

# FIELD HOME

YORKTOWN, NEW YORK



## REPORTS: HISTORIC ANALYSIS, CONDITIONS & ADAPTIVE REUSE

Prepared for Toll Brothers, Inc.  
42 Old Ridgebury Road, Danbury, Connecticut 06810

August 30, 2023

Prepared by Stephen Tilly, Architect  
22 Elm Street, Dobbs Ferry, New York 10522  
(914) 693-8898

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TOWN OF YORKTOWN

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# Introduction

In early July of 2023 Stephen Tilly, Architect was engaged by Toll Brothers, Inc. to prepare historic analysis, conditions, and adaptive reuse reports of the Field Home located at 2302 Catherine Street, Yorktown, New York.

The primary field investigation took place on Thursday, July 13th from 10:00 am until approximately 12:30 pm. The summer day was primarily sunny and humid with temperatures in the low eighties (Fahrenheit) in the morning. Stephen Tilly, Architect (STA) was represented by Stephen Tilly, Principal; Stephanie Reinert, Historic Preservation Director; and Kevin Batternay, Architectural Designer. Kevney Moses of Toll Brothers, Inc. accompanied the team throughout the building. Additionally, John R. Ahearn of Field Hall Foundation met with the STA team prior to and after the investigation, and provided additional insights on the building and recent engineer's notes. Patti Lavan Horvath, Field Hall Foundation, also provided assistance during the investigation.

Stephanie Reinert and Kevin Batternay revisited the site and building on Thursday, August 10th from 9:00 am until approximately 11:30 am to review conditions in the basement and take some additional photographs. This summer day was cloudy with temperatures in the low seventies (Fahrenheit) in the morning. John R. Ahearn and Patti Lavan Horvath again met with the STA team and provided assistance.

Our assessment included visual, non-destructive observation of the exterior and interior of the building and site, accompanied by taking digital photographs and making field notes and sketches.

The complete scope of services includes the following:

1. Field Investigation
  - a. A site visit to observe and document existing conditions of the building and site.
  - b. Field notes, digital photographs, and diagrammatic sketches.
2. Concept Site Plan  
Plans identifying potential parking improvements, pathways, and entry/egress points that might possibly provide ADA-accessible circulation.
3. Written Reports
  - a. Historic Analysis
  - b. Conditions Report
  - c. Adaptive Reuse Report
4. Presentation to Town of Yorktown/Toll Brothers Inc.

Note: Photographs included as part of the Architectural Observations were taken by Stephen Tilly, Architect during the site visits on July 13<sup>th</sup> and August 10<sup>th</sup>, 2023.

# Executive Summary

The Field Home, located at 2302 Catherine Road, is a stately presence viewed from the public way in the Town of Yorktown, constructed by a prominent philanthropist and businessman to serve his family and the surrounding community. The Field family name is memorialized on several buildings and spaces in upper Westchester County; in this case, both Field Home and Field Library in nearby Peekskill were founded by the same member of the family, Cortlandt dePeyster Field, who also paid tribute to his mother by naming Catherine Street after her.

The building is not currently listed in the National or New York State Registers of Historic Places, nor is it identified as a local landmark. However, a 2006 *Town of Yorktown Reconnaissance-Level Historic Resource Survey* for the Town of Yorktown Landmarks Preservation Commission did identify it as a historic building worthy of consideration for these listings.

While elements of the building show signs of wear and deterioration after a century of life, and repairs are indeed needed, all portions of the building are solidly constructed of unreinforced concrete accompanied by wood and steel structural components. The original exterior materials and the overall design of the building are timeless, whether reflecting the vernacular or agricultural massing of the earlier sections to the east or exemplifying the classical Greek tradition on the 1924 addition that completed the building as we recognize today.

Building reuse is an environmentally friendly activity. Reuse scenarios at this location, somewhat remote from Town centers or commercial concentration, are limited in number. The building itself does not mandate partial or wholesale demolition. Operating costs for reuse should be carefully evaluated; they are likely to be roughly, but not perfectly, linear to square footage.

We have provided architectural observations, summarized existing conditions, and provided recommendations to assist in restoring and rehabilitating the historical building for any of the alternate uses or forms, as it is not expected to return to use as a residence for the elderly. We have included three options, each with different functions and associated sizes of the building and parking area. These options grow initially out of analysis of what uses the building would support rather than a specific ownership scenario. That said, ownership could be by the Town or perhaps a lessee, the spaces and functions can be accommodated within the structural system and exterior envelope of the existing building or portions thereof, and the uses are intended to continue the tradition of supporting the residential growth or culture of the local community.

# Historic Analysis

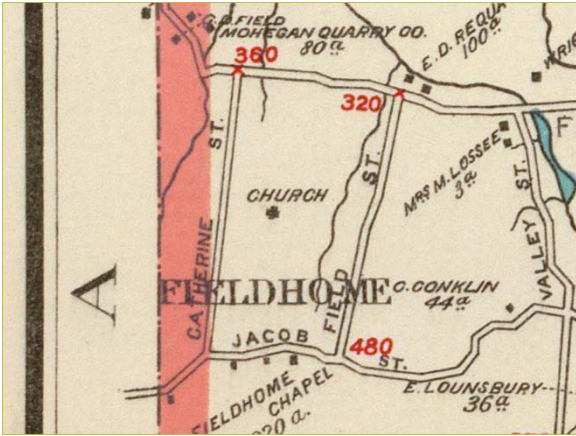
The Field Home as we know it today was constructed during three late-eighteenth and early nineteenth century campaigns, with the most recent addition closest to Catherine Street and providing the familiar face of the building for almost a century. The oldest portion of the building is the Chapel, the section located furthest to the east or back, constructed by Cortlandt dePeyster Field by 1889 on family farm property. The second addition, completed in 1897, maintained the massing and gambrel roofline of the Chapel, added a wrap-around porch along the new section that jutted forth to the street, and significantly increased the number of residential rooms. The grand, symmetrical Greek temple front with pavilions to each side (as well as a third to the northeast), was added in 1924.

Cortlandt and his father incorporated the Field Home by Special Act of the New York State Legislature as a home for the respectable poor and his poorer relatives. It was initially used for summer retreats by episcopal missionaries and priests before becoming a year-round home for elderly women. The building has been in operation through several mergers and was last used as a residential home in 1998; it is currently used as offices for the Field Hall Foundation.

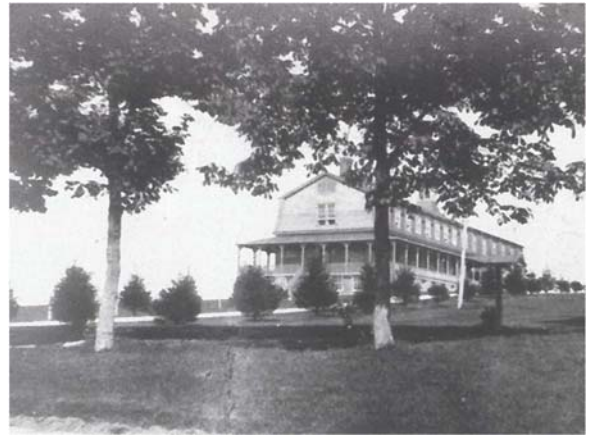
Our team sought information from numerous sources including the New York Public Library, Library of Congress, and Westchester County Archives, but had the most success obtaining information from local sources. Field Horne, a descendant of the family and board member of Field Hall Foundation, published a very informative article in the Summer 2004 edition of *The Westchester Historian* (Westchester County Historical Society). In this article he noted the absence of personal or family papers, which we found to be accurate. The Field Library in Peekskill (endowed by the same Cortlandt dePeyster Field in 1887) holds the Field Home papers in their local collection; the librarian, however, informed us the whereabouts of most of the papers was unknown due to a mold/restructuring issue, and was able to provide only some obituaries and newspaper articles written since 1977. Additional sources of information include maps and atlases from the David Rumsey Historical Map Collection, Westchester County Archives, and photographs from the Field Hall Foundation and books. A family portrait entitled “The Field Family in a Garden,” painted by Daniel Huntington in 1869, is housed in the Smithsonian American Art Museum; Cortlandt dePeyster Field, his wife, sister, father (Benjamin Hazard Field, also a philanthropist) and mother (Catherine Van Cortlandt dePeyster) are shown.

Larson Fisher Associates completed the *Town of Yorktown Reconnaissance-Level Historic Resource Survey* for the Town of Yorktown Landmarks Preservation Commission in 2006. At that time the preservation consultant identified “90 notable properties that should receive additional documentation and be considered for listing for local and/or National Register designation,” of which Field Home was one. The survey identified Field Home as a “notable example of architecture” primarily for its classical Greek temple façade and categorized the overall integrity as “intact.” As few changes beyond system improvements have been made to the building since 2006 and the Field family name continues to be well-known throughout upper Westchester County and New York City history, this determination is likely to remain.

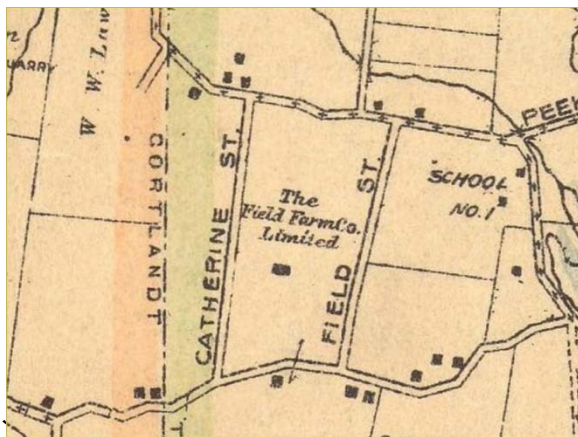
# Historic Maps and Images



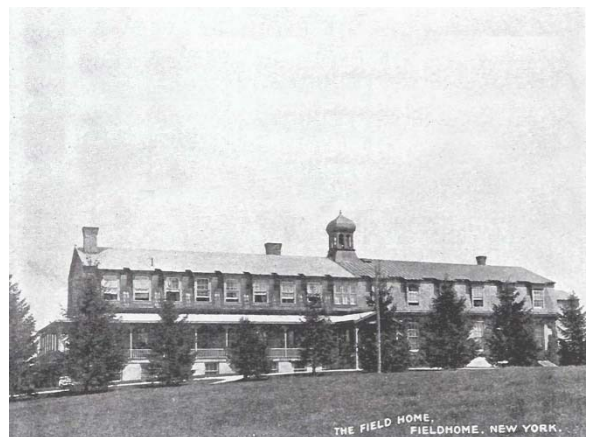
1893 (Bien Atlas) - Town of Yorktown  
Image: David Rumsey Map Collection



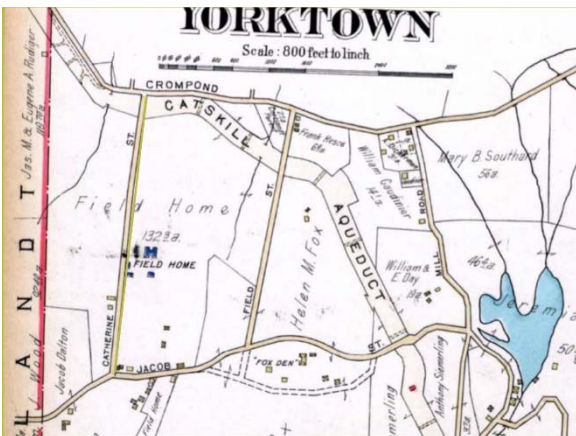
Prior to 1906, West Elevation (1897 addition and Chapel)  
Image: L. G. Cooper et al, *Postcard History Series - Yorktown*



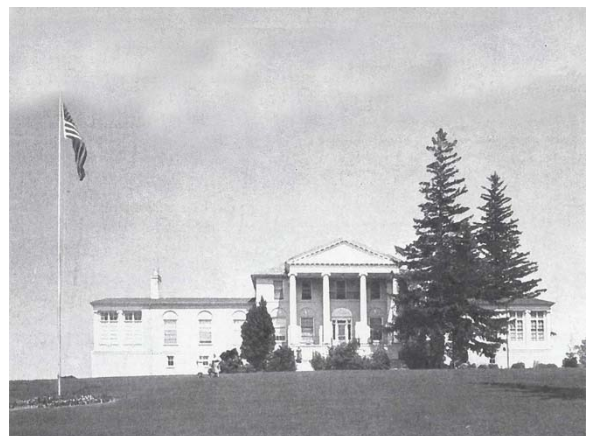
1908 (Hyde Atlas) - 15 Atlas of the rural country district north of New York City...  
Image: David Rumsey Map Collection



1920s, South Elevation (1897 addition and Chapel)  
Image: L. G. Cooper et al, *Postcard History Series - Yorktown*



1930 (Hopkins Atlas) - Yorktown (Town), Westchester County  
Image: Westchester County Archives Digital Collections



1980s, West Elevation (1924 addition)  
Image: L. G. Cooper et al, *Postcard History Series - Yorktown*

## Existing Conditions

Field Home was built by a prominent regional businessman and philanthropist with the intent of serving his religious community and family for decades to come: the choice of traditional, long-lasting materials such as slate, sheet metal, and concrete accompanied by good quality construction remains evident over a century later despite the need for some repairs.

All three sections of the building are constructed with unreinforced poured concrete exterior and bearing walls, ranging from 10” to 24” thick at the foundation. The structural system includes both wood and steel beams, as well as vertical tie bolts, depending upon the era of construction. Interior partition walls and furring on the perimeter walls is comprised of wood 2x4s with either wood or wire lath securing the plaster.

Most of the roofs of the building appear to be the original/early slate or standing seam sheet metal, but some have been replaced with asphalt shingles. Portions of the slate roofs may be able to be repaired or reinstalled to serve the building for another twenty-five to fifty years, but slates are shifting out of course and the roofs may be nearing the end of their material life. The standing seam roofs appear to have been repaired and are nearing or already past the end of their material life.

Most windows are replacements and appear to be in fair condition, although several are in disrepair. The doors typically appear to be in good to fair condition. Exterior trim is in fair to poor condition, with many areas such as the pediment of the West Elevation, columns, volutes, and the cupola not protected by paint and/or in need of reattachment or repair.

Building systems appear to be appropriate with several upgraded in the late eighties or nineties, and a new boiler installed just last year. Peeling paint on surfaces around some of the steam radiators suggests some individual components may not be operating properly.

Asbestos-containing materials have been identified in the building, including interior plaster in limited locations, tar, and tile or sheet flooring. Additionally, due to the age of the building, lead-containing paint is also assumed to be present.

Although the building is sited on a hilltop, the Basement is at least partially below grade on the later additions, and almost fully below grade beneath the original Chapel. In addition to gutters and downspouts, drainage paths exist to direct stormwater away from the building (i.e. trenches along the North and South Elevations). However, they appear to have failed or were overwhelmed and interior finishes in the Basement are compromised in several locations. Extant trees or those since removed may also have contributed to this issue.

# Recommendations

1. Hazardous Materials: Asbestos-containing materials have been identified in the 2022 Quest report (i.e. tar, plaster, tile/sheet flooring). Considering the dates of construction for the building, lead-containing paint is also assumed to be present. Construction and demolition work, and related materials disposal, will need to be conducted in compliance with EPA, HUD, OSHA, NYS, and any other applicable federal, state, and local regulations with any adaptive reuse option.
2. Roofs: The standing seam metal roofs have typically reached the end of their useful material life, and the slate roofs should be investigated further by professional slaters to determine if they can be repaired or reused in select locations. Roofs may need to be replaced in any of the Adaptive Reuse options, preferably matching the original slate and standing seam materials, pattern, and detail. Asphalt shingle roofs may be an option to consider. Additionally, all gutters, downspouts, and the drainage system of the house should be investigated, repaired, and replaced accordingly.
4. Structure: The structural system appears to be generally sound, with specific locations or conditions requiring appropriate treatment or reinforcement, as identified by a structural engineer (i.e. settlement cracks in Second Floor rooms where the East Pavilion meets the Chapel massing; cracks between West Elevation windows/doors; exposed rebar at underside of West Portico floor slab; roof framing and vertical tie bolt systems; condition of concrete at foundations where water infiltration has occurred). None of these conditions is critical enough to mandate wholesale demolition. Repairs are part of a list of maintenance items when evaluating future options.
5. Building Systems: All new building systems should be designed and installed to serve the chosen adaptive reuse option. We understand an existing boiler was installed in 2022: this unit could be used in place to provide baseline heating to 60 to 65 degrees, tied to the outdoor temperature. Additionally, heat pumps that can be controlled by the user can also be installed to provide the additional heat required above the baseline, as well as air conditioning.
5. Site: All drainage systems should be investigated, cleaned/repared or replaced, depending upon the findings.
6. Finishes and Trim: These components can be repaired accordingly (patches, Dutchmen, epoxy repairs) then refinished as needed for the reuse option desired. The Chapel and some Basement walls may need to be substantially repaired, and dropped ceilings should be removed to investigate the conditions of the original ceilings that have been covered to determine the most appropriate treatment.



# Adaptive Reuse Options

The Field Home is currently zoned as RSP-3 Age-Oriented Geriatric Community District. In considering options for reuse of the building we understood that the Town of Yorktown may be interested in obtaining and occupying the building, or that they may lease spaces to private entities or potentially re-sell it, and that zoning could be updated accordingly.

As reuse of the existing building will likely include a work area that exceeds 50 percent of the building area, the Classification of Work would be considered an Alteration - Level 3 (Section 604; 2020 edition of the Existing Building Code of New York State). Code Compliance would require meeting Chapter 9 (Alterations - Level 3) and Chapter 10 (Change of Occupancy) as identified in the 2020 edition of the Existing Building Code of New York State.

## Accessibility

The existing building has multiple entrances, including one at grade along the West Elevation that would be considered accessible. Additional entrances around the building require steps up to the first floor or down to the basement, except for the entry to the Chapel along the South Elevation. A lift on the South Elevation appears to provide accessible circulation from the south parking area to the South Porch and First Floor.

## Parking

The primary parking area currently available for the Field Home includes 13 spaces perpendicular to the South Elevation of the building. Approximately 3 additional spaces appear to be available on the opposite side of the driveway, although they also cross the property line. Informal parallel parking along the single-lane driveway is possible but not preferable due to the limited width of the paving.

## Outbuilding and Satellite Parking

In all reuse options we have opted to demolish the small 1980s prefab building and its associated parking lot located in the southwest corner of the property. We have also opted to reconfigure the south driveway entry in order to utilize the existing entry from Catherine Street to this satellite parking lot, with the assumption that the neighboring Yorktown Rehabilitation & Nursing Center will want their own dedicated entry driveway to their site if the use of Field Home changes.

# Adaptive Reuse Option 1



## **“Work / Live Here” Incubator Work / Live Option**

This option includes adaptive reuse of the entire existing building, and provides duplex units and apartments for startups, artists, and light industrial entrepreneurs to work and live. The larger duplex units would allow for workshop/studio space on the ground floor and living space on the upper level. ADA-accessibility would be available for the spaces that can utilize the elevator or have exterior doors to grade. Shared spaces such as a community room and gym provide support areas to the tenants for both aspects of their lives. This option will require the greatest amount of structural treatment and reinforcement as it retains all phases of historic construction, including potentially vulnerable joints/planes where the different structural systems and roofs were connected.

Parking and an accessible entry (including elevator use) is provided along the West Elevation, and the entry door at Basement level continues to provide access from the lot and the front driveway.

This option is comparable to buildings in Westchester County such as Peekskill Artist Lofts.

Similarly, a small hotel serving the neighborhood, perhaps with small meeting or event spaces, could be created with a plan including smaller rooms in lieu of the apartments or duplexes.

## Adaptive Reuse Option 2



### **“Make Here” Mixed Light Industrial / Studio Option**

This option includes demolition of the Chapel, the section of the building furthest to the back and the earliest construction. As the primary mechanical space of the current building is located below the Chapel, new spaces in the Basement will need to be dedicated to serve these functions.

This option prioritizes incubator and independent workplaces. Light industrial workshops in the Basement could take advantage of the larger, open rooms with good-sized windows and exterior access provided at the same level. The upper floors, already broken into double-loaded corridors with windows in virtually each room, lends itself easily to offices or art/craft studios. Additionally, many of the rooms within the Central portion of the building have doors from both the hall to the adjacent rooms, and multiple rooms could be inhabited by the same entity as needed. The rooms of the second floor of the West Addition could also be separated out to provide multiple rooms for a single entity. Additional uses could include a child-care facility, located in an independently accessed section of the building and making use of the enclosed lawn along the north side of the building. Parking and an accessible entry (including elevator use) is provided along the West Elevation.

This option is comparable to other adaptively reused historic buildings in Westchester County such as: The Hat Factory in Peekskill; Hudson River Landing in Dobbs Ferry; and Bridge Street on Hudson in Irvington.

## Adaptive Reuse Option 3



### “Work Here” Office Option

This option retains solely the massing of the West Addition, prominent along Catherine Street, and of the most recent 1924 construction phase and use. As the greater portion of the building will be demolished, including the deeper basement areas, the percentage of site work increases significantly. Conversely, the amount of required structural repairs will be more limited in scope. As in the previous option, new spaces in the Basement will need to be dedicated to serve mechanical functions.

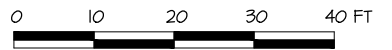
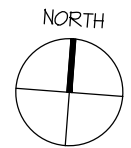
This option prioritizes offices and independent workplaces, and provides a variety of sizes of space to serve different occupants. Additionally, the limited footprint of the building allows for parking to be located behind the building and for the large front lawn to be retained. Recreational lawns or smaller courts for smaller sports could also be located behind the building. Accessible entry to the building is provided primarily via a sloped path along the parking lot to a back porch, with the elevator providing accessible circulation within the building. Additionally, the entry door at Basement level on the West Elevation continues to provide access from the front driveway.

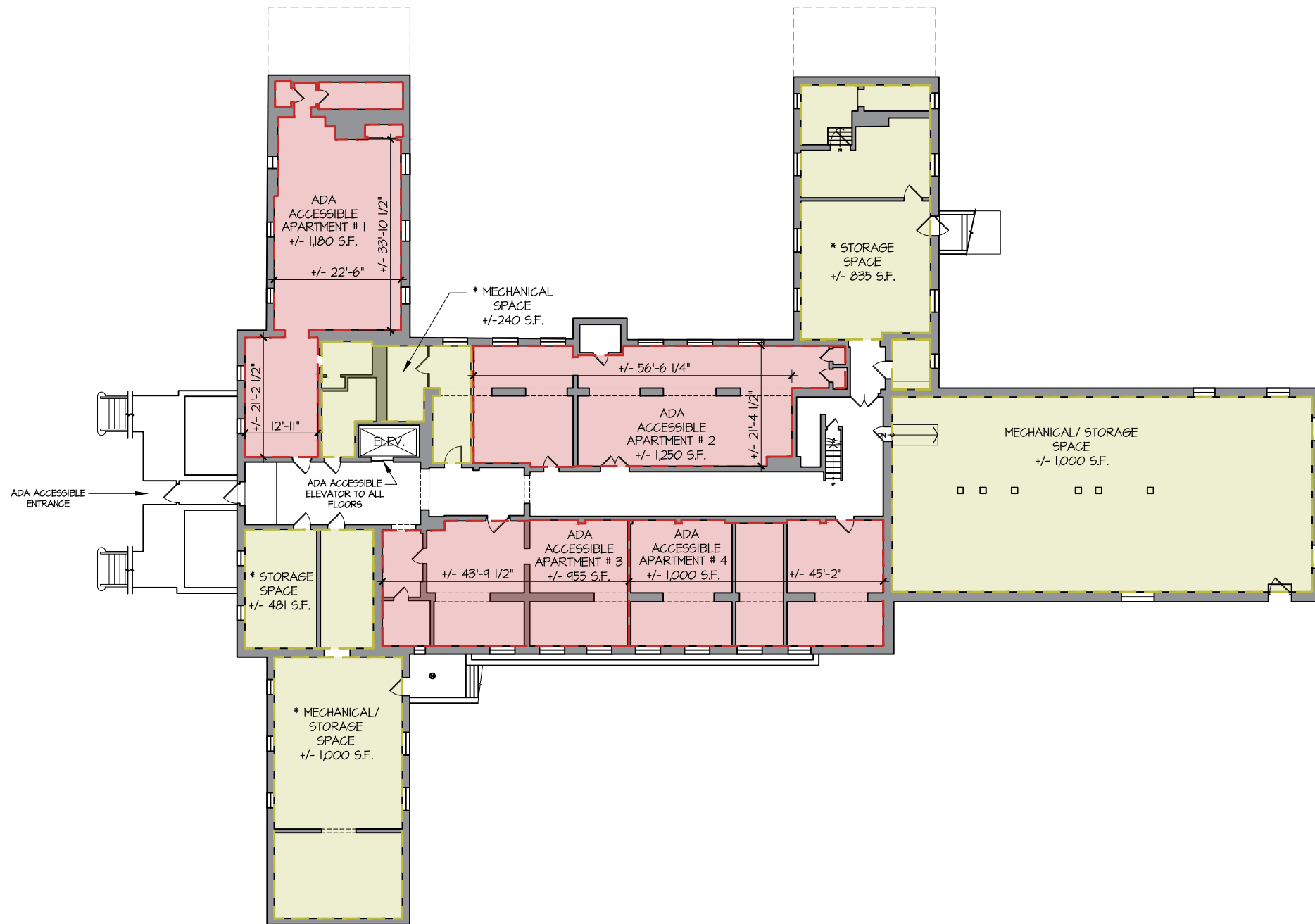
CATHERINE STREET

PROPOSED PARKING AREA  
+/- 40 PARKING SPOTS

PROPOSED  
PROPERTY LINE

YORKTOWN REHABILITATION  
AND NURSING CENTER

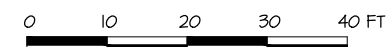


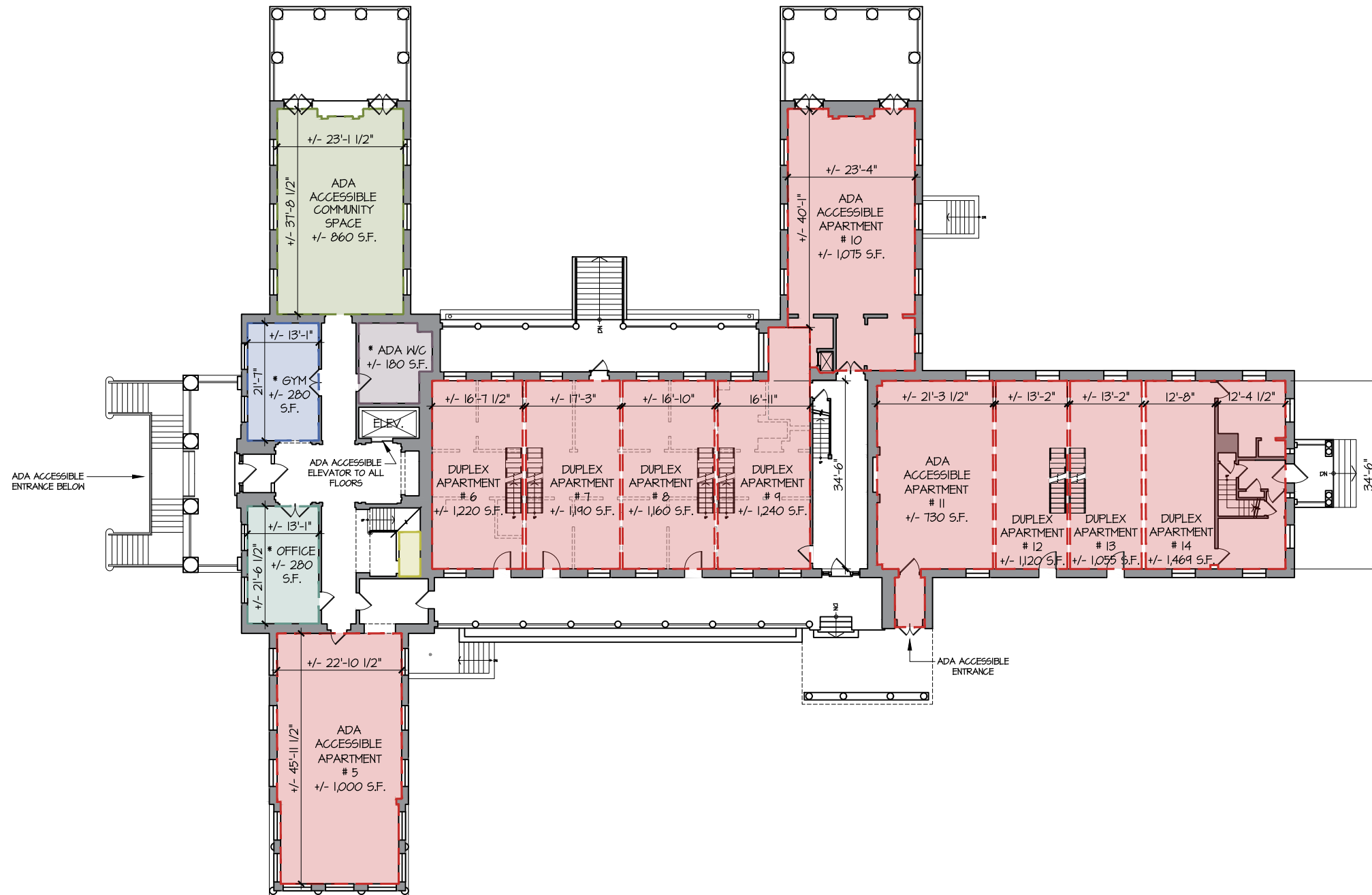


1 OPTION 1 BASEMENT FLOOR PLAN  
SCALE: 1/24" = 1'-0"



SYMBOL LEGEND	
*	ADA ACCESSIBLE SPACE



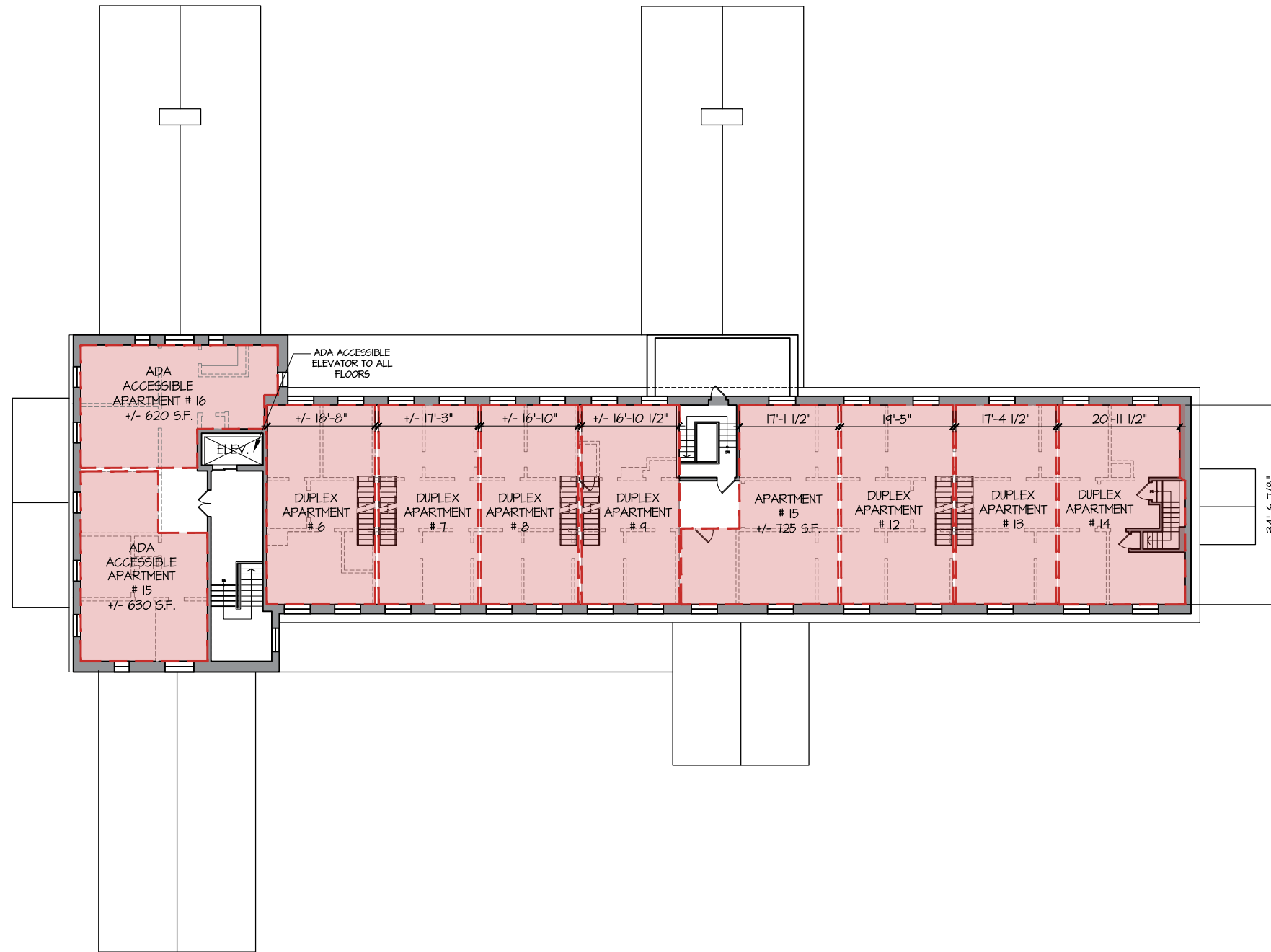


1 OPTION 1 FIRST FLOOR PLAN  
SCALE: 1/24" = 1'-0"



SYMBOL LEGEND	
*	ADA ACCESSIBLE SPACE

0 10 20 30 40 FT



1 OPTION 1 SECOND FLOOR PLAN  
SCALE: 1/24" = 1'-0"



SYMBOL LEGEND	
*	ADA ACCESSIBLE SPACE

0 10 20 30 40 FT



CATHERINE STREET

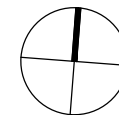
PROPOSED PARKING AREA  
+/- 85 PARKING SPOTS

CHILD CARE  
PLAY AREA

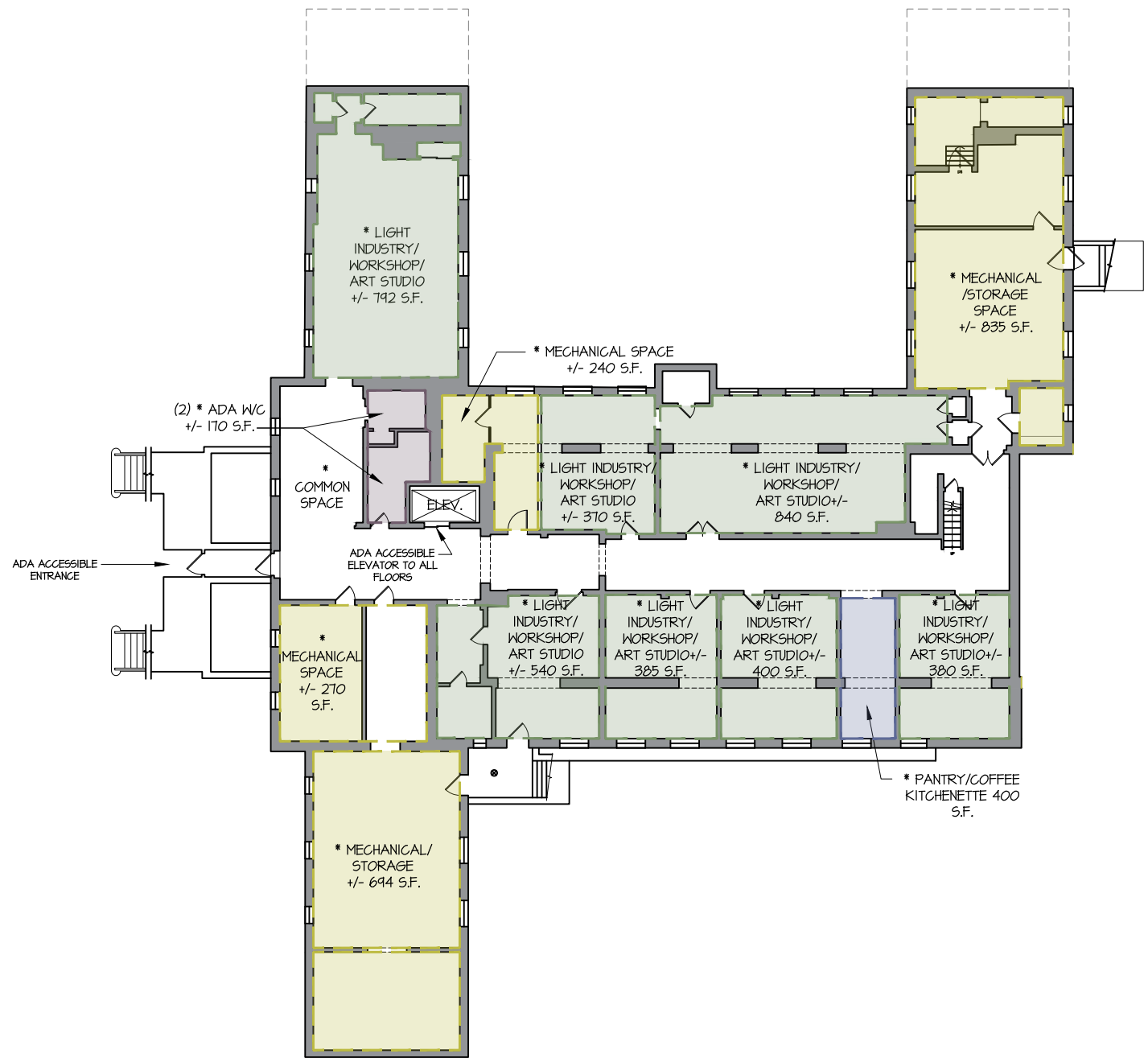
PROPOSED  
PROPERTY LINE

YORKTOWN REHABILITATION  
AND NURSING CENTER

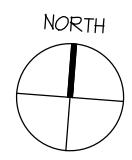
NORTH



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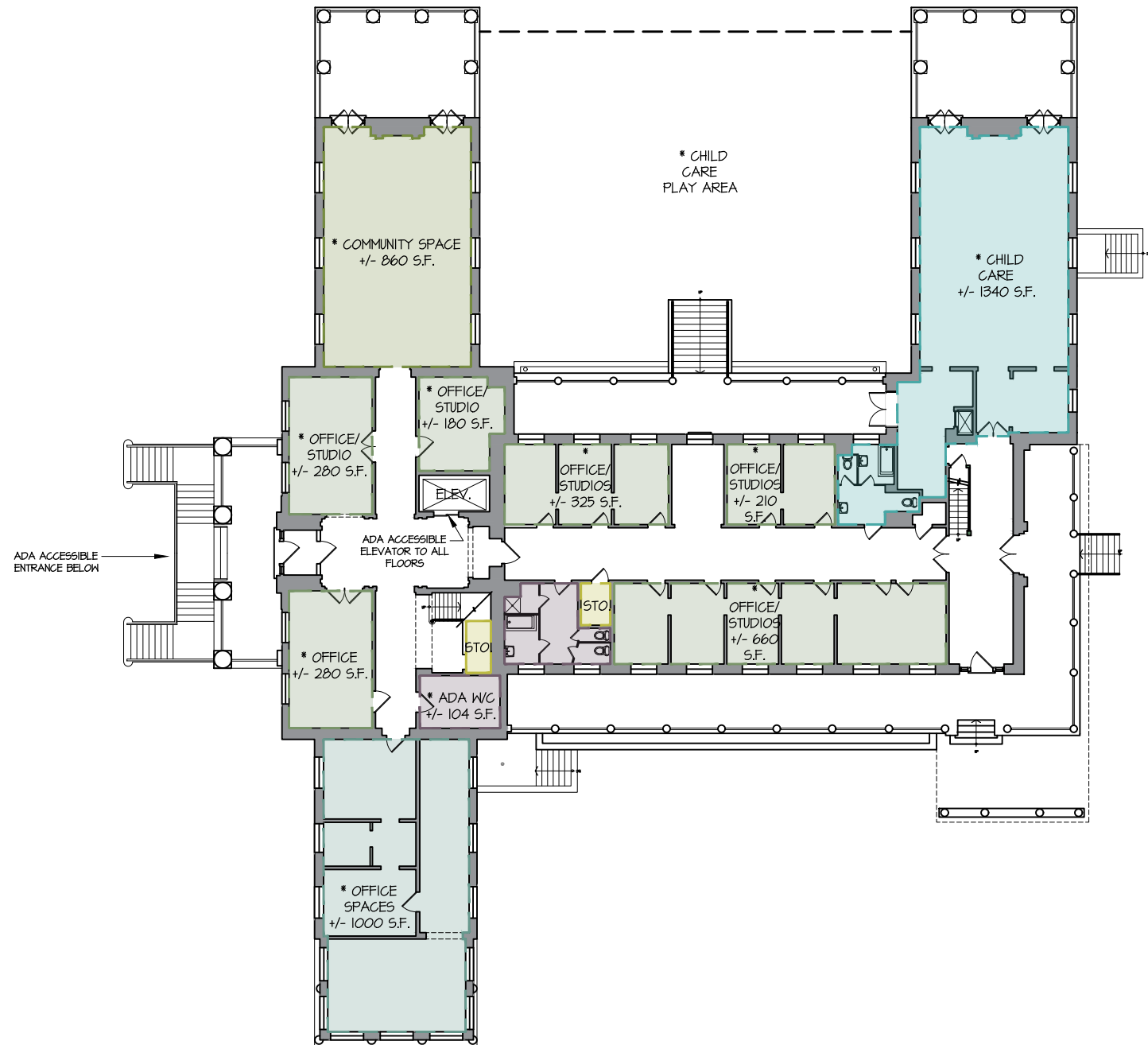


1 OPTION 2 BASEMENT FLOOR PLAN  
SCALE: 1/24" = 1'-0"



SYMBOL LEGEND	
*	ADA ACCESSIBLE SPACE

0 10 20 30 40 FT



ADA ACCESSIBLE  
ENTRANCE BELOW

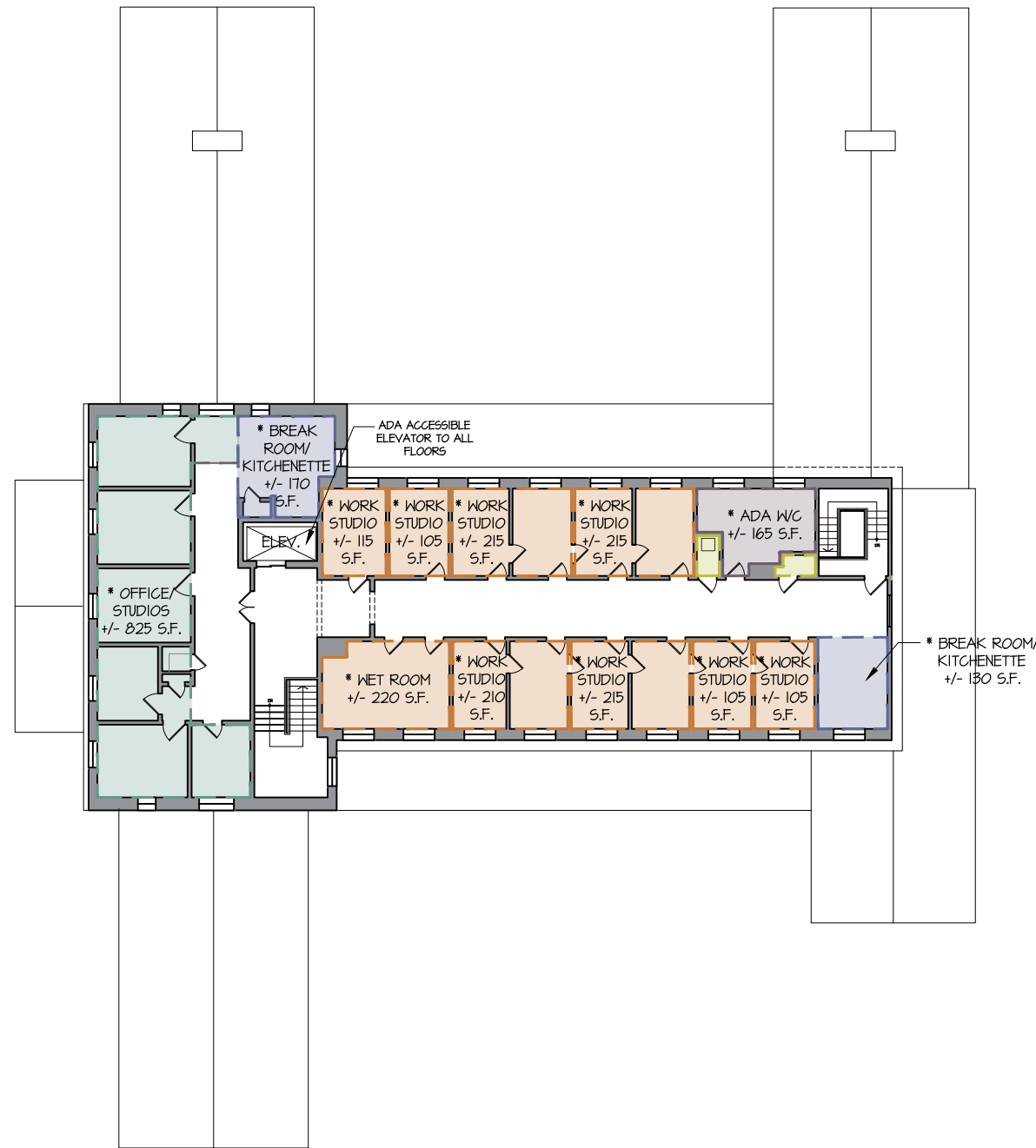
ADA ACCESSIBLE  
ELEVATOR TO ALL  
FLOORS

1 OPTION 2 FIRST FLOOR PLAN  
SCALE: 1/24" = 1'-0"



SYMBOL LEGEND	
*	ADA ACCESSIBLE SPACE

0 10 20 30 40 FT



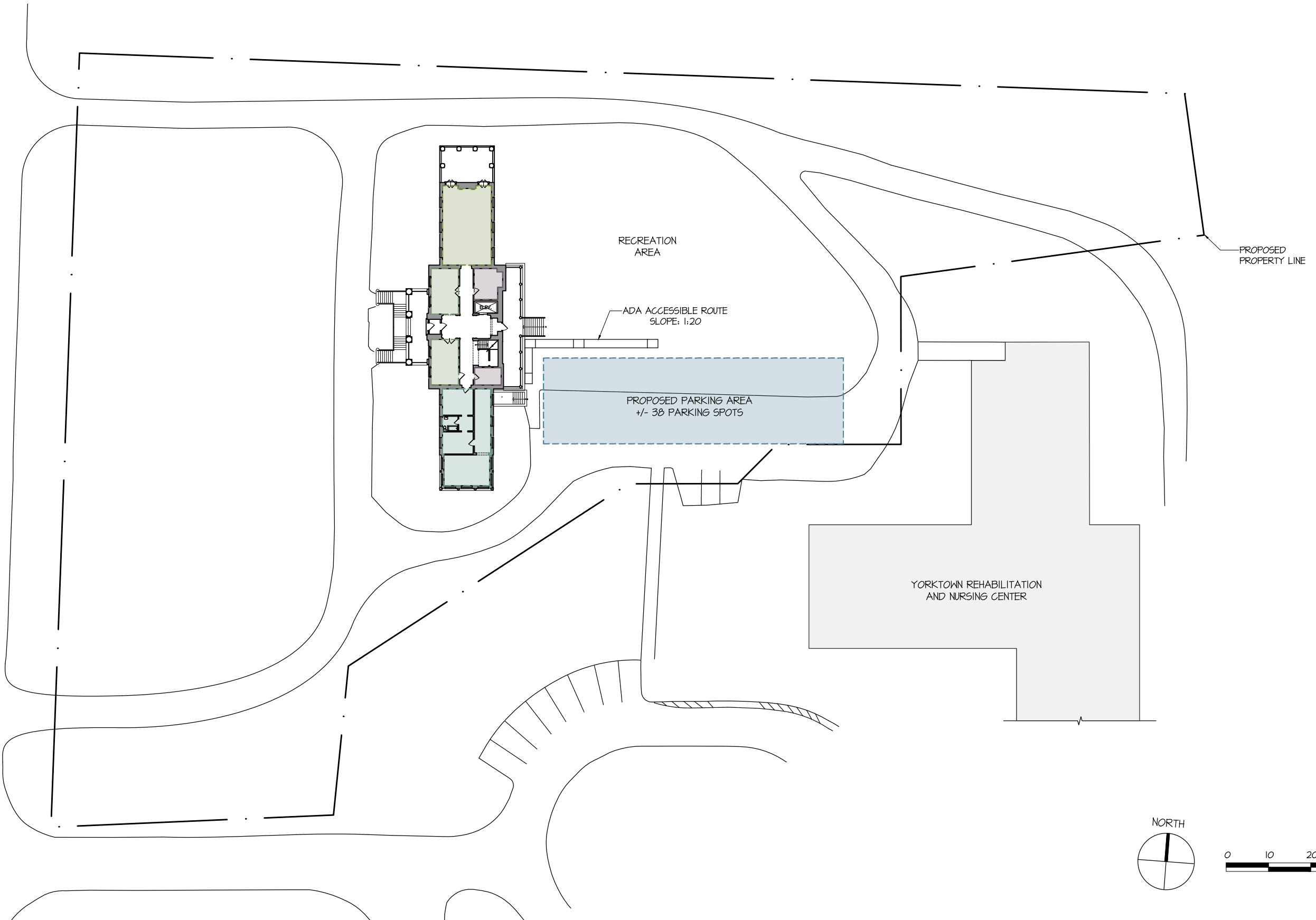
1 OPTION 2 SECOND FLOOR PLAN  
SCALE: 1/24" = 1'-0"



SYMBOL LEGEND	
*	ADA ACCESSIBLE SPACE

0 10 20 30 40 FT

CATHERINE STREET



2316

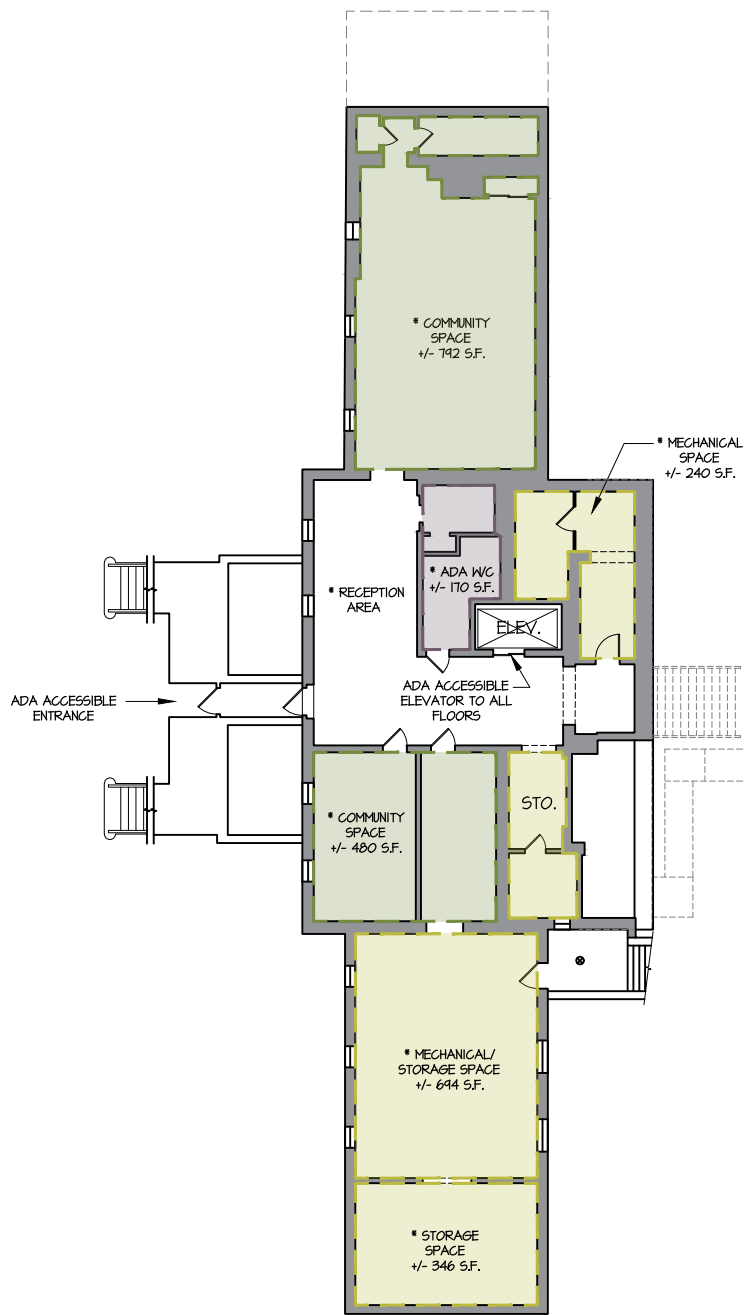
STEPHEN TILLY,  
Architect  
22 Elm Street  
Dobbs Ferry, New York 10522  
Tel: (914) 693-8898  
Fax: (914) 693-4235

Project: FIELD HOME  
2302 Catherine St, Yorktown, NY 10567

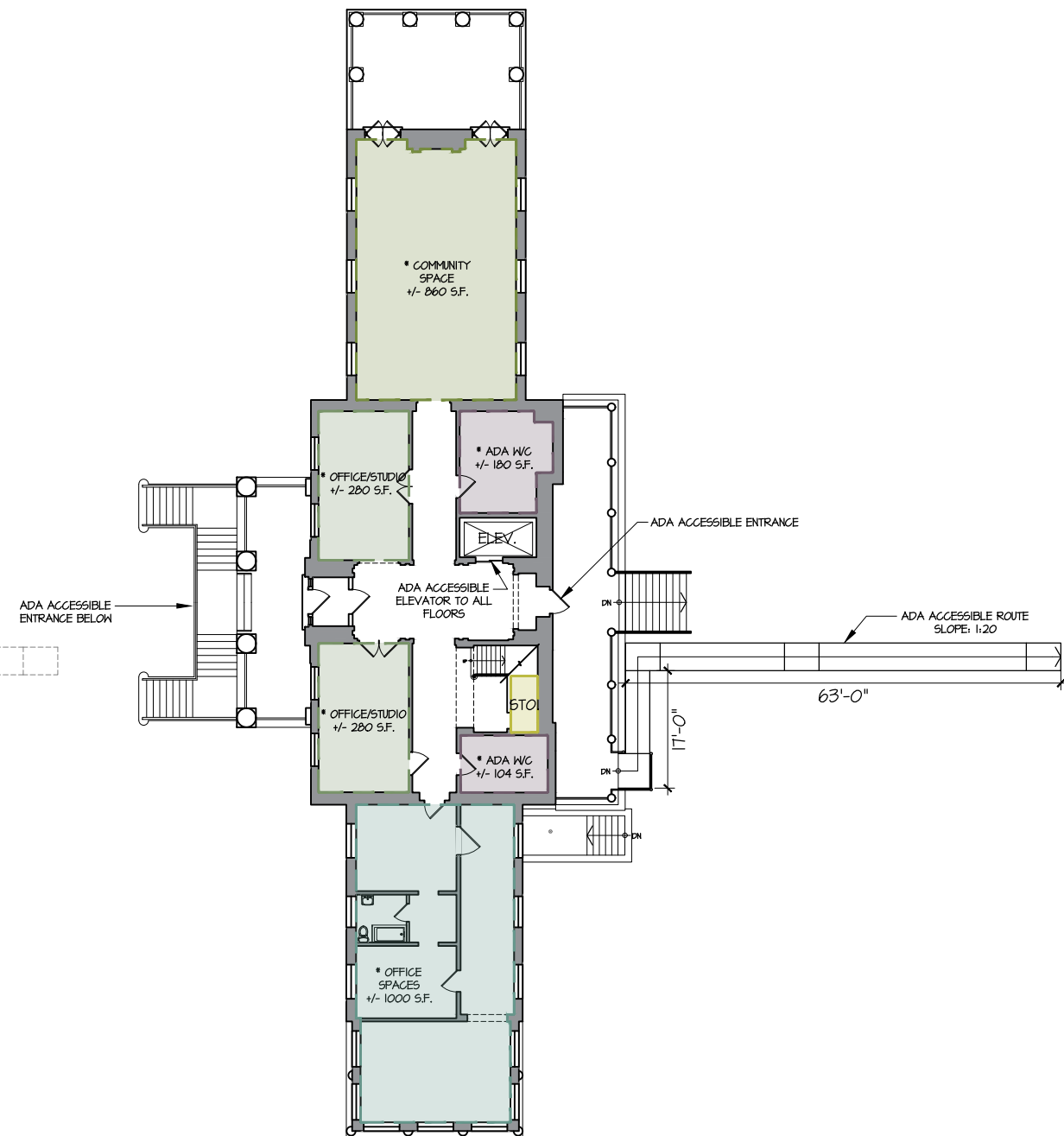
Title: OPTION 3 "WORK HERE" OFFICE OPTION  
SITE PLAN

Scale: 1/48" = 1'-0" Date: 8/17/2023 Drawn by: kb

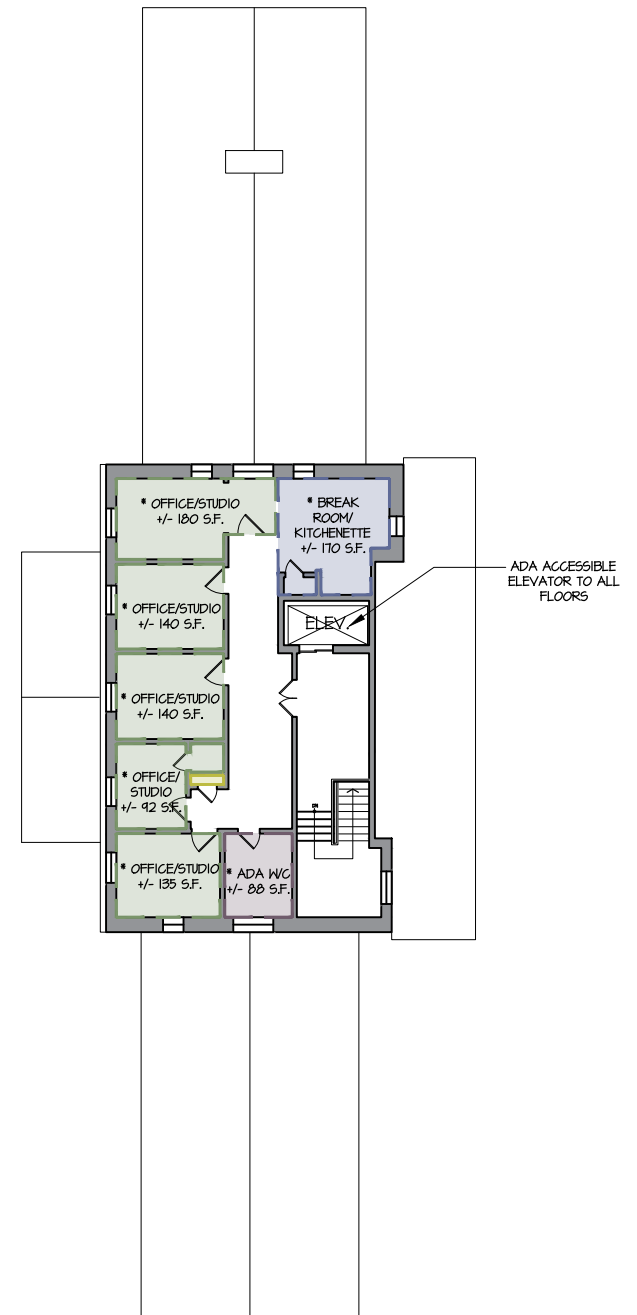
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OPTION 3  
**SK-01**



1 OPTION 3 BASEMENT FLOOR PLAN  
SCALE: 1/24" = 1'-0"



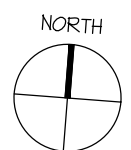
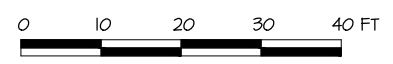
1 OPTION 3 FIRST FLOOR PLAN  
SCALE: 1/24" = 1'-0"



1 OPTION 3 SECOND FLOOR PLAN  
SCALE: 1/24" = 1'-0"

SYMBOL LEGEND

*	ADA ACCESSIBLE SPACE
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**APPENDIX**  
**ARCHITECTURAL OBSERVATIONS**

# SITE



Entry drive from south, with pre-fab office building and parking lot along west lawn (left)



South Elevation with parking and porch providing primary visitor entry, looking northeastward



South Elevation with parking, at eastern/Chapel end looking westward to 1924 addition



Neighboring northern block of Yorktown Rehabilitation & Nursing Center beyond southeast curve of driveway

## DESCRIPTION

The Field Home is located atop a slight knoll with a grand lawn that slopes downward from the west façade of the building to Catherine Street. One driveway entry to the north provides access to the semicircular driveway that goes around the back side of the building, as well as an additional spur across the front of the building. This driveway can also be accessed by the entrance to Yorktown Rehabilitation & Nursing Center to the south.

A pre-fab office outbuilding, accompanied by a parking lot, is situated in the southwest corner of the site and is accessed by a separate entry from Catherine Street.

A small outbuilding surrounded by low trees is also present along the driveway leading from the back of the neighboring nursing home to join the northern portion of the Field Home driveway.

In addition to the satellite building and parking lot, several older trees and a flagpole occupy the grant front lawn. Several additional trees are located immediately around the perimeter of the building, primarily in front of the main





North Elevation including 1889 Chapel (left) and pair of 1924 pavilion additions with open porches



Lawn and porch of at northern side of 1897 Addition, bookended by pavilions

façade. A single tree also remains within the northern courtyard, between the pavilions.

Older photos and remnants of stumps within the courtyard testify to additional trees being onsite in the past.

Additional lawns are extant between the foundation of the building and the encircling driveway, as well as beyond the northern edge of the driveway and to the northeast, beyond the northern extent of the neighboring nursing home.

Field Hall sits upon the site with a raised portico and first floor level. Virtually the entire building plan includes a full basement level, with the exception of the outermost extents of the pavilions. The oldest Chapel portion is almost fully below grade and the Central section is approximately half-way below grade with sizable windows providing light and ventilation. The West Addition is almost entirely above grade and contains one of the two doors that opens to grade.



Driveway along formal entry at 1924 Addition, looking southward



North and West Elevations from northwestern corner of grand front lawn, near Catherine Street

# EXTERIOR

## WEST ELEVATION



West Elevation, 1924 addition, as viewed from the lawn and Catherine Street



West Elevation, 1924 addition, grand entry with pedimented portico, Ionic columns, grand staircase, & Basement entry



Details of portico: flaking paint on wood pediment, columns, & concrete wall; severely deteriorated volutes on Ionic capitals

## DESCRIPTION

This classical Greek temple elevation with Ionic columns and pilasters, bookended by pavilions, is the most recognizable view of the building. The central pediment of the building, symmetrical staircases leading to the raised first floor level, and the sloping lawn all highlight the grand nature of the building.

The roofs of these portions of the building include slate (difficult to observe but likely fair to poor condition) and replacement asphalt shingle (good condition). The wood pediment, columns, pilasters, cornice, and trim appear to be mostly in fair condition, although most components have peeling paint and are exposed to the elements. The details of the volutes of the capitals are visibly worn or deteriorated.

Gutters are extant on the roofs but appear to be overflowing or contributing to water infiltration along the main face of the building, adjacent to the pilasters, where paint is visibly peeling.

Elements of the concrete building construction from 1924 are exhibiting signs of structural settling or poor design and are in need of repair: the minimal space between first and second floor windows of the projecting central mass all have vertical cracks; the central portico floor is uneven (see interior Basement photo showing exposed rebar of underside); significant vertical and horizontal cracks are present at the West Pavilion; and corners of some concrete stair treads have popped off.

Additionally, a significant portion of the northern downspout is missing, subjecting the immediate wall area to stormwater flows and disallowing drainage to travel into the associated below-grade drainage pipe.

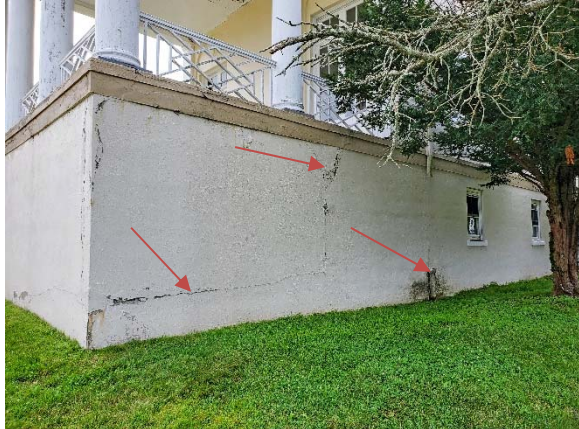
# EXTERIOR WEST ELEVATION



Details of portico: flaking paint at entire wood pediment, entablature & columns; staining below main façade gutter



Vertical cracks in concrete wall between first & second floor window openings (all bays of portico)



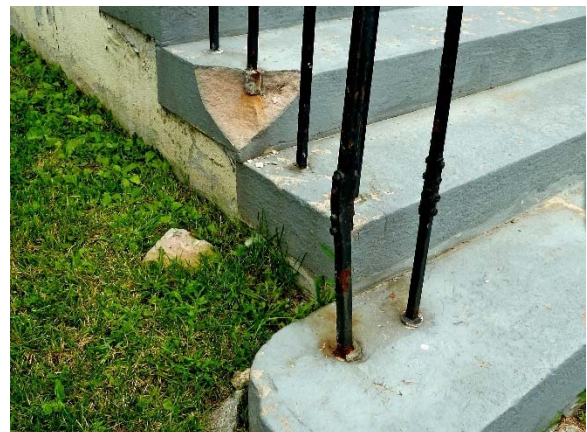
West Pavilion: vertical & horizontal cracks in basement wall & at porch floor/table; missing portion of downspout (right)



In-window air conditioning units; multiple split system condensing units with conduit overlapped by downspout



Portico floor: deteriorated/spalling concrete stair edge, uneven pavers, peeling paint (floor & ceiling above)



Staircase at entry: corner of concrete step popped off; visibly repaired, rusty iron balusters; peeling paint on concrete wall

# EXTERIOR SOUTH ELEVATION



South Pavilion (enclosed), 1924 addition: peeling paint & rusting at pediment & engaged Ionic columns



Central Addition (1897): porch in fair condition with likely original standing seam roof, replacement balusters, parking



View of existing louvered cupola from southeast: portion of roof lifting upward; little paint remains; copper details; birds

## DESCRIPTION

This elevation of the building is the primary entry point for most visitors and staff, and includes exterior access to the basement as well as the porch/raised first floor. A lift along the eastern end of the porch appears to provide accessibility to the main floor, in addition to a staircase.

The roofs on this portion of the building include the steep and low gambrel slopes of slate (fair condition, some repairs required) and the standing seam metal (likely painted tin) porch and small entry portico roof (fair to poor condition). The pediment of the South Pavilion is exhibiting rust stains and needs to be painted.

The louvered cupola appears to be structurally sound but the western portion of its roof has lifted up from the cornice and the wood is in need of paint as well. Additionally, the segment of gutter on the 1924 addition, above the western end of the porch, is significantly drooping and ineffective: paint failure and rusty backsplash from the porch roof against the wall is evident. Both of these conditions should be remedied urgently.

The coating atop the porch floor is panning and holding water at the center area and should be further investigated. The drainage trench along the façade appears to be filled with detritus and biological growth. Similarly, the drain at the areaway to the basement door is covered with a crate and should be repaired or cleaned.

# EXTERIOR SOUTH ELEVATION



Entry portico (1924 Addition): stair to entry doors on porch; lift to porch/first floor level; vestibule leading to Chapel



South porch: replacement balusters, coated floor and Tuscan column bottoms; bird deterrent visible above windows



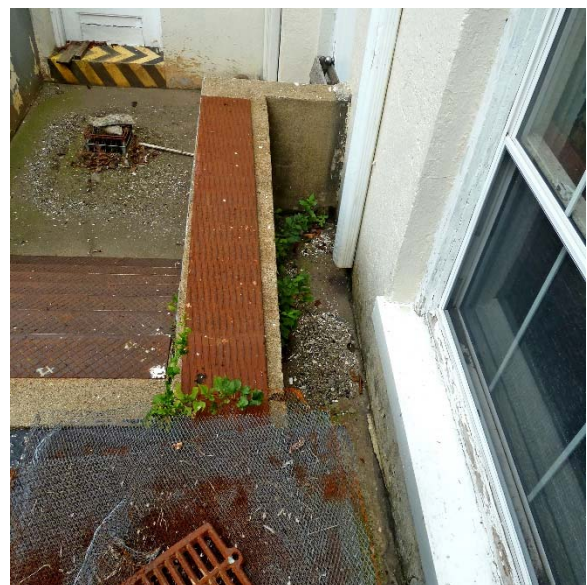
East wall of 1924 Addition: deformed gutter allowing stormwater overflow down wall; peeling paint



East wall of 1924 Addition: peeling paint and visible staining on concrete walls; original porch roof and flashing with repairs



Stairs and lift (possibly inoperable) beneath entry portico, providing access to porch/first floor level



Drainage trench outside basement windows at western end of façade; stairs to basement entry with crate protecting drain

# EXTERIOR

## EAST ELEVATION, CHAPEL



Chapel (1889), south elevation



Chapel (1889), east elevation with small porch supported by paired Tuscan columns; portico and pavilions in the distance



Chapel (1889), north elevation with East Pavilion (1924); driveway encircling the building visible

### DESCRIPTION

This portion of the building includes the original Chapel construction with the simplest massing.

As on the South Elevation, this section of the building has slate roofs in fair to poor condition. The northern side of the building also has snow rails. The wood dormer window walls and trim are in fair condition, and in need of paint. The section of northern steep-slope roof adjacent to the East Pavilion is in especially poor condition with scoured slates and significant portions of the soffit and cornice missing. The interior walls in this area of the second floor are also in poor condition, suggesting structural settling and/or significant water infiltration. Additionally, a portion of the exterior wall at this juncture is visibly scoured and missing paint. The chimney appears to be in fair condition.

The small porch that terminates the building along the East Elevation is in good condition, although the standing seam roof is likely near the end of its material life.

The lower portions of the concrete walls, under the windows sills to grade level, are exhibiting significant signs of deterioration that are also evident in the interior. Downspouts next to the vestibule are not connected to in-ground drainage pipes or directed away from the walls with extensions.

Bulkhead doors and windows provide access or light to the basement. The northeast corner of the building is immediately adjacent to the macadam driveway and the corner is visibly deteriorating.

# EXTERIOR EAST ELEVATION, CHAPEL



Chapel, south elevation: Slate gambrel roof in fair condition with some slates slipping or displaced; peeling dormer trim



Entry portico (1924 Addition): lift to porch/first floor level adjacent to vestibule leading to Chapel (all beneath roof)



Chapel, north elevation: various utilities, tanks, services present along this façade/lawn



Chapel, north elevation: roof soffit very deteriorated and open; peeling paint on wall; downspout at corner with pavilion



Chapel, south elevation: peeling paint and repairs at lower walls; access point to basement level



Chapel, east elevation: peeling paint along northeast corner of building & concrete stair; macadam driveway with repairs

# EXTERIOR NORTH ELEVATION



Dormer above East Pavilion: wood panels adjacent to roof very deteriorated from splash back; disconnected triangular panel



East Pavilion roof (likely original standing seam, 1924); at end of service life with numerous repairs/rust; gutter drooping



East façade of East Pavilion: horizontal & vertical cracks at basement level; broken edge of porch floor; Tuscan columns

## DESCRIPTION

The materials of this side of the building are generally the same as those of the South elevation; however, due to greater exposure from the north accompanied by an open lawn, they are typically in worse condition.

The dormer immediately above the East Pavilion is in especially poor condition with peeling paint, splash back visible above the roofline, and disconnected panels creating a significant opening in the wall.

The standing seam roof of the East Pavilion is in poor condition and shows numerous repairs: the skylight was not visible from the exterior but the interior shows signs of significant water infiltration (see Second Floor). The condition of the porch roof appears to be very similar to that of the south, including repairs and splash back along the adjacent walls. The roof of the West Pavilion is replacement asphalt shingle and appears to be in good condition.

The foundation walls below the pavilion porches and the north porch steps all show signs of structural movement, likely related to the change from interior conditioned space to unconditioned voids. This issue is especially apparent with the cracks at the pavilions that appear on the east and west sides, from just southward of the central column outward.

Additional issues of concern include greater deterioration of the columns and presence of moss along the north porch, which receives less daylight. The drainage trench along the north porch is also filled with detritus and biological growth, and plaster failure on the interior suggests overflow and extensive water infiltration.



# EXTERIOR NORTH ELEVATION



East Pavilion: extremely deteriorated torus of column along north façade; porch floor covering peeling away



East Pavilion, west wall: cracks at basement level where interior spaces begin & at water table/edge; peeling paint



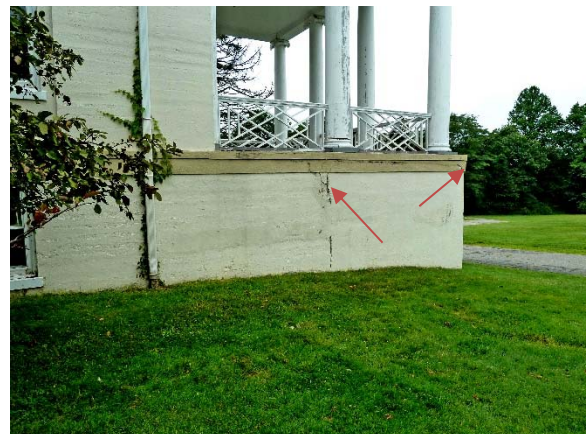
East wall of 1924 Addition: peeling paint and visible staining on concrete walls; original Porch roof and flashing with repairs



North porch stairs: visible structural cracks on side wall(s); displaced & rotated lowest two stairs/treads; peeling paint



Drainage trench outside basement windows at western end of façade; significant mildew/moss; water infiltration to interior



East façade of West Pavilion: vertical cracks at basement level; broken edge of porch floor; Ionic column separating

# INTERIOR BASEMENT



Central hallway inside exterior entry, looking eastward to Chapel basement/mechanical room



Structural arches in historic laundry (north rooms) providing structural support to exterior walls above; peeling paint



Structural arches outside elevator mechanical space (south rooms); peeling paint; deteriorated & stained ceiling boards

## DESCRIPTION

The full-height basement is present within almost the entire plan of the building. Light-filled spaces occupy the western and central portions of the building, where the floor level is accessible from the western exterior entry door.

The basement space below the Chapel is separated from the remainder of the interior space by a single door, and the main floor of this mechanical space is available via a ramp. This space houses the main electrical panels, sprinkler valve controls and related equipment in one space as well as boiler and water heaters in a pit along the south half of the room, a few additional feet lower than the main space.

The greatest deterioration of the interior surfaces at this level are along the exterior walls of the north and south porches (below the windows) and the east wall of the South Pavilion: water infiltration from the exterior (i.e. impeded drainage trenches or storm water flow), with finished grade just inches below window sill level, appears to be the main culprit.

Water infiltration at the floor of the main portico on the West Elevation via a different path is evident with the rusted and exposed rebar under the portico floor slab and a significantly rusted exterior steel frame below.

The floors appear to be in typically fair condition, despite the evidence of previous leaks on the walls that likely also created puddles of water on the floors. Some ceiling finishes have been compromised, although they appear to be related to failures on the first floor above.

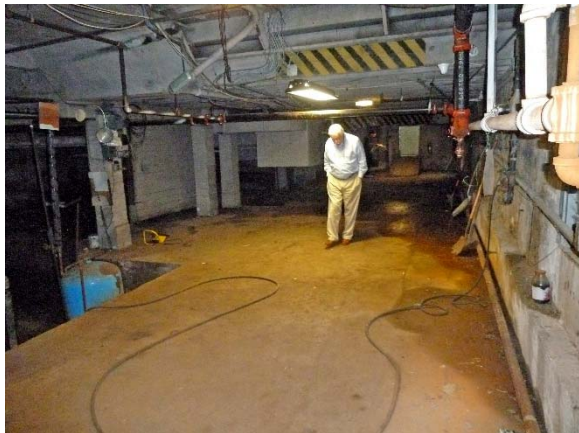
# INTERIOR BASEMENT



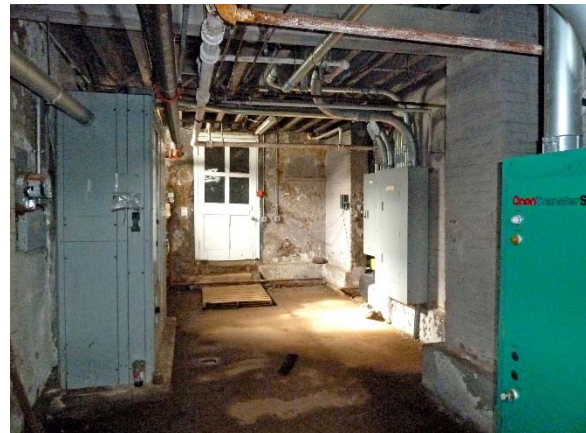
East wall of basement below South Pavilion: deteriorated wall finish; peeling paint, leak kindly identified



Central hall looking towards kitchen in East Pavilion, with door to mechanical room beneath the Chapel on the right



Mechanical room, looking westward to door with southern pit to the left; change in Chapel first floor joists visible above John



Easternmost mechanical space beneath Chapel, looking southward; houses electrical panels, meters, transfer switches



Exterior basement door, at West Elevation: steel frame severely rusted & disconnected with bird nest inside



Underside of West first floor entry portico: concrete slab with multiple rebar visible & rusty near the deteriorated surface

# INTERIOR

## FIRST FLOOR



Central hall looking from stair hall outside Chapel westward to main entry vestibule: good condition and currently in use



East Pavilion (1924); deteriorated plaster cornice with repair, likely due to water infiltration from roof/gutter; sprinkler pipes



West Addition (1924), north parlor: deteriorated plaster cornice above window valance (similar condition, south parlor)

### DESCRIPTION

The first or primary floor of the building is at several different elevations, posing an accessibility challenge, including from exterior grade. The lowest floor elevation is at the Chapel nave/pews, accessible via the door at grade on the south (assumed, not accessible). Other elevations, moving upward, include the Chapel sanctuary; Chapel offices (with its separate entry and small porch at the east end); and the Main First Floor and porches a half-story above grade in most locations.

With the exception of the Chapel, which has not been used since 1998, the majority of the first floor is currently used and finishes and materials are typically in good to fair condition. Specific locations of deteriorated plaster point to particular failures at the roof of the East Pavilion, along the main West façade, or due to plumbing leaks from above. Some spaces include dropped ceilings.

The condition of the interior wall finishes of the Chapel is poor. Paint below the window sills is peeling and deteriorated in almost all locations of the nave, at times presenting earlier layers of red and blue paint, as well as bare concrete. Fiber board ceiling panels installed atop the original beadboard ceiling are falling. Some of the sheet metal pilaster covers that appear to cover vertical ties are no longer connected together. The carpet is threadbare but the floor boards appear to be sound. The office spaces are in better condition, with primarily intact finishes.

# INTERIOR FIRST FLOOR



Office: deteriorated dropped ceiling with leaky, rusty pipe; peeling paint on exterior wall



Chapel, north windows: disconnected fiber board applied atop beadboard; deteriorated finishes below window sills



Chapel, south wall: severely deteriorated finishes below window sills, allowing view of previous paint layers & bare concrete



Chapel, south wall by sanctuary: sheet metal pilaster/tie cover disconnected; peeling paint on exterior wall and cover

# INTERIOR

## SECOND FLOOR



Central hall looking eastward from landing by elevator; transom above doors that open to rooms above Chapel



Central Addition (1924), hall near central stair: water-stained ceiling; access panel to attic and louvers to whole-building fan



North bedroom near joint with East Portico: severe cracks along entire wall (typical both sides of room)

### DESCRIPTION

The Second Floor of the building, consisting primarily of residential rooms, bathrooms, and offices, has not been in constant use since 1998 but it has not suffered as badly from disuse as the Chapel.

As on the First Floor, finishes are typically in good to fair condition, with the exception of specific locations where water has infiltrated the ceiling from the roof above (hallway ceiling near the access panels to the cupola; around the skylight, and on the ceiling and wall of the intermediate level records room at the East Pavilion). Additionally, areas affected by water/steam include surfaces around select radiators.

Layers of plaster appears to be separating on the walls of at least one bathroom. The stamped sheet metal panels on the walls and ceiling of the hall above the Chapel may have been installed to cover or modernize finishes such as plaster or beadboard (visible in historic photos of the Chapel).

Generally the floors appear to be sound and in good to fair condition, although door saddles and the different carpets attest to a variety of use patterns.

An area of significant concern includes the partition walls at residential room #30 and the beauty parlor, just adjacent to the joint with the East Pavilion added on in 1924. This area would have been the northwest corner of the original Chapel construction: the exterior roof and soffit is compromised (see North Elevation) and structural problems may be an issue.

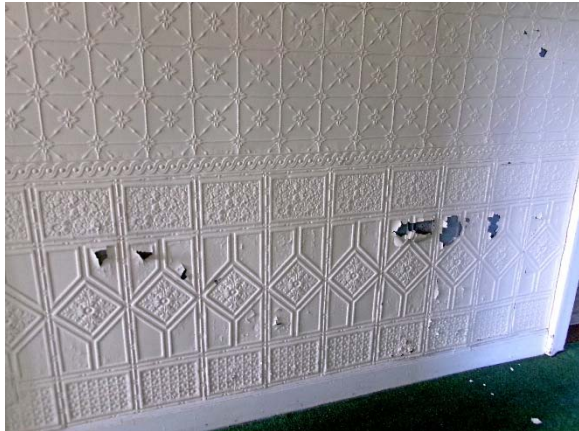
## INTERIOR SECOND FLOOR



Peeling & bubbling wall and baseboard finishes around steam radiator suggests ineffective or failing controls



Kitchenette: floor probe exposes plaster walls above a dropped ceiling, and concrete wall penetration



Hallway finish above Chapel: stamped sheet metal panels with peeling paint



Bathroom at western end of hall: painted finishes bubbling, settling, and falling off at partition wall to linen closet



Records room at East Pavilion stair landing: deteriorated ceiling plaster, peeling paint, replacement glazing



Records room at East Pavilion stair landing: very deteriorated plaster with repair attempt; water-stained ceiling

# BUILDING SYSTEMS

## DESCRIPTION

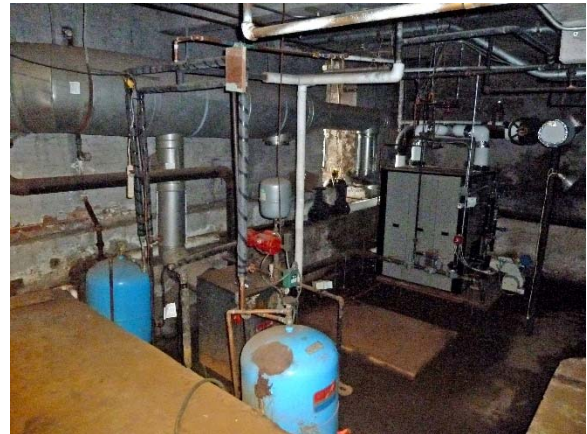
The existing systems include the following (information provided by engineer's notes):

Sprinkler System: installed 1986

Heating: building converted from oil to gas in 1991, and most recent boiler installed in fall, 2022; oil tank professionally abandoned in place under macadam at corner of Chapel; steam radiators

Domestic Water: two tanks are located in the mechanical pit, near the boiler

Electrical System: new system installed in 1991, including salvaged emergency generator; new external feeds installed 2003



Basement mechanical pit: boiler and hot water tanks



Basement mechanical room: controls for sprinkler system



East Pavilion basement: likely remnants of 1924 systems



Chapel above basement mechanical room: floor registers in central aisle



# ACCESSIBILITY

## DESCRIPTION



Primary access to first floor provided by stairs and lift to south porch, and Chapel entry, on grade, along the South Elevation



West Addition (1924) allows accessible exterior entry directly to basement level, with exterior stairs to the first floor



Chapel floor (nave/pew level) is seven risers below the main first floor level

The building includes points of entry at both the basement and first floor levels. The main rooms in the basement (not including the mechanical space) are at a single elevation which can be directly accessed from the door beneath the western/main portico, providing an accessible circulation path to the elevator.

The First Floor has 4 different elevation levels, with the floors on the West and Central Additions of the building consistently at the same elevation. The Houghton hydraulic elevator, installed in the West Addition in 1963, stops at all three of the floors in the West Addition and can serve the Central Addition as well as the Second Floor above the Chapel.

An exterior lift is installed to provide access from grade at the south porch.

The Chapel has three different elevation levels: the main nave/pews are accessible from grade but the sanctuary and office spaces/east porch are several steps higher. However, none of these spaces are at the same elevation as the First Floor in the later additions.



Elevator installed in 1960s, in West Addition (1924): in memory of the founder Cortland dePeyster Field