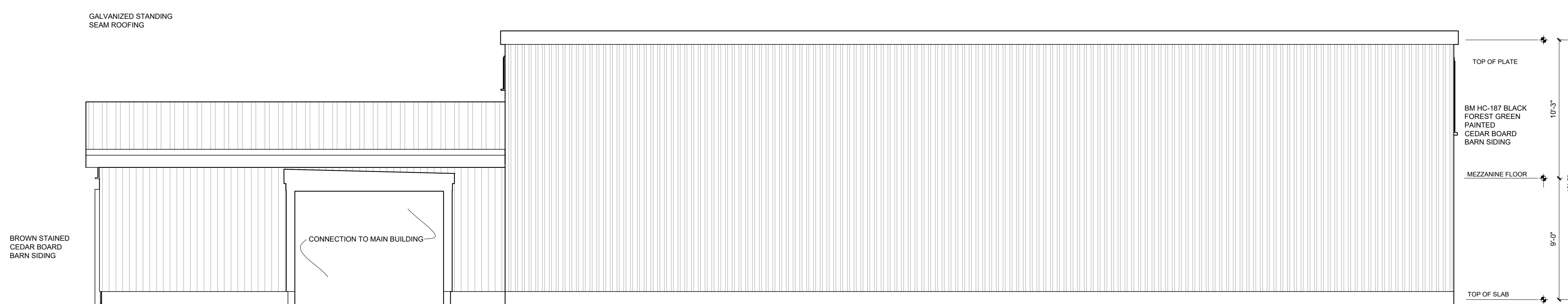
West Elevation

Scale: $\frac{3}{16}'' = 1'-0''$



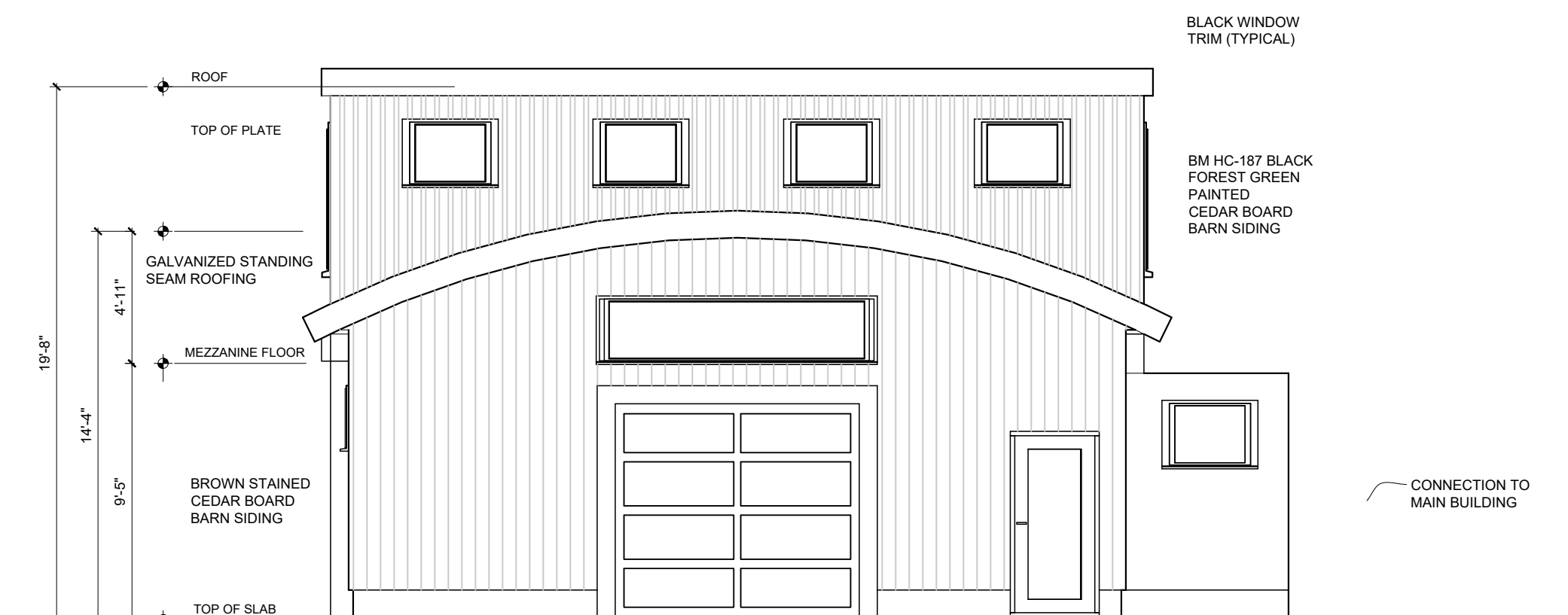
South Elevation

Scale: $\frac{3}{16}'' = 1'-0''$



North Elevation

Scale: $\frac{3}{16}'' = 1'-0''$



East Elevation

Scale: $\frac{3}{16}'' = 1'-0''$

REVISIONS		
NUMBER	DATE	REVISION
1	10/19/20	PLAN REVISION
2	03/01/2021	REFINED BUILDING ADDITION



Proposed Elevations

Sheet 2 of 3

712 Kitchawan Road

Yorktown, New York

Scale: $\frac{1}{4}'' = 1'-0''$

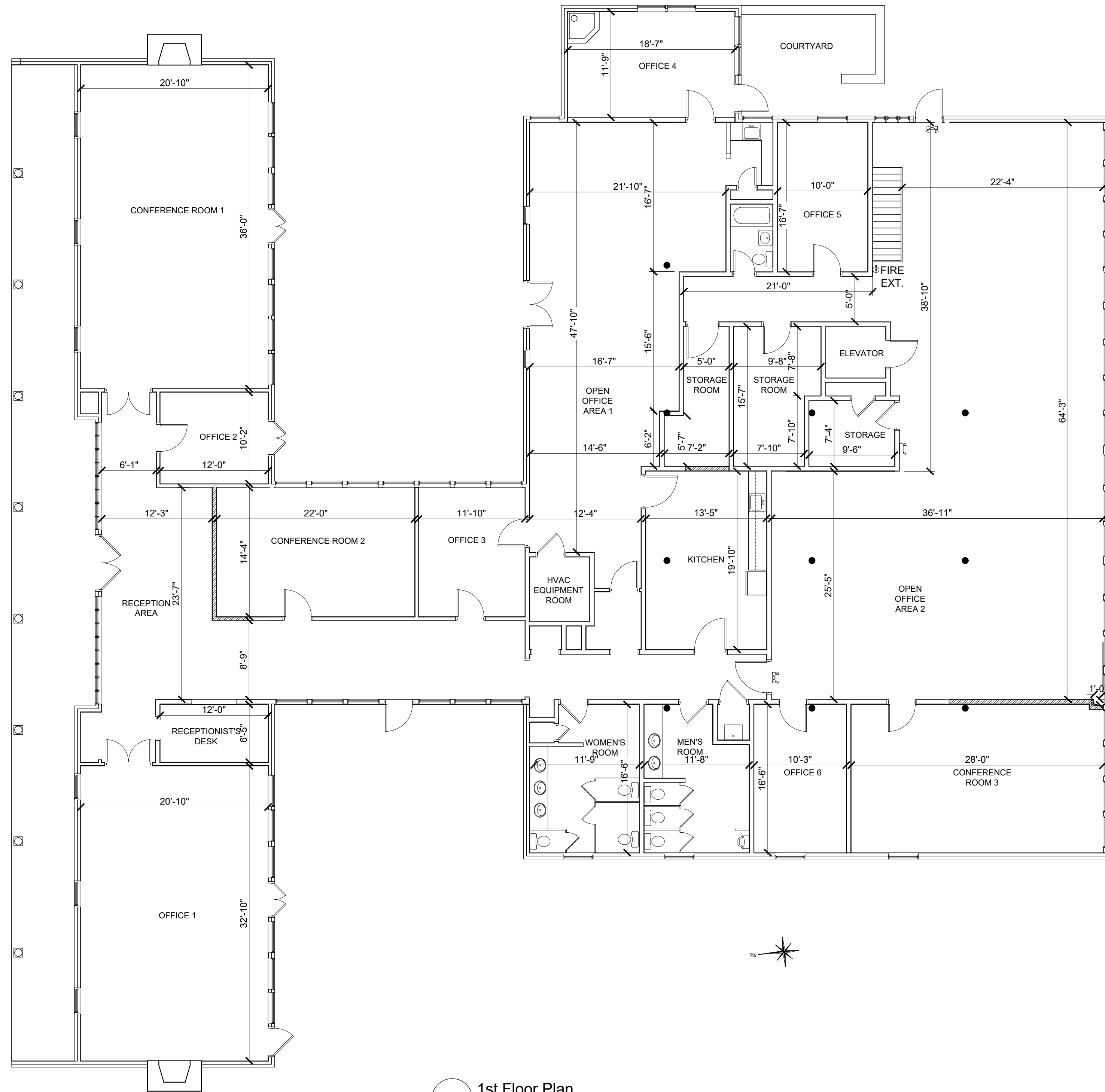
July 14, 2017

Revised March 1, 2021

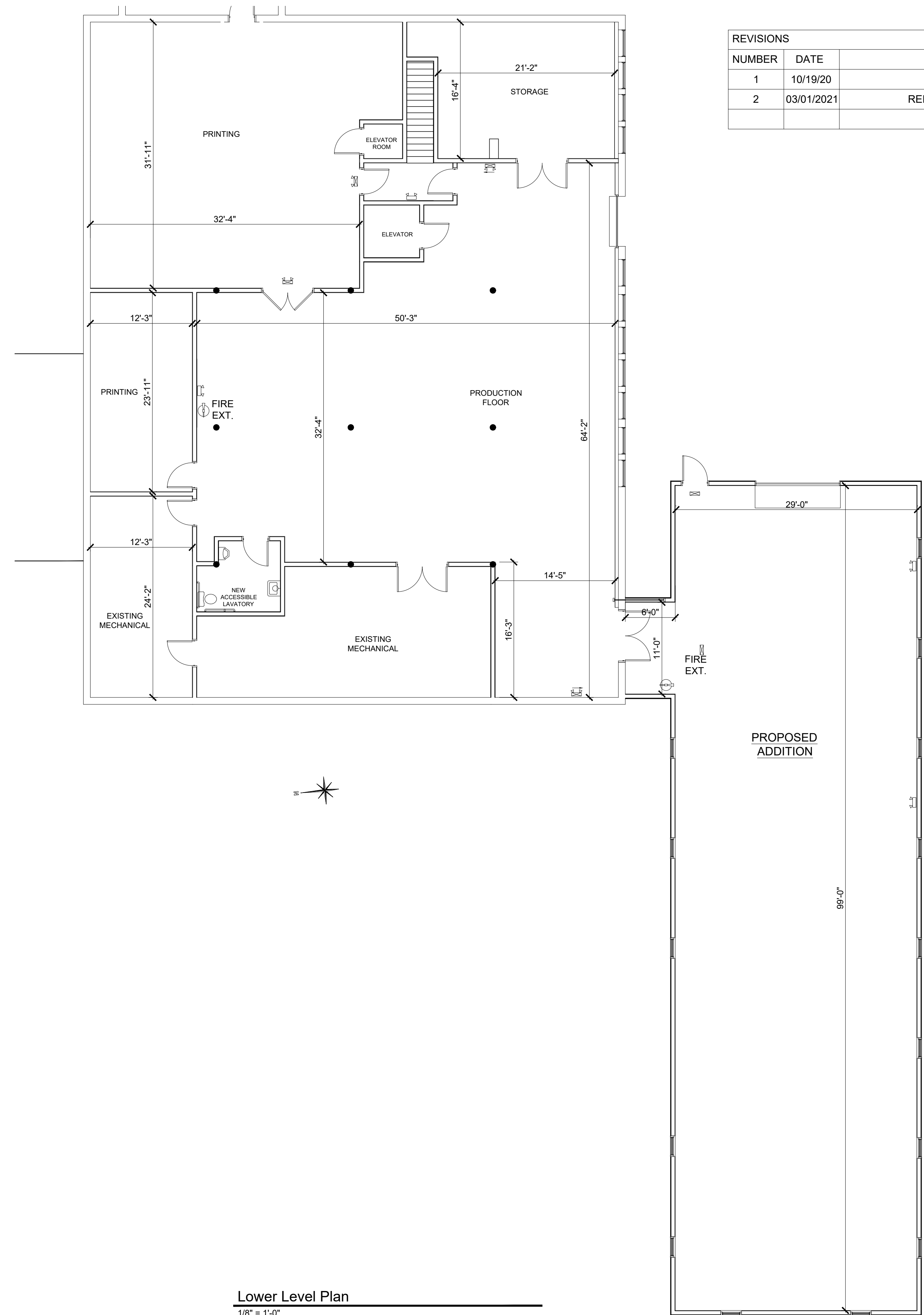


L2 Wall Mounted Light Fixture

The Original Warehouse Gooseneck Light - Barnlight Electric 100W Lamp



2 1st Floor Plan
1/8" = 1'-0"



Lower Level Plan
1/8" = 1'-0"

REVISIONS		
NUMBER	DATE	REVISION
1	10/19/20	PLAN REVISION
2	03/01/2021	REFINED BUILDING ADDITION



Proposed Floor Plans

Sheet 3 of 3

712 Kitchawan Road

Yorktown, New York

Scale: 1/8" = 1'-0"

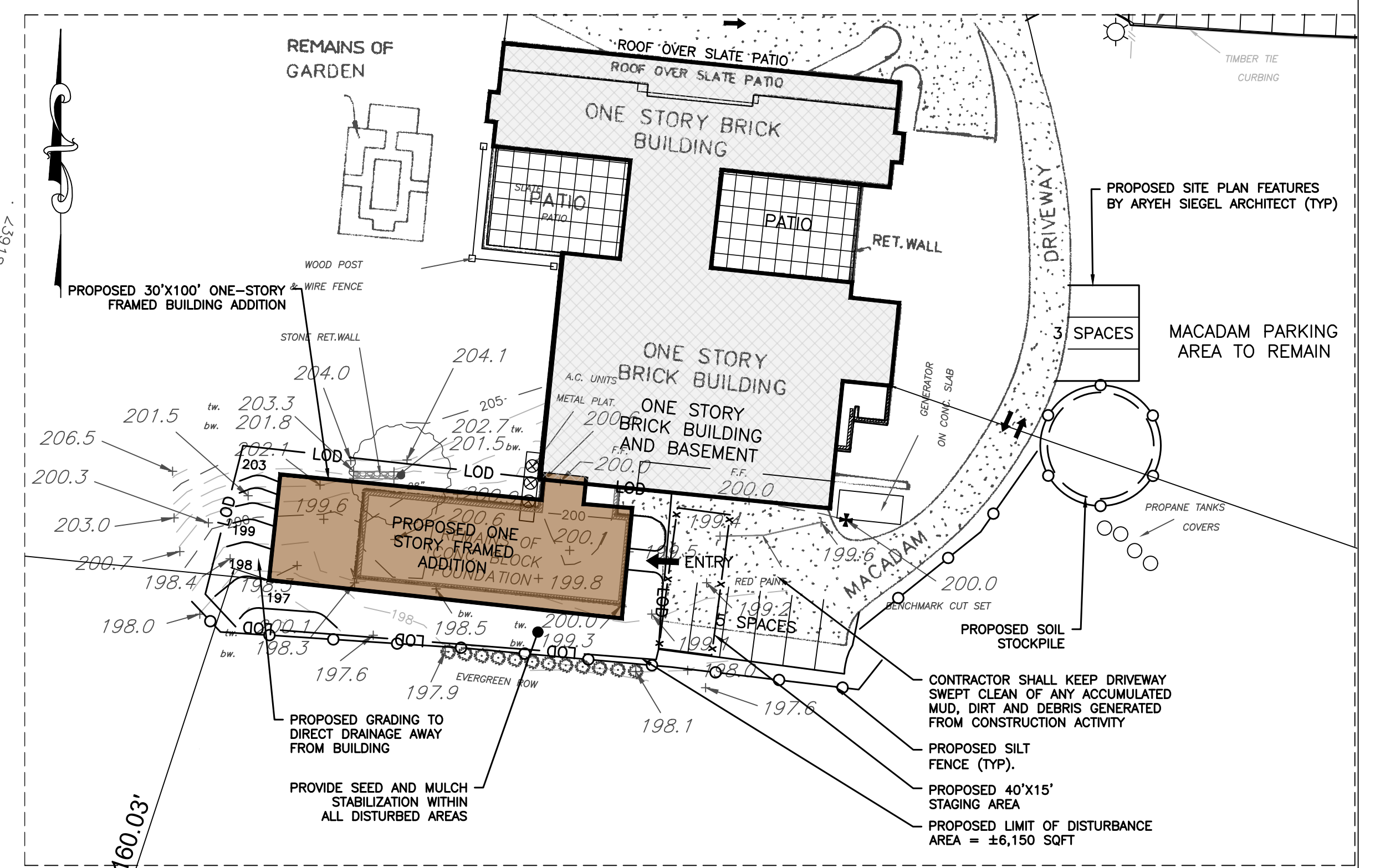
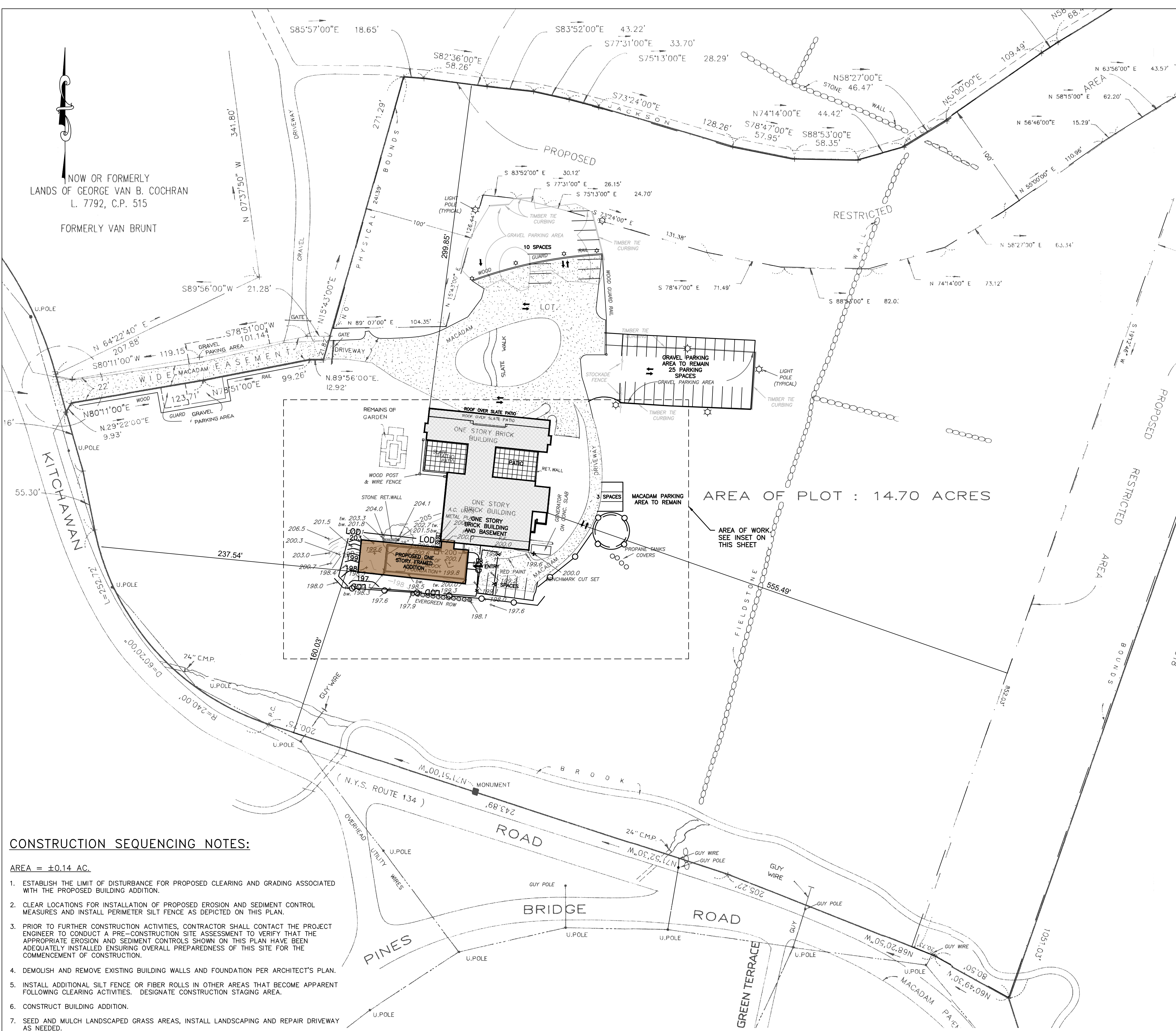
July 14, 2017

Revised March 1, 2021

PROJECT INFORMATION:	
PARCEL OWNER:	KITCHAWAN FARMS, LLC
PROJECT ENGINEER:	HUDSON LAND DESIGN P.C., 174 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	712 KITCHAWAN ROAD, YORKTOWN NY, 10562
TAX PARCEL ID:	70.06-1-4
PARCEL AREA:	±14.7-ACRES
WATER SUPPLY:	PRIVATE
SEWAGE DISPOSAL:	PRIVATE

LEGEND:	
---	EXISTING PROPERTY LINE
- - - -	ADJOINING PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
○	PROPOSED SILT FENCE
---	PROPOSED LIMIT OF DISTURBANCE

- MAP REFERENCES:**
- EXISTING CONDITIONS ON THIS PLAN TAKEN FROM MAP ENTITLED "SURVEY OF PROPERTY PREPARED FOR THE SHM ACQUISITIONS LLC" PREPARED BY LINK LAND SURVEYORS P.C., COMPLETED ON OCTOBER 4, 1989 AND LAST AMENDED ON DECEMBER 18, 2015.
 - EXISTING 1' CONTOUR INTERVAL TOPOGRAPHY COMPLETED BY LINK LAND SURVEYORS P.C. ON FEBRUARY 24, 2021.
 - ALL PROPOSED SITE PLAN FEATURES SHOWN ON THIS MAP ARE BY ARYEH SIEGEL, ARCHITECT. REFER TO PLANS ENTITLED "MINOR SITE PLAN AMENDMENT 712 KITCHAWAN ROAD", DATED JULY 14, 2017, LAST REVISED OCTOBER 19, 2020 BY ARYEH SIEGEL ARCHITECT.

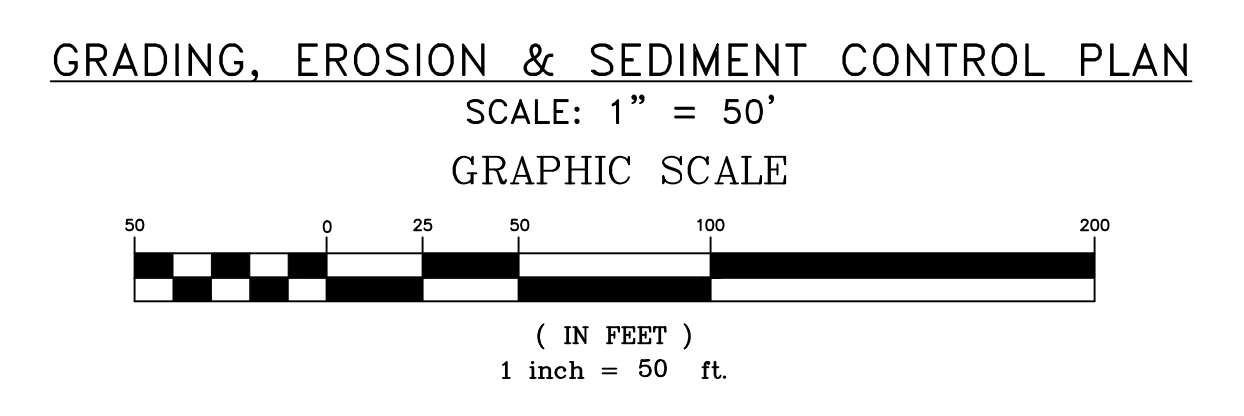


CONSTRUCTION SEQUENCING NOTES:

- AREA = ±0.14 AC.
- ESTABLISH THE LIMIT OF DISTURBANCE FOR PROPOSED CLEARING AND GRADING ASSOCIATED WITH THE PROPOSED BUILDING ADDITION.
 - CLEAR LOCATIONS FOR INSTALLATION OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES AND INSTALL PERIMETER SILT FENCE AS DEPICTED ON THIS PLAN.
 - PRIOR TO FURTHER CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER TO CONDUCT A PRE-CONSTRUCTION SITE ASSESSMENT TO VERIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS SHOWN ON THIS PLAN HAVE BEEN ADEQUATELY INSTALLED ENSURING OVERALL PREPAREDNESS OF THIS SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
 - DEMOLISH AND REMOVE EXISTING BUILDING WALLS AND FOUNDATION PER ARCHITECT'S PLAN.
 - INSTALL ADDITIONAL SILT FENCE OR FIBER ROLLS IN OTHER AREAS THAT BECAME APPARENT FOLLOWING CLEARING ACTIVITIES. DESIGNATE CONSTRUCTION STAGING AREA.
 - CONSTRUCT BUILDING ADDITION.
 - SEED AND MULCH LANDSCAPED GRASS AREAS, INSTALL LANDSCAPING AND REPAIR DRIVEWAY AS NEEDED.
 - REMOVE EROSION CONTROLS AS DIRECTED BY QUALIFIED PROFESSIONAL.

GENERAL NOTE: EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED AS NEEDED DURING CONSTRUCTION ACTIVITIES AND BASED ON THE MAINTENANCE SCHEDULE. ADDITIONAL EROSION CONTROL MEASURES BASED ON SITE CONDITIONS SHALL BE PROVIDED AS NECESSARY IN ORDER TO PROTECT ADJACENT PARCELS AND WATERS.

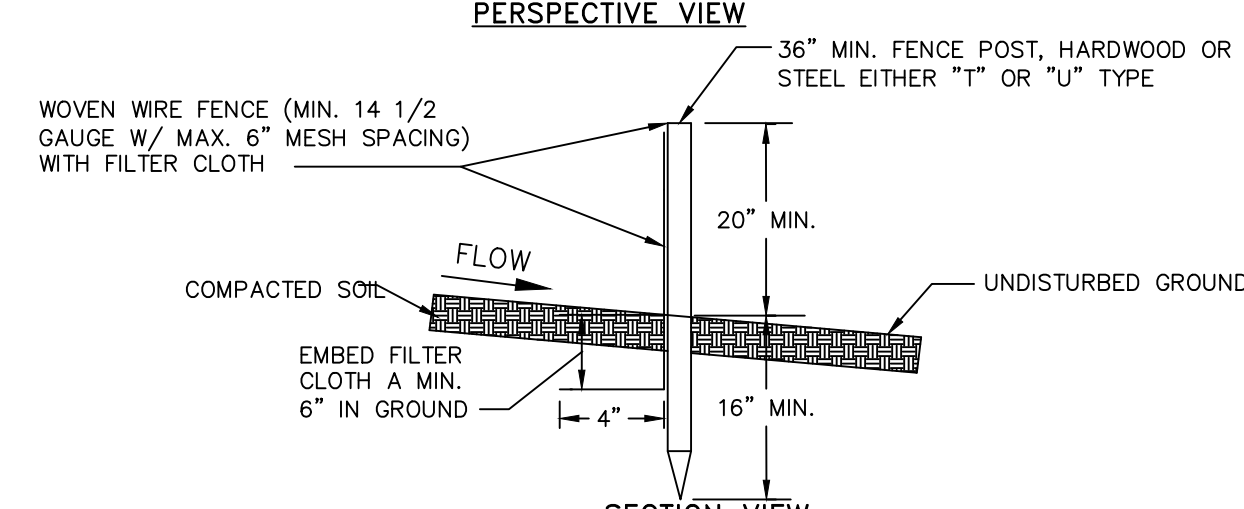
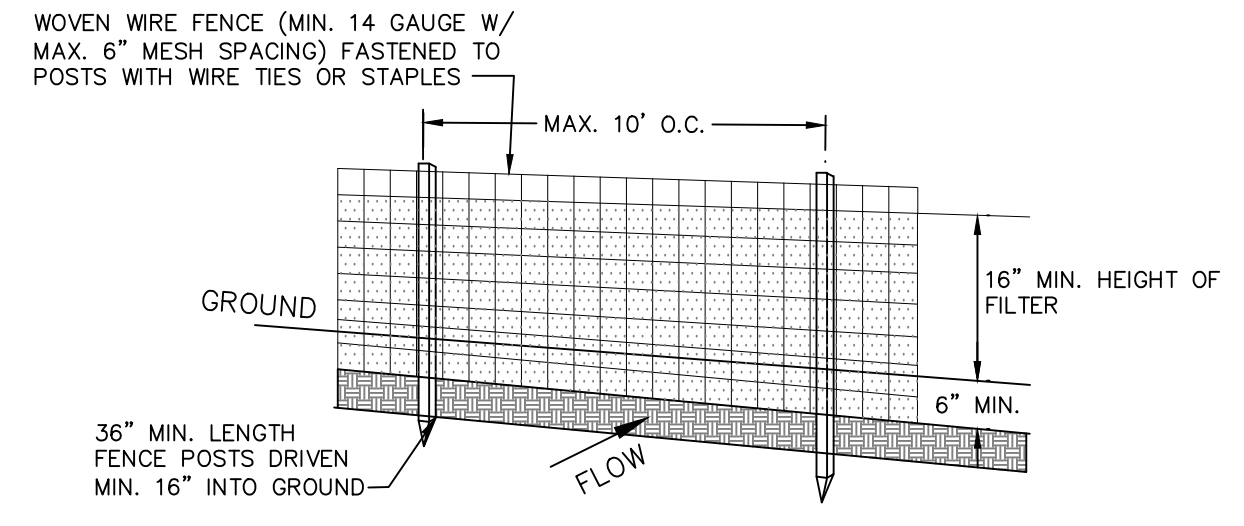
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REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN ST., BEACON, NEW YORK 12508
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
PH: 845-440-6926
F: 845-440-6637

GRADING, EROSION & SEDIMENT CONTROL PLAN
712 KITCHAWAN ROAD
712 KITCHAWAN ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK
TAX ID: 70.06-1-4

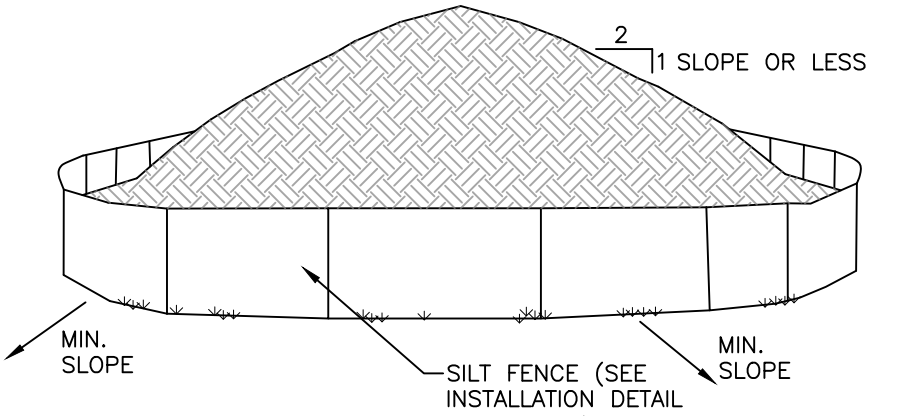
JOB #:	2020.004
DATE:	3/01/2021
SCALE:	AS NOTED
TITLE:	GESC-1
SHEET:	4 OF 5



NOTES:

1. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUAL.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

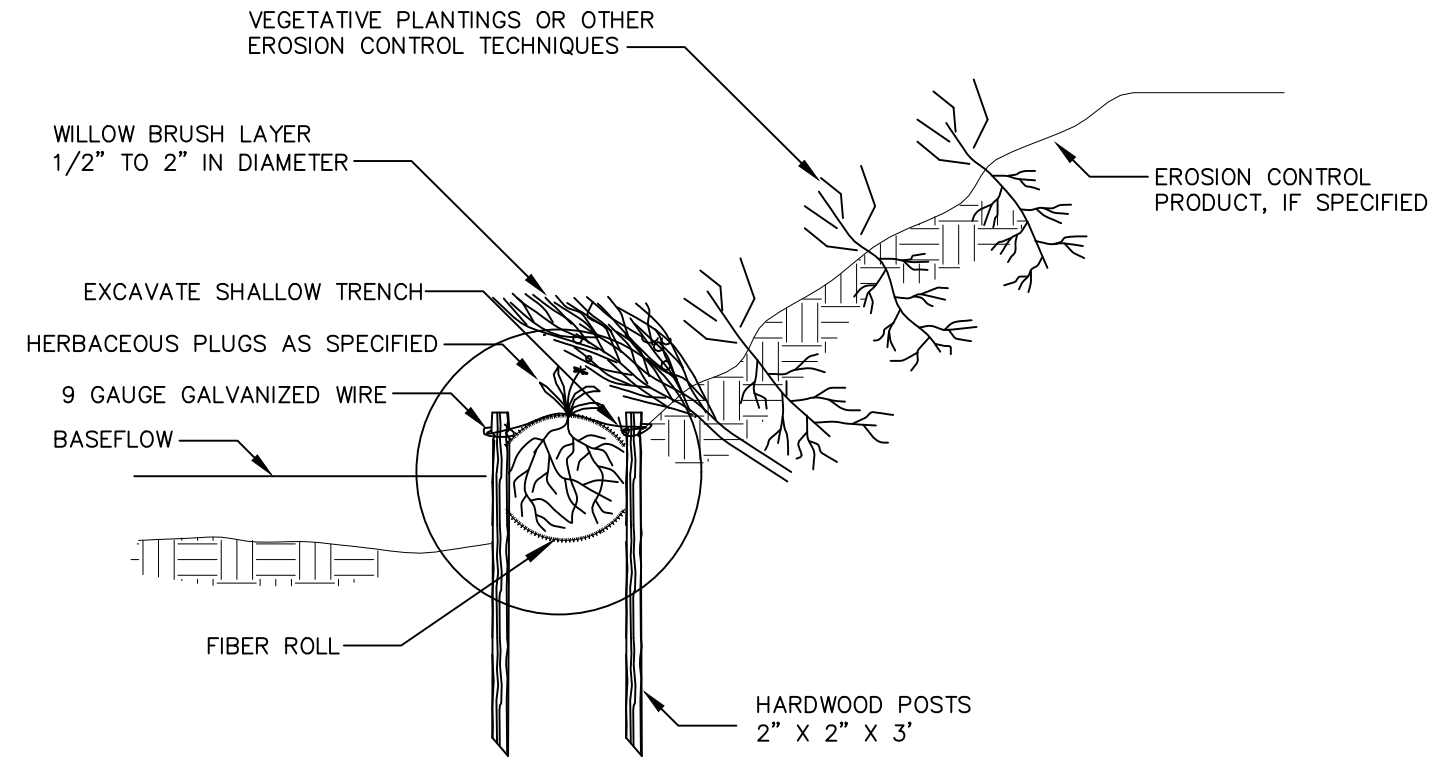
SILT FENCE DETAIL
NOT TO SCALE



NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE

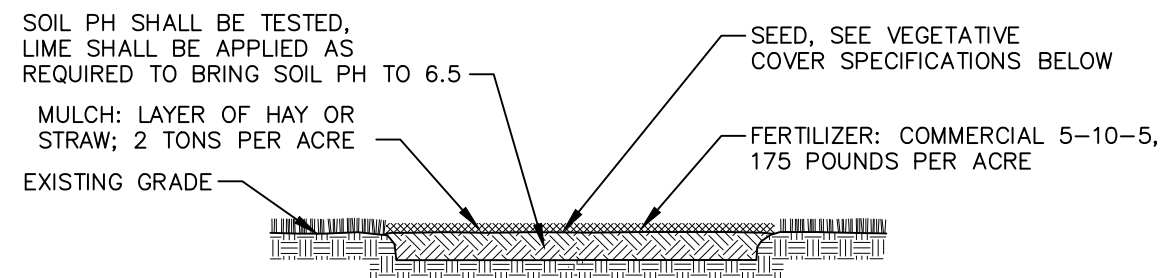


CROSS SECTION
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

1. EXCAVATE A SHALLOW TRENCH SLIGHTLY BELOW BASEFLOW OR A 4" TRENCH ON SLOPE CONTOURS.
2. PLACE THE ROLL IN THE TRENCH AND ANCHOR WITH 2" X 2" POSTS PLACED ON BOTH SIDES OF THE ROLL AND SPACED LATERALLY ON 2' TO 4' CENTERS. TRIM THE TOP OF THE POSTS EVEN WITH THE EDGE OF THE ROLL, IF NECESSARY.
3. NOTCH THE POSTS AND TIE TOGETHER, ACROSS THE ROLL, WITH 9 GAUGE GALVANIZED WIRE OR 1/8" DIAMETER BRAIDED NYLON ROPE.
4. PLACE SOIL EXCAVATED FROM THE TRENCH BEHIND THE ROLL AND HAND TAMP. PLANT WITH SUITABLE HERBACEOUS OR WOODY VEGETATION AS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENT. VEGETATION SHALL BE PLACED IMMEDIATELY ADJACENT TO THE ROLL TO PROMOTE ROOT GROWTH INTO THE FIBER. HERBACEOUS VEGETATION, IF SPECIFIED, SHALL BE PLANTED INTO THE FIBER ROLL.

FIBER ROLL DETAIL
NOT TO SCALE



- NOTES:**
1. TOPSOIL, SEED, MULCH, AND FERTILIZE DISTURBED SOIL AREAS THAT WILL BE LEFT EXPOSED FOR 14 DAYS OR MORE.
 2. SEED MIXTURE FOR USE ON LAWNS IN SUNNY AREAS:
65% KENTUCKY BLUE GRASS BLEND 114 POUNDS PER ACRE
20% PERENNIAL RYEGRASS 35 POUNDS PER ACRE
15% FINE FESCUE 26 POUNDS PER ACRE
175 POUNDS PER ACRE
 3. SEED MIXTURE FOR USE IN SHADY AREAS:
80% BLEND OF SHADE TOLERANT KENTUCKY BLUEGRASS 138 POUNDS PER ACRE
20% FINE FESCUE 37 POUNDS PER ACRE
175 POUNDS PER ACRE
 4. SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.
 5. TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20%. TOPSOIL SHALL HAVE NOT LESS THAN 20% FINE TEXTURED MATERIAL (PASSING THE NO. 200 SIEVE) AND NOT MORE THAN 15% CLAY.

TOPSOIL, SEED AND MULCH DETAIL
NOT TO SCALE

INSPECTION SCHEDULE & MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES

PERMANENT AND TEMPORARY VEGETATION:
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

EXISTING PAVED DRIVEWAY AND PARKING AREA:
INSPECT THE PAVED DRIVEWAY AND PARKING AREA EVERY DAY AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAVEMENT INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. KEEP PAVED AREA SWEEP CLEAN OF MUD, SEDIMENT AND DEBRIS AS NEEDED. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING.

SILT FENCE:
INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

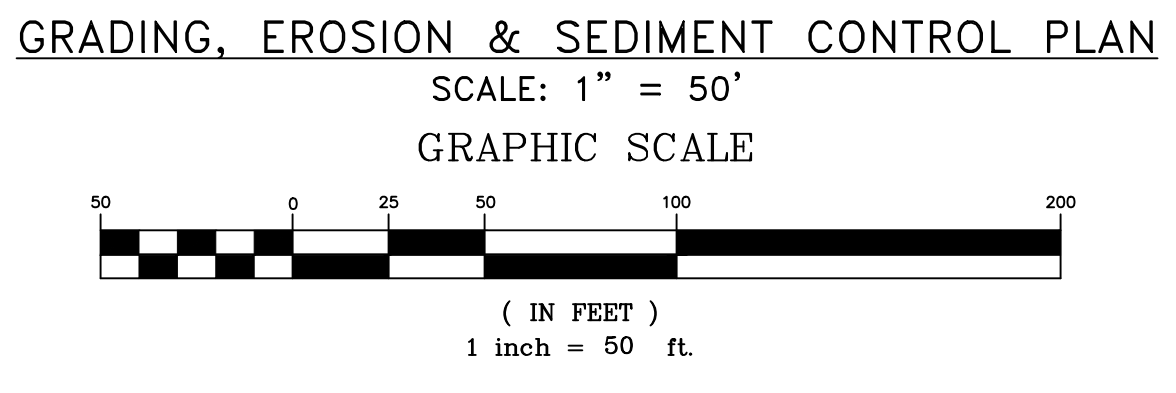
SOIL STOCKPILE:
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT WITH RAINFALL THAT EQUALS OR EXCEEDS 0.5 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO ONE-QUARTER THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORKS. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

EROSION AND SEDIMENT CONTROL NOTES

1. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE INSPECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE PROVIDED ON THIS SHEET. ALL EROSION CONTROL STRUCTURES SHALL BE REPAIRED AND MAINTAINED AS NECESSARY BY THE CONTRACTOR.
2. THE OWNER SHALL FILE A NOI WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES ALONG WITH AN EXECUTED MS4 SWPPP ACCEPTANCE FORM FROM THE TOWN TO OBTAIN A SPDES GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES GP-0-020-001 FROM THE NYSDEC. NO CONSTRUCTION ACTIVITY SHALL COMMENCE PRIOR TO THE DATE NOTED ON THE SWPPP ACKNOWLEDGEMENT LETTER FROM THE NYSDEC.
3. ALL STORMWATER MANAGEMENT STRUCTURES (E.G., SWALES, CULVERTS) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. SEDIMENT AND TRASH SHALL BE REMOVED, AS NECESSARY.
4. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE MEASURES SHALL MEET THE REQUIREMENTS OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
5. ANY PILE OF POTENTIALLY ERODIBLE MATERIAL TEMPORARILY STOCKPILED ON THE SITE DURING THE CONSTRUCTION PROCESS SHALL BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND SHALL BE PROPERLY PROTECTED FROM EROSION BY A SURROUNDING SILT FENCE.
6. PERMANENT SEEDING AREAS FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAIL AND SPECIFICATIONS ON THE DETAIL SHEET.
7. AREAS UNDERGOING CLEARING OR GRADING AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR A PERIOD OF 14 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN 14 DAYS, WITH INITIATION OF STABILIZATION STARTING BY THE END OF THE NEXT BUSINESS DAY.
8. ON-SITE DUST CONTROL SHALL BE ACCOMPLISHED BY STANDARD METHODS OF LIGHTLY WATERING ALL EXPOSED SOIL AND RAPIDLY STABILIZING THE REGRADED AREAS WITH TOPSOIL, LOAM AND/OR SEEDING. OTHER METHODS OF DUST CONTROL MAY BE IN THE FORM OF MINIMIZING SOIL DISTURBANCE, APPLICATION OF WIND BREAKS, AND HYDROSEEDING.
9. THE PROJECT ENGINEER SHALL BE NOTIFIED NO LESS THAN 48 HOURS PRIOR TO THE START OF ANY SITE WORK, AND BY SUCH NOTIFICATION, SHALL BE PROVIDED WITH THE NAME AND TELEPHONE NUMBER OF THE GENERAL CONTRACTOR RESPONSIBLE FOR SUCH WORK.
10. THE TOWN MAY INSPECT EROSION AND SEDIMENT CONTROL PRACTICES ON THE SITE DURING CONSTRUCTION AND RECOMMEND THAT THE CONTRACTOR INSTALL ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY TO PROTECT ANY UNDISTURBED AREAS OF THE SITE. ANY SUCH REQUESTS SHALL BE MADE DIRECTLY TO THE CONTRACTOR AND QUALIFIED PROFESSIONAL AND FOLLOWED UP WITH A WRITTEN NOTIFICATION TO THE DEVELOPER. IN ADDITION, THE TOWN SHALL BE CONSULTED ON ANY SPECIAL ADDITIONS OR DELETIONS OF EROSION CONTROL MEASURES WARRANTED BY CHANGING FIELD CONDITIONS. THE NOTICE OF INTENT (NOI) MAY NEED TO BE UPDATED AS A RESULT OF THE CHANGES.
11. THE CONTRACTOR/OWNER SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL, ON A MONTHLY BASIS, POST AT THE SITE A SUMMARY OF THE SITE INSPECTION ACTIVITIES IN A PUBLICLY ACCESSIBLE LOCATION.
12. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AKA SUMP PIT) TO FILTER WATER FOR PUMPING TO A SUITABLE LOCATION.
13. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED PER THE APPROVAL OF THE TOWN AND QUALIFIED PROFESSIONAL. UPON SIGN-OFF FROM THE QUALIFIED PROFESSIONAL, AND VERIFICATION FROM THE MS4, THE OWNER SHALL FILE A NOTICE OF TERMINATION (NOT) WITH THE NYSDEC FOR PROJECT CLOSE-OUT.

DRAWN BY: CMB				CHECKED BY: MAB			
REVISIONS:				REVISIONS:			
NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY



HUDSON LAND DESIGN

HUDSON LAND DESIGN
PROFESSIONAL ENGINEERING P.C.
174 MAIN ST., BEACON, NEW YORK 12508
13 CHAMBERS ST., NEWBURGH, NEW YORK 12550
PH: 845-440-6926
F: 845-440-6637

EROSION CONTROL DETAILS

712 KITCHAWAN ROAD

712 KITCHAWAN ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK
TAX ID: 70.06-1-4

JOB #:	2020-004
DATE:	3/01/2021
SCALE:	AS SHOWN
TITLE:	CD-1
SHEET:	5 OF 5