

ZONING DRAWINGS

SITE NUMBER: NY087

SITE NAME: JEFFERSON VALLEY

HILL BOULEVARD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NY

DATE: MARCH 7, 2022
REVISED: MAY 25, 2022
REVISED: JANUARY 11, 2023

SITE DATA:

PROPOSED WORK: PROPOSED EMERGENCY SERVICES AND PUBLIC UTILITY WIRELESS TELECOMMUNICATIONS FACILITY INCLUDING THE INSTALLATION OF A 130' MONOPOLE WITH ANTENNAS AND ASSOCIATED EQUIPMENT WITHIN A PROPOSED FENCED MULTI-CARRIER WIRELESS EQUIPMENT COMPOUND

SITE ADDRESS: HILL BOULEVARD
JEFFERSON VALLEY, NY 10535

PROPERTY OWNER: TOWN OF YORKTOWN
363 UNDERHILL AVE
YORKTOWN HEIGHTS, NY 10598

TOWER OWNER/APPLICANT: HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

LATITUDE:

LONGITUDE:

LAT/LONG TYPE: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

GROUND ELEVATION: ± 424.0' AMSL

TOP OF PROPOSED MONOPOLE: ± 554.0' AMSL

JURISDICTION: TOWN OF YORKTOWN

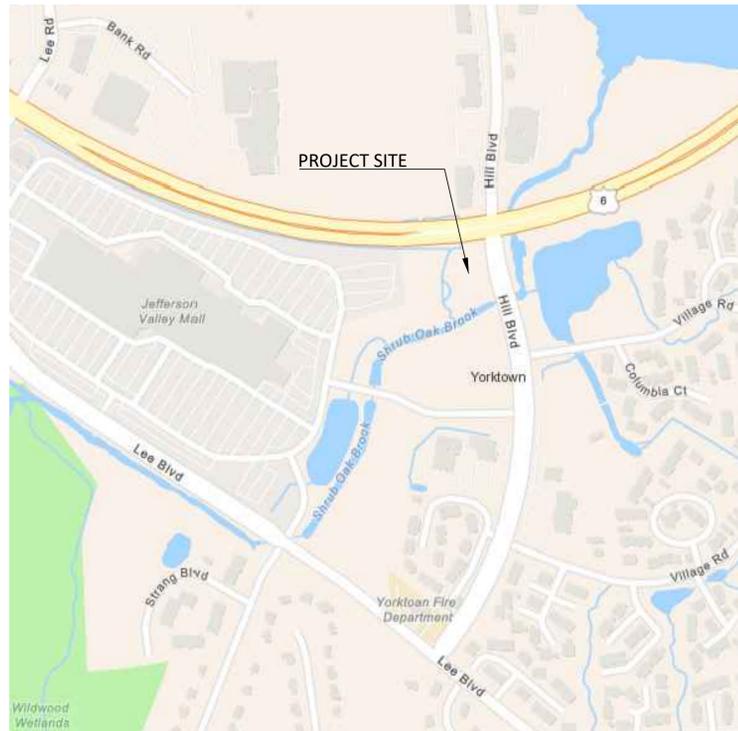
COUNTY: WESTCHESTER COUNTY

TAX PARCEL: 16.12-1-31

LOT SIZE: 51,264.82 (1.18 ACRES)

ZONING DISTRICT: O (OFFICES)

CURRENT USE: VACANT



LOCATION MAP
(N.T.S)



PROJECT CONTACTS:

SITE PLANNER & CIVIL ENGINEER



KELLARD SESSIONS CONSULTING
ENGINEERING & LANDSCAPE
ARCHITECTURE PLANNING, D.P.C.
500 MAIN STREET
ARMONK, N.Y. 10504

WWW.KELSES.COM

P: (914) 273-2323
F: (914) 273-2329

APPLICANT



HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810
P: (203) 297-6345

ATTORNEY:

SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD,
TARRYTOWN, NY 10591
(914) 333-0700

SURVEYOR:

NORTHEAST TOWER SURVEYING, INC.
140 WEST MAPLEMEAD ROAD
WILLIAMSVILLE, NY 14221
(716) 548-2894

KELLARD SESSIONS CONSULTING DRAWINGS:

ZD-1	COVER SHEET
ZD-2	EXISTING CONDITIONS AND REMOVALS
ZD-3	SITE LAYOUT PLAN
ZD-4	LEASE AREA PLAN
ZD-5	GRADING, UTILITY, AND SEDIMENT & EROSION CONTROL PLAN
ZD-6	MITIGATION & PLANTING PLAN
ZD-7	TOWER ELEVATION
ZD-8	DETAILS AND NOTES

GENERAL CONSTRUCTION NOTES:

- ALL SURVEY DATA TAKEN FROM SURVEY ENTITLED "SITE SURVEY 'NY-087 - JEFFERSON VALLEY'" PREPARED BY NORTHEAST TOWER SURVEYING, INC., LAST REVISED MARCH 15, 2022.
- ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
- ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
- ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST A "CODE 53 EXISTING UTILITY LOCATION" AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. THE CONTRACTOR SHALL NOT PERFORM ANY EXCAVATION UNTIL ALL UTILITIES ARE LOCATED AND MARKED.
- SUBSTRUCTURES AND THEIR ENCROACHMENTS BELOW GRADE, IF ANY, ARE NOT SHOWN. CONTRACTOR TO VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLIANCE SAFETY CODES AND STANDARDS AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- ALL FILL MATERIAL SHALL BE CLEAN FILL AS PER THE YORKTOWN TOWN CODE WHICH ONLY ALLOWS SOIL, GRAVEL, ROCK OR OTHER NATURAL MATERIAL TO BE DEPOSITED AS FILL. CONSTRUCTION AND DEMOLITION MATERIALS ARE NOT PERMITTED AS FILL.
- THE TOWN OF YORKTOWN PROHIBITS THE REUSE OR USE OF CONCRETE, BRICK, ROCK, GLASS AND ASPHALT OR ANY UNNATURAL MATERIAL TO BE USED AS FILL.
- THE CONTRACTOR SHALL MAINTAIN SAFE AND ADEQUATE VEHICLE AND PEDESTRIAN ACCESS TO ALL PROPERTIES AFFECTED BY THE WORK OF THIS PROJECT AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.



THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME: JEFFERSON VALLEY
SITE NUMBER: NY087
TAX PARCELS: 16.12-1-31

NOT FOR CONSTRUCTION

COVER SHEET	
HOMELAND TOWER SITE NY087 - JEFFERSON VALLEY	
TOWN OF YORKTOWN	WESTCHESTER COUNTY, NEW YORK
 CONSULTING ENGINEERING & LANDSCAPE ARCHITECTURE PLANNING, D.P.C. 500 MAIN STREET ARMONK, N.Y. 10504 P: (914) 273-2323 F: (914) 273-2329 WWW.KELSES.COM	
8. _____ 7. _____ 6. _____ 5. _____ 4. _____ 3. _____ 2. JANUARY 11, 2023 - RESPOND TO COMMENTS 1. MAY 25, 2022	ZD-1 ZD-8 PROJECT I.D.: YRHOMELAND800 DATE: MARCH 7, 2022
REVISIONS	

NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION

The freshwater wetland boundary as represented on these plans accurately depicts the limits of Freshwater Wetland A-4 as delineated by MICHAEL NOWICKI on OCTOBER, 2021.

DEC Staff: *Sarah Pawliczak* 11/29/21 Surveyor/Engineer:
Date Valid: 11/29/21 Expiration Date: 11/29/26 SEAL



Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for five (5) years unless existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). After five (5) years the boundary must be revalidated by DEC staff. Revalidation may include a new delineation and survey of the wetland boundary. Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary as depicted on this plan requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

CB
TG 429.69
36" INV. (S) 422.55
36" INV. (N) 421.21

US ROUTE 6 (SH 1309)
(WIDTH VARIES)

APPROXIMATE LOCATION OF PERMANENT DRAINAGE EASEMENT PEOPLE OF THE STATE OF NEW YORK PER MAP 13623 OF THE WESTCHESTER COUNTY CLERK'S OFFICE

LEGEND

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPERTY LINE
- NEIGHBORING PROPERTY LINE
- EDGE OF PAVEMENT
- EXISTING TRANSMISSION LINES
- EXISTING DRAINAGE EASEMENT
- EXISTING WETLAND LINE
- 100 YEAR FLOODPLAIN BOUNDARY
- APPROXIMATE LOCATION OF 500 YEAR FLOODPLAIN BOUNDARY
- EXISTING TREE TO BE REMOVED

NOTES:

1. ALL SURVEY DATA TAKEN FROM SURVEY ENTITLED "SITE SURVEY 'NY-087 - JEFFERSON VALLEY'" PREPARED BY NORTHEAST TOWER SURVEYING, INC., LAST REVISED MARCH 15, 2022.
2. HOMELAND TOWERS SITE NY087
3. ON-SITE WETLANDS WERE DELINEATED BY MICHAEL NOWICKI OF ECOLOGICAL SOLUTIONS, LLC. AND CONFIRMED BY SARAH PAWLICZAK OF THE NYSDEC ON OCTOBER 18, 2021. THE ENTIRE PARCEL IS EITHER WETLAND OR IS WITHIN THE 100-FOOT NYSDEC WETLAND ADJACENT AREA.
4. THE WETLAND BOUNDARY WAS CONFIRMED AS ACCURATE BY THE TOWN OF YORKTOWN WETLAND CONSULTANT ON MARCH 2, 2022.
5. THE SUBJECT PROPERTY IS LOCATED WITHIN THE 100-YEAR FEMA FLOODPLAIN ZONE AE WITH A BASE FLOOD ELEVATION OF 424 FEET AS SHOWN ON FEMA FIRM MAP, PANEL 36119C0033F, EFFECTIVE SEPTEMBER 28, 2007.

GENERAL SITE NOTES:

1. SUBJECT PROPERTY IS KNOWN AS SECTION 16.12, BLOCK 1, LOTS 31 AS SHOWN ON A TAX PARCEL MAP GENERATED BY WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEMS.
2. ZONING CLASSIFICATION: O, OFFICE DISTRICT
3. APPLICANT: HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CONNECTICUT 06810
- PROPERTY OWNER: TOWN OF YORKTOWN
363 UNDERHILL AVE
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4. THE PROPOSED USE IS FOR EMERGENCY SERVICE AND PUBLIC UTILITY WIRELESS TELECOMMUNICATIONS. THE SITE IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY AND, THEREFORE, POTABLE WATER SUPPLY AND SANITARY SEWER FACILITIES ARE NOT REQUIRED OR PROPOSED.
5. THE FACILITY SHALL BE VISITED ON AVERAGE, ONCE A MONTH FOR MAINTENANCE AND SHALL BE CONTINUOUSLY MONITORED FROM A REMOTE FACILITY 24 HOURS A DAY, 7 DAYS A WEEK.
6. THE APPLICANT'S EQUIPMENT IS REMOTELY OPERATED AND CONTROLLED AND, AS SUCH, IS NORMALLY UNMANNED. COMPUTERIZED EQUIPMENT AND FACILITY ALARM SYSTEMS CONTINUOUSLY MONITOR AN EXTENSIVE NUMBER OF OPERATIONAL AND SHELTER FUNCTIONS.
7. THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR ANY ASPECT OF THE USE.
8. THE PROPOSED FACILITY IS UNMANNED AND WILL NOT GENERATE SIGNIFICANT NOISE, DUST, FUMES, ODORS OR VIBRATIONS.
9. ANY LIGHTING PROPOSED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL BE CONTROLLED BY A MANUAL TIMER AND NOT SPILL ONTO ADJACENT PROPERTIES.
10. THERE SHALL BE NO TOWER MOUNTED LIGHTING.



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30' DRAINAGE EASEMENT PER MAP 14775 OF THE WESTCHESTER COUNTY CLERK'S OFFICE

TOWN OF YORKTOWN TAX PARCEL ID:
SECTION 16.12 BLOCK 1 LOT 31
LOT AREA: 1.18 AC.

TREE REMOVAL SUMMARY

1. 30" DBH NORWAY MAPLE; FAIR CONDITION
2. CLUSTER OF RED MAPLE TREES; TOTAL DBH 32"; POOR CONDITION; ADJACENT DEAD ASH TREE FALLEN INTO TREE CLUSTER
3. 24" DBH ASH; DEAD AND FALLEN (REMOVE FOR SAFETY REASONS)
4. 24" DBH ASH; DEAD AND FALLEN (REMOVE FOR SAFETY REASONS)
5. 14" RED MAPLE; POOR CONDITION; LEANING (REMOVE FOR SAFETY REASONS)

NOT FOR CONSTRUCTION

**EXISTING CONDITIONS AND REMOVALS PLAN
HOMELAND TOWER SITE NY087 - JEFFERSON VALLEY**

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

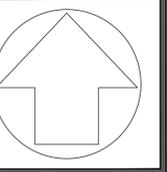


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8.		ZD-2
7.		ZD-8
6.		PROJECT I.D.:
5.		YRHOMELAND800
4.		DATE:
3.	1. JANUARY 11, 2023 - RESPOND TO COMMENTS	MARCH 7, 2022
2.	MAY 25, 2022	
1.		

Call 811 before you dig. THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME: JEFFERSON VALLEY NY087
SITE NUMBER: 16.12-1-31
TAX PARCELS:

US ROUTE 6 (SH 1309)
(WIDTH VARIES)

APPROXIMATE LOCATION OF PERMANENT DRAINAGE EASEMENT PEOPLE OF THE STATE OF NEW YORK PER MAP 13623 OF THE WESTCHESTER COUNTY CLERK'S OFFICE

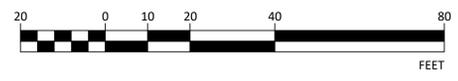
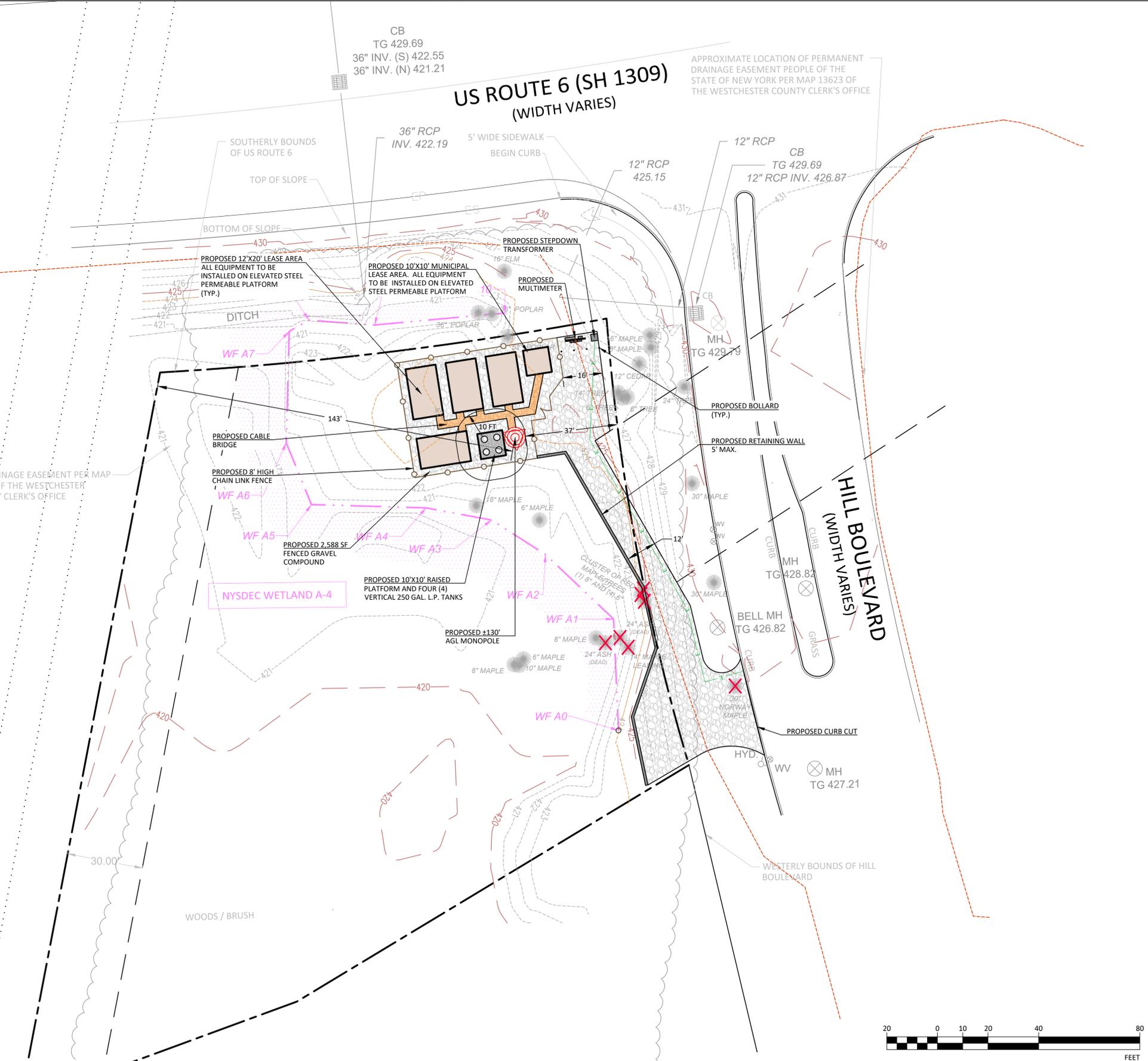
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- 100 YEAR FLOODPLAIN BOUNDARY
- APPROXIMATE LOCATION OF 500 YEAR FLOODPLAIN BOUNDARY
- EXISTING TREE TO BE REMOVED
- PROPOSED RETAINING WALL
- PROPOSED ELECTRIC SERVICE

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30' DRAINAGE EASEMENT PER MAP 14775 OF THE WESTCHESTER COUNTY CLERK'S OFFICE

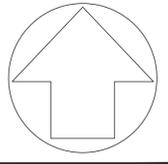


NOT FOR CONSTRUCTION

SITE LAYOUT PLAN
HOMELAND TOWER SITE NY087 -
JEFFERSON VALLEY

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

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8.		ZD-3
7.		
6.		ZD-8
5.		
4.		PROJECT I.D.:
3.		YRHOMELAND800
2.	JANUARY 11, 2023 - RESPOND TO COMMENTS	DATE:
1.	MAY 25, 2022	MARCH 7, 2022

Call 811 before you dig
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SITE NAME: JEFFERSON VALLEY
SITE NUMBER: NY087
TAX PARCELS: 16.12-1-31

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW

US ROUTE 6 (SH 1309)
(WIDTH VARIES)

APPROXIMATE LOCATION OF PERMANENT DRAINAGE EASEMENT PEOPLE OF THE STATE OF NEW YORK PER MAP 13623 OF THE WESTCHESTER COUNTY CLERK'S OFFICE

LEGEND

- EXISTING 1" CONTOUR
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- PROPERTY LINE
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- 100 YEAR FLOODPLAIN BOUNDARY
- APPROXIMATE LOCATION OF 500 YEAR FLOODPLAIN BOUNDARY
- PROPOSED RETAINING WALL
- PROPOSED ELECTRIC SERVICE
- PROPOSED LEASE AREA ±11,317 SF

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30' DRAINAGE EASEMENT PER MAP 14775 OF THE WESTCHESTER COUNTY CLERK'S OFFICE

NYSDEC WETLAND A-4

HILL BOULEVARD
(WIDTH VARIES)



NOT FOR CONSTRUCTION

LEASE AREA PLAN

HOMELAND TOWER SITE NY087 - JEFFERSON VALLEY

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

KELLARD SESSIONS

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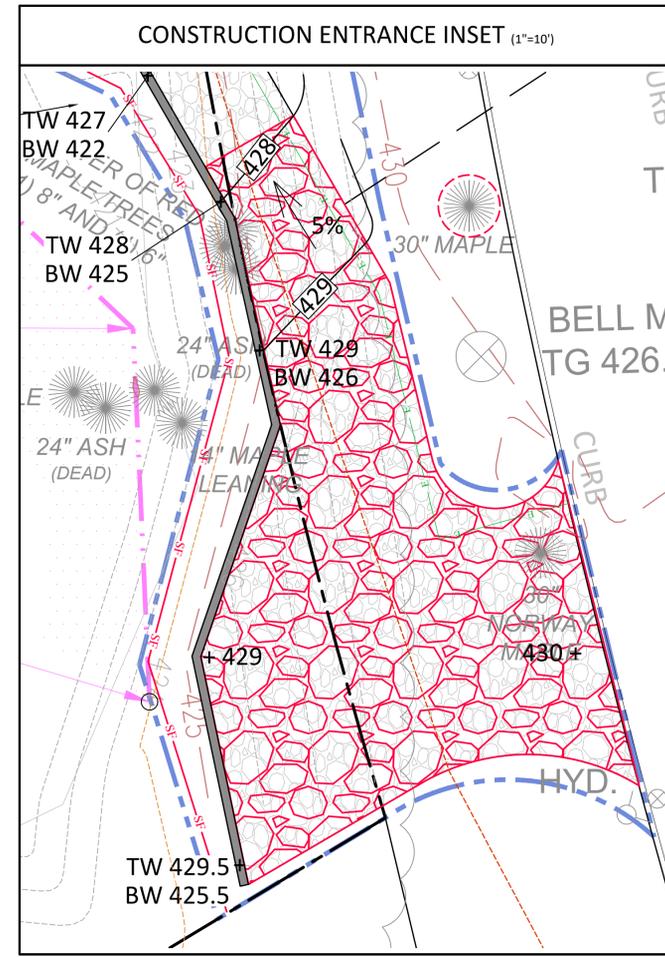
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US ROUTE 6 (SH 1309)
(WIDTH VARIES)

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LEGEND

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- APPROXIMATE LOCATION OF 500 YEAR FLOODPLAIN BOUNDARY
- EXISTING TREE TO BE PROTECTED
- PROPOSED RETAINING WALL
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED LIMIT OF DISTURBANCE: ± 12,400 SF (0.28 AC)
- PROPOSED SILT FENCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SOIL STOCKPILE

FLOODPLAIN CUT/FILL SUMMARY

CUT = 195.57 CU YD
FILL = 82.72 CU YD
NET CUT WITHIN FLOODPLAIN = 112.84 CU YD



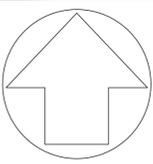
NOT FOR CONSTRUCTION

GRADING, UTILITY AND SEDIMENT & EROSION CONTROLS PLAN
HOMELAND TOWER SITE NY087 - JEFFERSON VALLEY

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK



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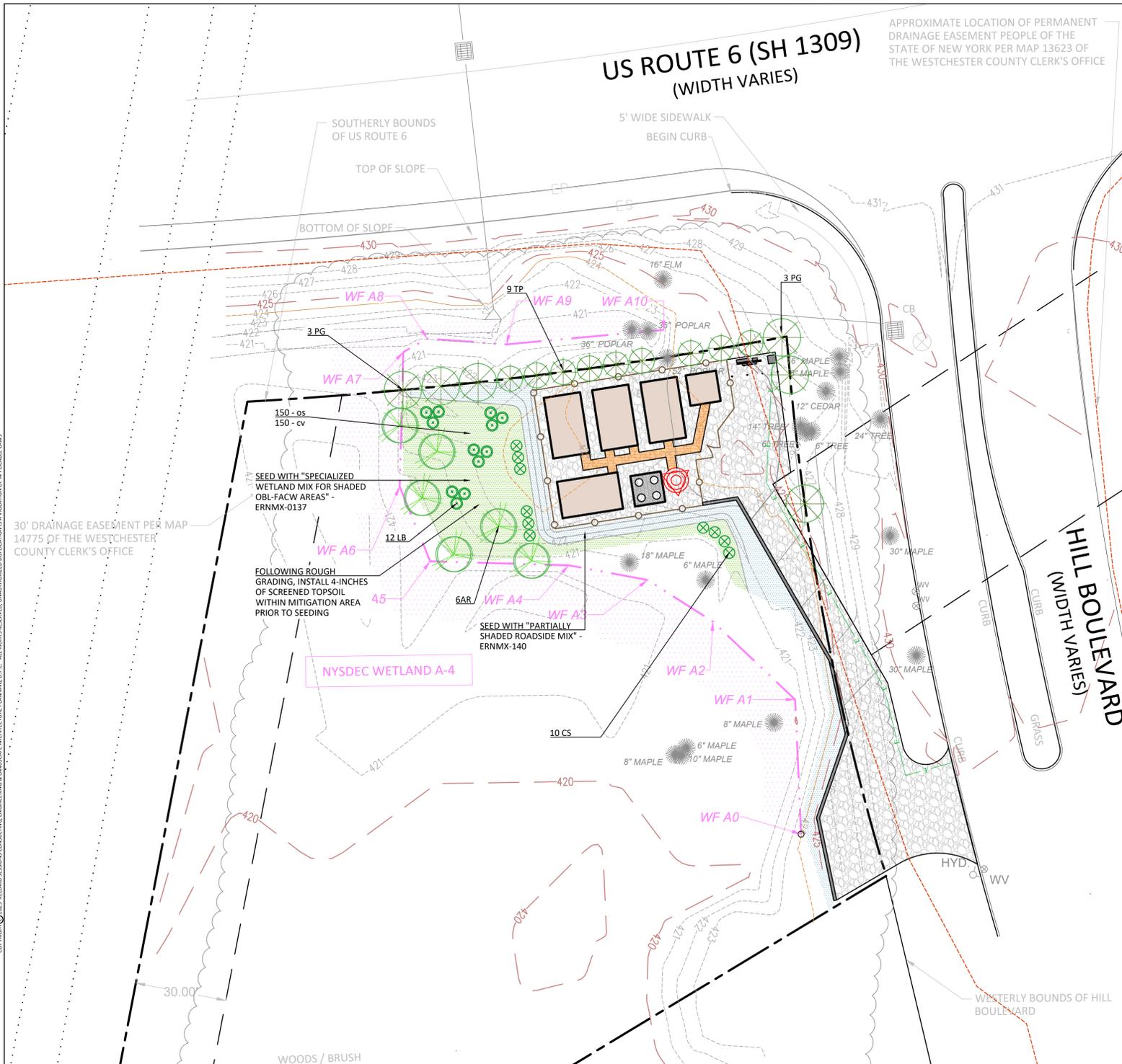
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US ROUTE 6 (SH 1309) (WIDTH VARIES)

APPROXIMATE LOCATION OF PERMANENT DRAINAGE EASEMENT PEOPLE OF THE STATE OF NEW YORK PER MAP 13623 OF THE WESTCHESTER COUNTY CLERK'S OFFICE

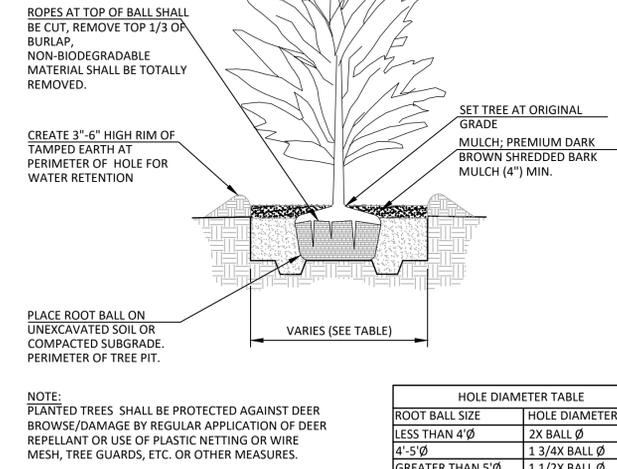


PLANTING SCHEDULE

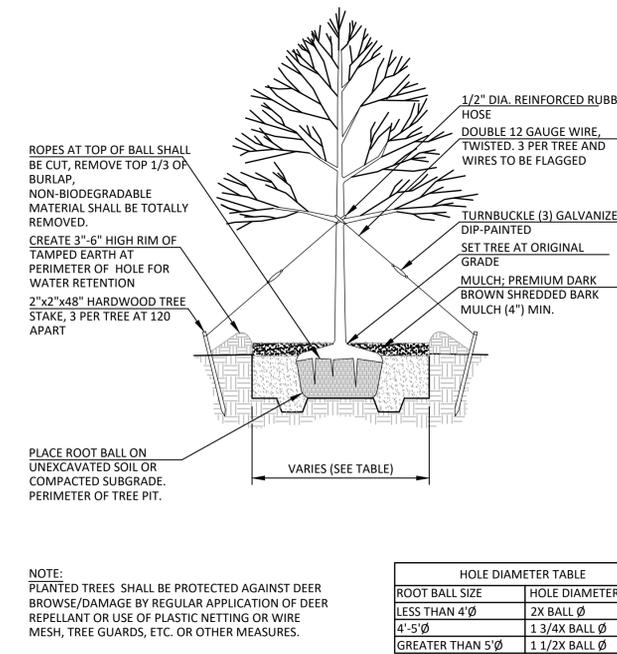
TREES	Qty.	Size
AR - Red Maple	6	3-3.5" cal.
PG - White Spruce	6	7-8" height
TP - Green Giants	9	6-7" height
SHRUBS		
LB - Spice Bush	12	2'-4" height
CS - Red Twig Dogwood	10	2'-4" height
PERENNIALS		
os - Cinnamon Fern	150	1 gal.
cv - Fox Sedge	150	1 gal.
SEED MIX		
Specialized Wetland Mix for Shade - ERNMX-137	2,400 s.f. area/ 2lbs. seed	
Partially Shaded Area Roadside Mix - ERNMX-140	1,650 s.f. area/ 2 lbs. seed	
Tree Placement Ratio		
*Total tree caliper loss due to tree removal:	62-inches	
Total tree caliper proposed:	78-inches	

* TREE CALIPER LOSS DOES NOT INCLUDE DEAD OR DANGEROUS TREES TO BE REMOVED OUTSIDE OF THE DISTURBANCE LIMITS.

EVERGREEN TREE PLANTING DETAIL (N.T.S.)



DECIDUOUS TREE PLANTING DETAIL (N.T.S.)



NOTES:

- ALL DECIDUOUS TREES SHALL BE OUTFITTED WITH BUCK RUB PROTECTION/TRUNK GUARDS FOR TWO (2) GROWING SEASONS.
- DEER FENCING SHALL BE ESTABLISHED AROUND THE MITIGATION AREA AND SHALL REMAIN IN PLACE/MAINTAINED FOR TWO (2) GROWING SEASONS.
- FOR THE FIRST TWO (2) GROWING SEASONS, EVERGREEN TREES SHALL BE TREATED WITH DEER REPELLANT BY A LICENSED APPLICATOR AND PER MANUFACTURERS RECOMMENDATIONS.
- APPLICANT RESPONSIBLE FOR IRRIGATION OF PLANT MATERIAL FOR THE 1ST GROWING SEASON.
- PLANT SUBSTITUTIONS, IF ANY, MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO INSTALLATION.
- ALL TREES AND SHRUBS SHALL BE MULCHED; ALL SEEDED AREAS SHALL BE MULCHED WITH WEED-FREE HAY MULCH.
- BIODEGRADABLE EROSION CONTROL MATTS SHALL BE INSTALLED ON SLOPES EXCEEDING 1V:3'H FOLLOWING SEEDING.

Call 811 before you dig! THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME: JEFFERSON VALLEY
SITE NUMBER: NY087
TAX PARCELS: 16.12-1-31

LEGEND

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPERTY LINE
- NEIGHBORING PROPERTY LINE
- EDGE OF PAVEMENT
- EXISTING DRAINAGE EASEMENT
- EXISTING NYSDEC AND LOCAL WETLAND LINE
- 100 YEAR FLOODPLAIN BOUNDARY
- APPROXIMATE LOCATION OF 500 YEAR FLOODPLAIN BOUNDARY
- EXISTING TREE
- PROPOSED RETAINING WALL
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED SEED MIX AREAS
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUB



NOT FOR CONSTRUCTION

MITIGATION & PLANTING PLAN HOMELAND TOWER SITE NY087 - JEFFERSON VALLEY

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

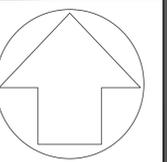
KELLARD SESSIONS

CONSULTING ENGINEERING & LANDSCAPE ARCHITECTURE PLANNING, D.P.C.

500 MAIN STREET ARMONK, N.Y. 10504

P: (914) 273-2323 F: (914) 273-2329

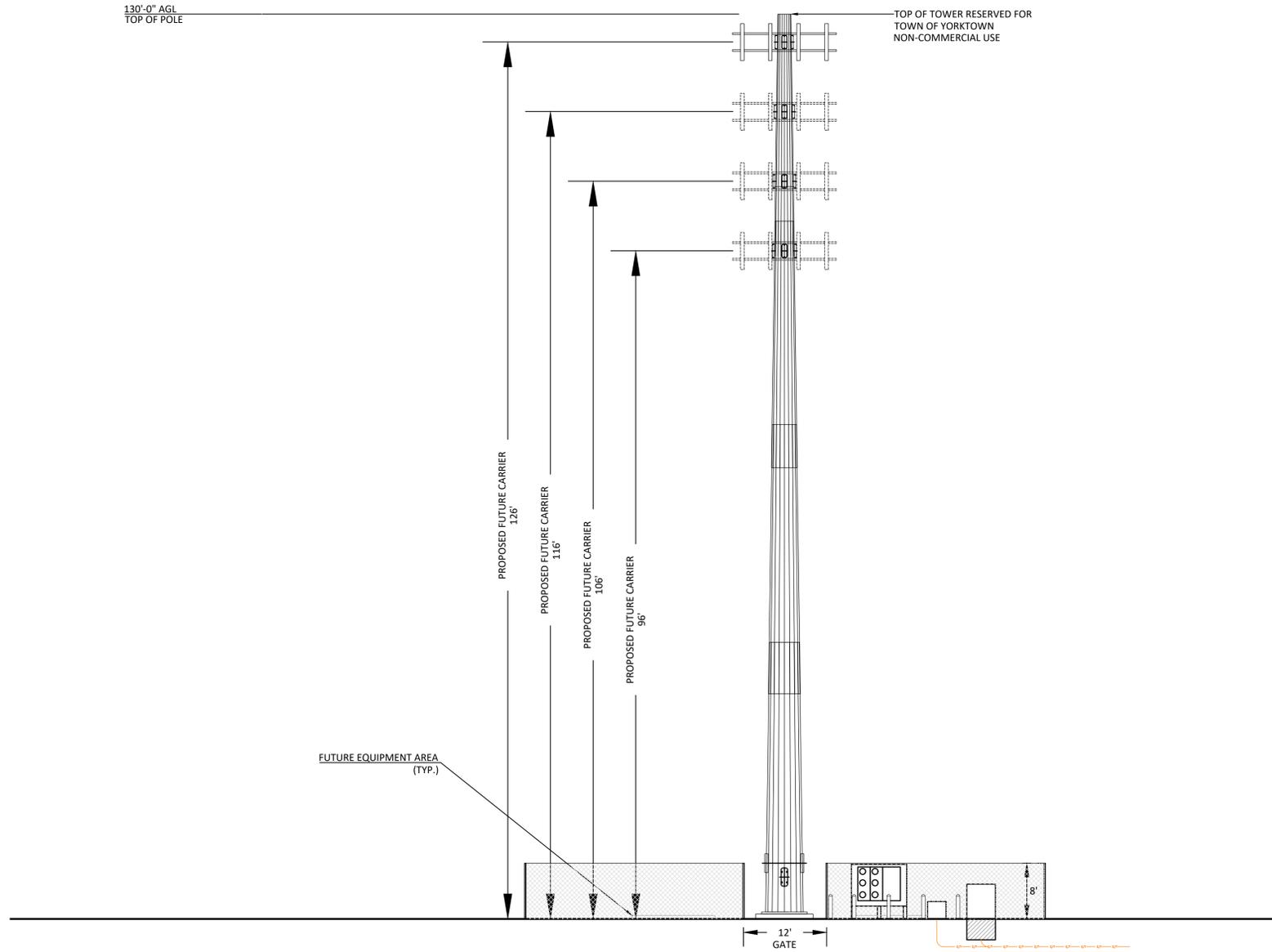
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2.	JANUARY 11, 2023 - RESPOND TO COMMENTS
1.	MAY 25, 2022

ZD-6
ZD-8
PROJECT I.D.: YRHOMELAND800
DATE: MARCH 7, 2022

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NOT FOR CONSTRUCTION

TOWER ELEVATION
HOMELAND TOWER SITE NY087 -
JEFFERSON VALLEY

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

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&
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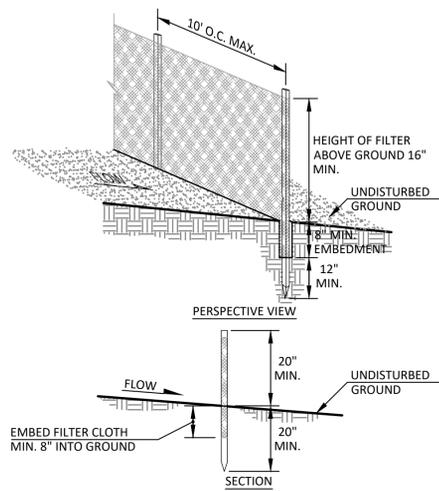
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6.		
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2.	JANUARY 11, 2023 - RESPOND TO COMMENTS	PROJECT I.D.: YRHOMELAND800
1.	MAY 25, 2022	DATE: MARCH 7, 2022
REVISIONS		

Call 811 before you dig
THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME: JEFFERSON VALLEY
SITE NUMBER: NY087
TAX PARCELS: 16.12-1-31

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW

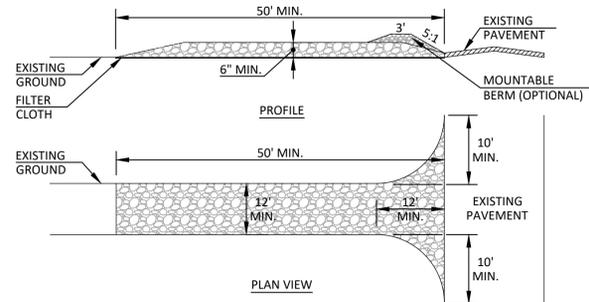
SILT FENCE DETAIL (N.T.S.)



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION. POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

EROSION AND SEDIMENT CONTROL PLAN

ALL PROPOSED SOIL EROSION AND SEDIMENT CONTROL PRACTICES HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING PUBLICATIONS:

- NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION
- TOWN CODE OF YORKTOWN CHAPTER 248 "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL"

THE PRIMARY AIM OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN IS TO REDUCE SOIL EROSION FROM AREAS STRIPPED OF VEGETATION DURING CONSTRUCTION AND TO PREVENT SILT FROM REACHING THE DRAINAGE STRUCTURES, WETLAND SYSTEMS, WATERCOURSES, WATERBODIES AND DOWNSTREAM PROPERTIES. THE SEDIMENT AND EROSION CONTROL PLAN IS AN INTEGRAL COMPONENT OF THE CONSTRUCTION PHASING AND PROJECT SEQUENCING AND WILL BE IMPLEMENTED TO CONTROL SEDIMENT AND RE-ESTABLISH VEGETATION AS SOON AS PRACTICABLE. THE PLAN WILL BE IMPLEMENTED PRIOR TO THE COMMENCEMENT OF ANY EARTHMOVING ACTIVITIES AND WILL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL DEVICES INCLUDE THE PLANNED EROSION CONTROL PRACTICES OUTLINED BELOW. MAINTENANCE PROCEDURES FOR EACH EROSION CONTROL PRACTICE ARE ALSO PROVIDED HEREIN. THE OWNER OR OPERATOR MUST ENSURE THAT ALL EROSION AND SEDIMENT CONTROL PRACTICES IDENTIFIED HEREIN ARE MAINTAINED IN EFFECTIVE OPERATING CONDITION AT ALL TIMES.

STABILIZED CONSTRUCTION ENTRANCE

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE PROJECT ENTRANCE AS INDICATED ON THE PLANS. THE PURPOSE OF THE STABILIZED CONSTRUCTION ENTRANCE IS TO PREVENT VEHICLES LEAVING THE SITE FROM TRACKING SEDIMENT, MUD OR ANY OTHER CONSTRUCTION-RELATED MATERIALS FROM THE SITE ONTO OFF SITE ROADS.

MAINTENANCE/INSPECTION

STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSPECTED A MINIMUM OF ONCE EVERY SEVEN (7) CALENDAR DAYS. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCE IN A MANNER WHICH PREVENTS OR SIGNIFICANTLY REDUCES THE TRACKING OF SEDIMENT/SOIL OFF SITE. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER EACH RAIN EVENT FOR DISPLACEMENT OR LOSS OF AGGREGATE. THE CONTRACTOR SHALL TOP-DRESS THE CONSTRUCTION ENTRANCE WHEN DISPLACEMENT/LOSS OF AGGREGATE OCCURS, OR IF THE AGGREGATE BECOMES CLOGGED OR SILTED TO THE EXTENT THAT THE ENTRANCE CAN NO LONGER PERFORM ITS INTENDED FUNCTION. THE CONTRACTOR SHALL INSPECT THE VICINITY OF THE CONSTRUCTION ENTRANCE SEVERAL TIMES A DAY AND IMMEDIATELY REMOVE ANY SEDIMENT DROPPED OR WASHED ONTO OFF SITE ROADS.

SILT FENCE

SILT FENCE (GEOTEXTILE FILTER CLOTH) SHALL BE PLACED IN LOCATIONS DEPICTED ON THE APPROVED PLANS. THE PURPOSE OF THE SILT FENCE IS TO REDUCE THE VELOCITY OF SEDIMENT-LADEN STORMWATER FROM SMALL DRAINAGE AREAS AND TO INTERCEPT THE TRANSPORTED SEDIMENT LOAD. IN GENERAL, SILT FENCE SHALL BE USED AT THE DOWN-GRADIENT PERIMETER OF DISTURBED AREAS, TOE OF SLOPES OR INTERMEDIATELY WITHIN SLOPES WHERE OBVIOUS CHANNEL CONCENTRATION OF STORMWATER IS NOT PRESENT. SILT FENCE SHALL ALWAYS BE INSTALLED PARALLEL TO THE CONTOURS IN ORDER TO PREVENT CONCENTRATED FLOWS FROM DEVELOPING ALONG THE SILT FENCE.

MAINTENANCE/INSPECTION

SILT FENCING SHALL BE INSPECTED A MINIMUM OF ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL INCLUDE ENSURING THAT THE FENCE MATERIAL IS TIGHTLY SECURED TO THE WOOD POSTS. IN ADDITION, OVERLAPPING FILTER FABRIC SHALL BE SECURE AND THE FABRIC SHALL BE MAINTAINED A MINIMUM OF SIX (6) INCHES BELOW GRADE. IN THE EVENT THAT ANY "BULGES" DEVELOP IN THE FENCE, THAT SECTION OF FENCE SHALL BE REPLACED IMMEDIATELY WITH A NEW FENCE SECTION. ANY VISIBLE SEDIMENT BUILD-UP AGAINST THE FENCE SHALL BE REMOVED IMMEDIATELY AND DEPOSITED ON-SITE A MINIMUM OF 100 FEET OUTSIDE OF ANY REGULATED WETLAND AREA, WATERCOURSE OR WATERBODY.

SOIL/MATERIAL STOCKPILING

ALL SOIL/MATERIAL STRIPPED FROM THE CONSTRUCTION AREA DURING GRUBBING AND GRADING SHALL BE STOCKPILED WITHIN THE VICINITY OF THE LOCATIONS ILLUSTRATED ON THE APPROVED PLANS, OR IN PRACTICAL LOCATIONS ON-SITE.

MAINTENANCE/INSPECTION

ALL STOCKPILES SHALL BE INSPECTED A MINIMUM OF ONCE EVERY SEVEN (7) CALENDAR DAYS FOR SIGNS OF EROSION OR PROBLEMS WITH SEED ESTABLISHMENT. SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY VEGETATING THE STOCKPILE WITH A RAPIDLY-GERMINATING GRASS SEED AND SURROUNDED WITH SILT FENCE. IF THE PROJECT IS ONGOING DURING THE NON-GROWING SEASON, THE STOCKPILES SHALL BE PROTECTED WITH A TARPULIN COVERING THE ENTIRE STOCKPILE.

GENERAL LAND GRADING

THE APPLICANT/DEVELOPER OR THEIR REPRESENTATIVES SHALL BE ON-SITE AT ALL TIMES WHEN CONSTRUCTION OR GRADING ACTIVITY TAKES PLACE AND SHALL INSPECT AND DOCUMENT THE EFFECTIVENESS OF ALL SEDIMENT AND EROSION CONTROL PRACTICES.

THE INTENT OF THE EROSION CONTROLS IS TO CONTROL ALL DISTURBED AREAS, SUCH THAT SOILS ARE PROTECTED FROM EROSION BY TEMPORARY METHODS AND, ULTIMATELY BY PERMANENT VEGETATION.

DUST CONTROL

WHERE VEGETATIVE OR MULCH COVER IS NOT PRACTICAL IN DISTURBED AREAS OF THE SITE, DUST SHALL BE CONTROLLED BY THE USE OF WATER SPRINKLING. THE SURFACE SHALL BE SPRAYED UNTIL WET. DUST CONTROL SHALL CONTINUE UNTIL SUCH TIME AS THE ENTIRE SITE IS ADEQUATELY STABILIZED WITH PERMANENT VEGETATIVE COVER.

POLLUTION PREVENTION MEASURES FOR CONSTRUCTION RELATED ACTIVITIES

POLLUTION PREVENTION PRACTICES FOR PREVENTING LITTER, CONSTRUCTION CHEMICALS (IF APPLICABLE) AND CONSTRUCTION DEBRIS FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGE INCLUDE DAILY PICKUP OF CONSTRUCTION DEBRIS, INSPECTION, AND PHYSICAL CONTROLS SUCH AS SILT FENCING. INSPECTIONS WILL ALSO BE CONDUCTED TO INSURE THAT DUST CONTROL MEASURES ARE UTILIZED AS NECESSARY. DURING CONSTRUCTION, MAINTENANCE, CONSTRUCTION AND WASTE MATERIALS WILL BE STORED WITHIN SUITABLE AREAS/DUMPSTERS, AS APPROPRIATE, TO MINIMIZE THE EXPOSURE OF THE MATERIALS TO STORMWATER AND SPILL PREVENTION. ALL MAINTENANCE AND CONSTRUCTION WASTE WILL BE DISPOSED OF IN A SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.

ON-SITE SOILS

- CADEN MUCK, 0-2% SLOPES (CE); HSG B/D
- UDORHENTS, WET SUBSTRATUM (UC); NO HSG

CONSTRUCTION PHASING PLAN

- OBTAIN ALL NECESSARY PERMITS AND CONDUCT A PRE-CONSTRUCTION MEETING WITH TOWN OFFICIALS, IF REQUESTED BY THE TOWN
- INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROLS
- STAKE OUT THE LIMITS OF DISTURBANCE AND MARK ALL TREES TO BE REMOVED PER THE TREE REMOVAL PLAN.
- REMOVE TREES, STRIP AND GRUB THE SITE
- INSTALL RETAINING WALLS; ROUGH GRADE SITE
- INSTALL CONCRETE TOWER FOUNDATION AND FOUNDATIONS FOR ELEVATED EQUIPMENT PLATFORMS
- INSTALL UNDERGROUND UTILITIES
- FINAL GRADE THE SITE; INSTALL GRAVEL WITHIN COMPOUND AREA
- INSTALL MONOPOLE TOWER, ELEVATED EQUIPMENT PLATFORMS, AND FENCING/GATES
- INSTALL WETLAND MITIGATION, TREES, AND LANDSCAPING
- REMOVE TEMPORARY EROSION CONTROLS WHEN SITE HAS ACHIEVED FINAL STABILIZATION

CONSTRUCTION FENCE DETAIL (N.T.S.)



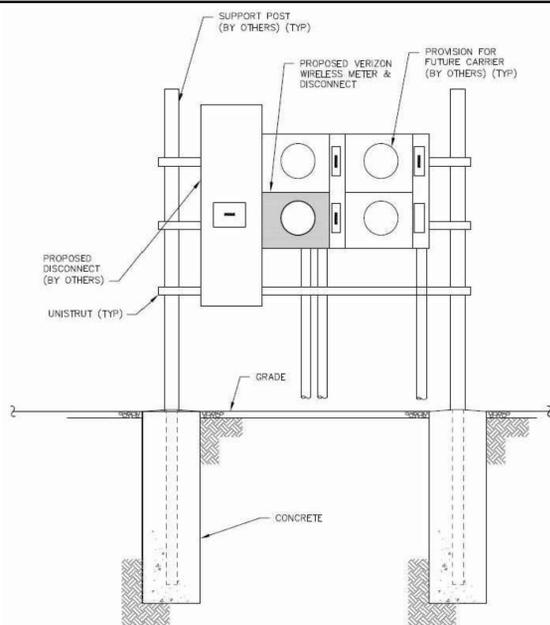
INSTALLATION INSTRUCTIONS

- T-POST SHOULD BE PLACED A MAXIMUM OF 10 FEET APART
- VERTICAL STRAND OF FENCE SHOULD BE SANDWICHED BETWEEN FLAT SIDE OF T-POST AND 1"x2" WOOD SLAT
- WIRE TIES OR PLASTIC CABLE TIES CAN THEN BE USED TO SECURE THE SLAT AND FENCE STRAND TO THE T-POST.

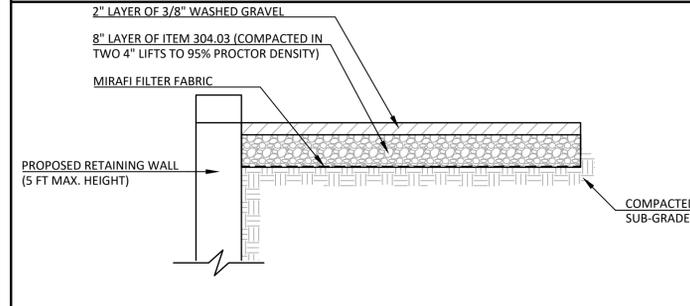
SPICING INSTRUCTIONS

- TO CONNECT FENCE SECTIONS, OVERLAP 2 STRAND SECTION FROM EACH END AND WEAVE A 1"x2" SLAT THROUGH THE OVERLAPPED STRANDS
- FENCE SHOULD BE TENSIONED BY HAND ONLY. DO NOT USE MECHANICAL TENSIONERS.

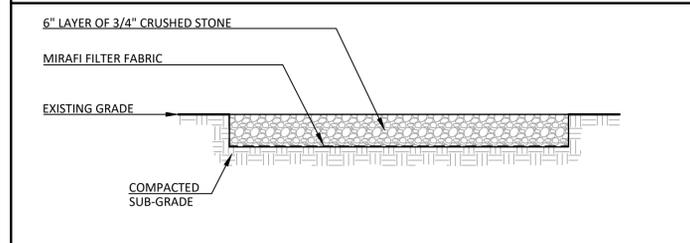
METER AND DISCONNECT (N.T.S.)



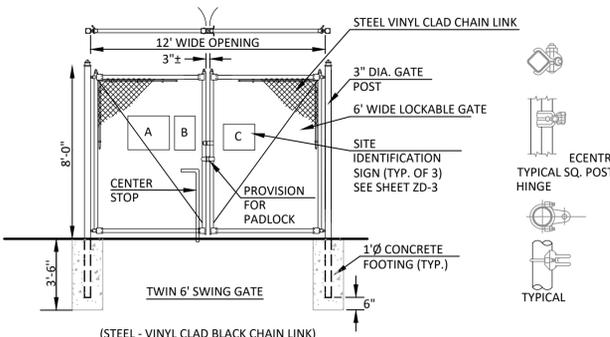
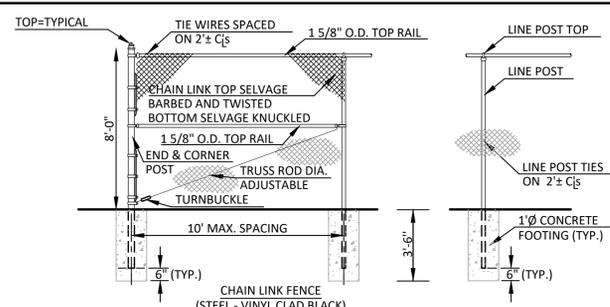
GRAVEL DRIVEWAY DETAIL (N.T.S.)



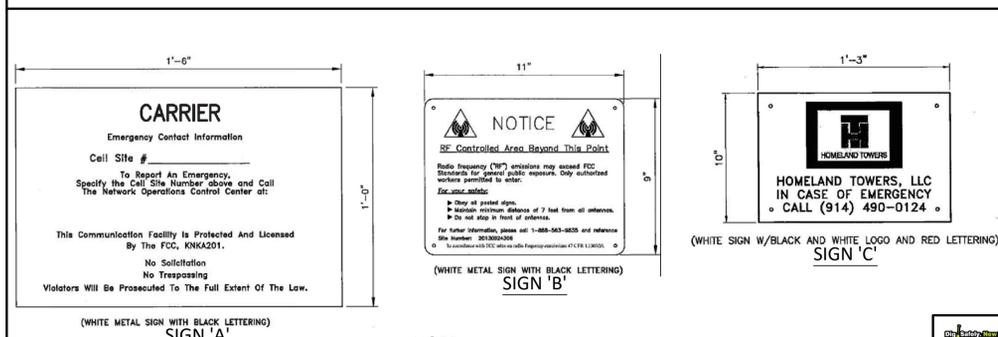
COMPOUND AREA DETAIL (N.T.S.)



CHAIN LINK FENCE DETAIL (N.T.S.)

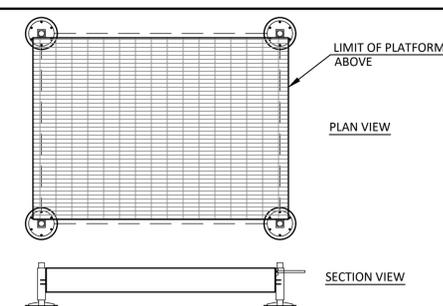


CHAIN LINK FENCE GATE SIGNS



- NOTE:
- SEE "CHAIN LINK FENCE WITH GATE DETAIL" FOR SIGN POSITIONING.

TYPICAL EQUIPMENT PLATFORM DETAIL (N.T.S.)



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SITE NAME: JEFFERSON VALLEY
SITE NUMBER: NY087
TAX PARCELS: 16.12-1-31

NOT FOR CONSTRUCTION

DETAILS AND NOTES

HOMELAND TOWER SITE NY087 - JEFFERSON VALLEY

TOWN OF YORKTOWN		WESTCHESTER COUNTY, NEW YORK	
CONSULTING ENGINEERING & LANDSCAPE ARCHITECTURE PLANNING, D.P.C. 500 MAIN STREET ARMONK, N.Y. 10504 P: (914) 273-2323 F: (914) 273-2329 WWW.KELSES.COM		PROJECT I.D.: YR087/MLAND800 DATE: MARCH 7, 2022	
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