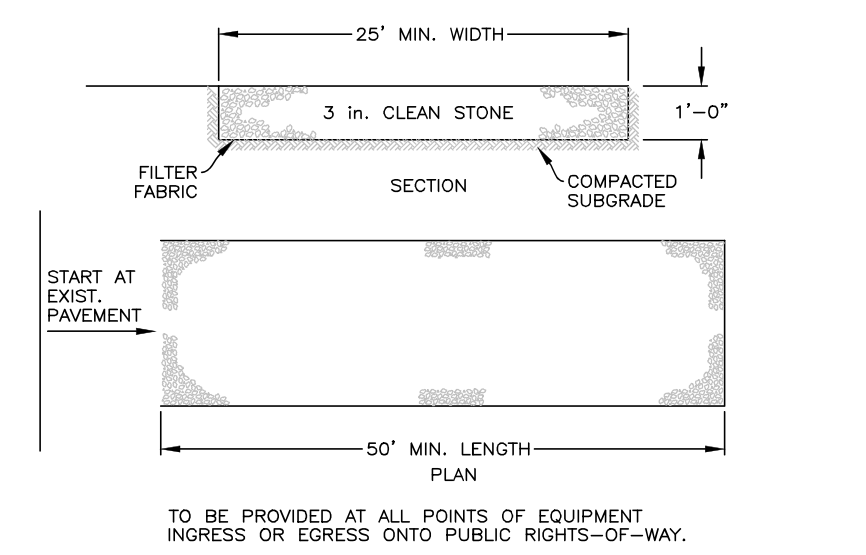


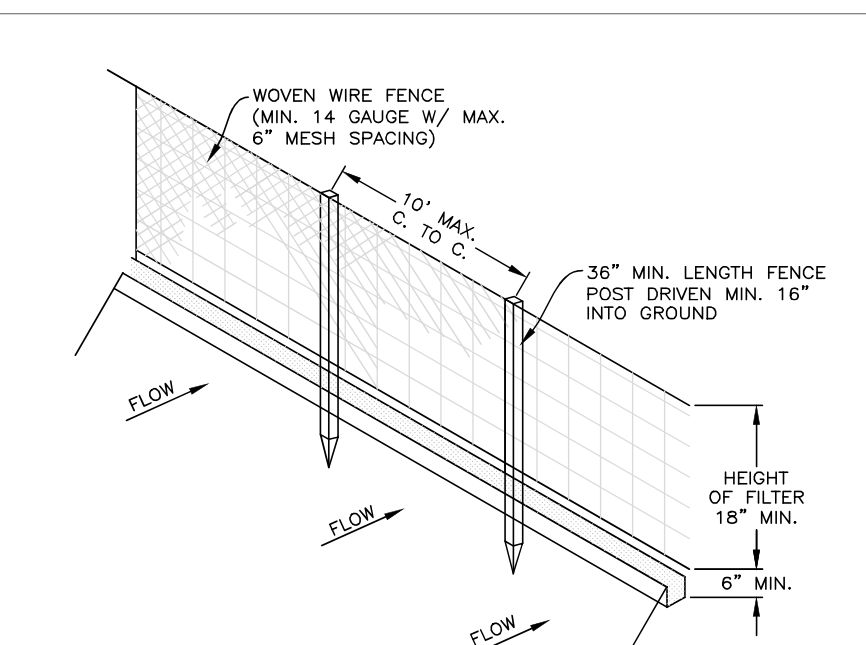
**EROSION CONTROL NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
- ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).



- INSTALLATION NOTES**
- STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
  - THICKNESS - MAXIMUM SIX (6) INCHES.
  - WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNDING BERM WITH 3:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)**



**DEEP TEST HOLE DESCRIPTIONS**

| DEPTH    | DESCRIPTION                                    |
|----------|--|
| 0"-6"    | TOPSOIL  |
| 6"-91"   | MODERATELY COMPACT LIGHT BROWN SANDY LOAM      |
| NO WATER |  |
| NO LEDGE |  |
| 0"-6"    | GRAVEL   |
| 6"-24"   | LIGHT GRAY SANDY LOAM                          |
| 24"-78"  | HEAVILY COMPACT SANDY LOAM WITH TRACE OF SANDS |
| 60"      | WATER  |
| NO LEDGE |  |

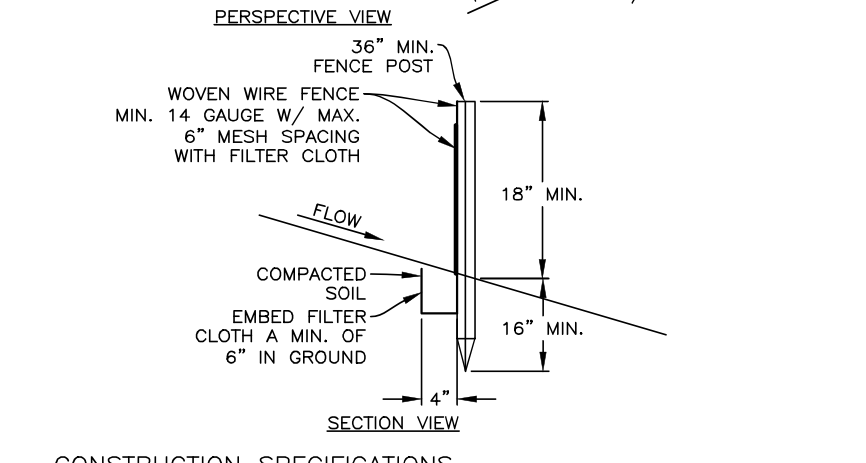
**PERCOLATION TEST DATA**

| HOLE No. | INCH/HOUR |
|----------|-----------|
| PT1      | 5         |
| PT2      | 8         |

**ZONING CONFORMANCE**

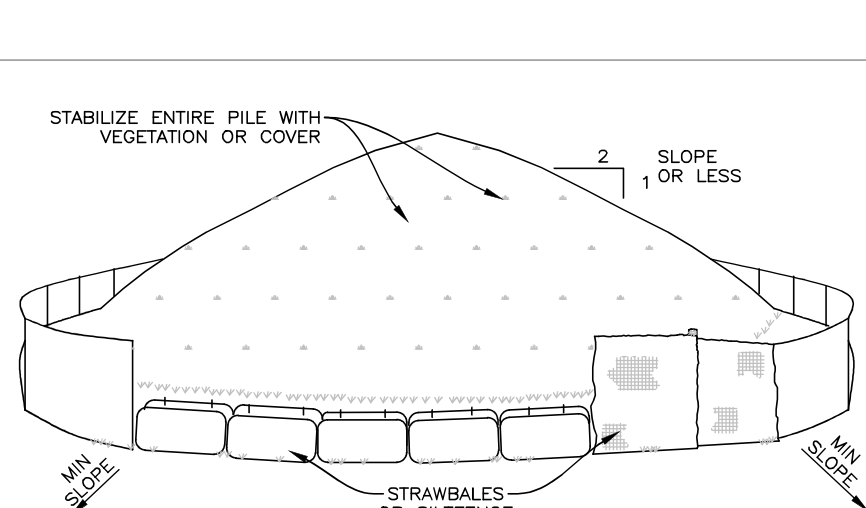
ZONE: R1-20  
USE: SINGLE FAMILY RESIDENCE

|                   | REQUIRED BY CODE | EXISTING      | PROPOSED      |
|-------------------|------------------|---------------|---------------|
| LOT AREA          | 20,000 S.F.      | 39,641.6 S.F. | 39,641.6 S.F. |
| LOT WIDTH         | 100'             | 283.92'       | 283.92'       |
| SETBACKS:         |                  |               |               |
| FRONT             | 40'              | 88.7'         | 62.8'         |
| SIDE              | 15'              | 103.1'        | 96.3'         |
| TOTAL OF BOTH     | 40'              | 218.6'        | 208.8'        |
| REAR              | 40'              | 23.9'         | 23.9'         |
| BUILDING HEIGHT   | 2.5 STORY OR 35' | N/A           | <35'          |
| BUILDING COVERAGE | 20%              | N/A           | 8.7%          |



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH TIES OR STAPLES. POST SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OR EQUIVALENT.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED OVER FILTER CLOTH. EITHER FILTER X, MIRAFL 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  - PRE-FABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL**



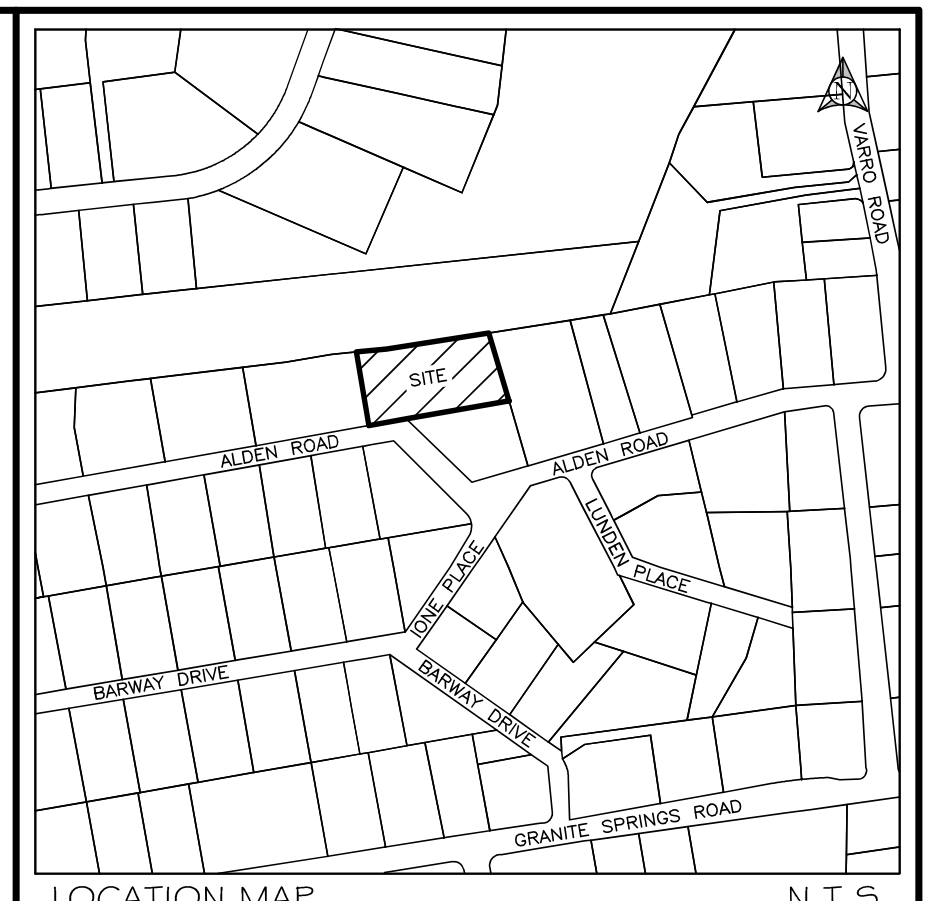
- TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY (HARDENED) OR HAVE LOW AVAILABLE MOISTURE FOR PLANTS). STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO PROTECT SLOPES THROUGH TRANSLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.
- TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. STABILIZATION MEASURES SHOULD BE APPROPRIATE FOR THE TIME YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

**INSTALLATION NOTES**

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

**TEMPORARY MATERIAL STOCKPILE**

N.T.S.



**LOCATION MAP**

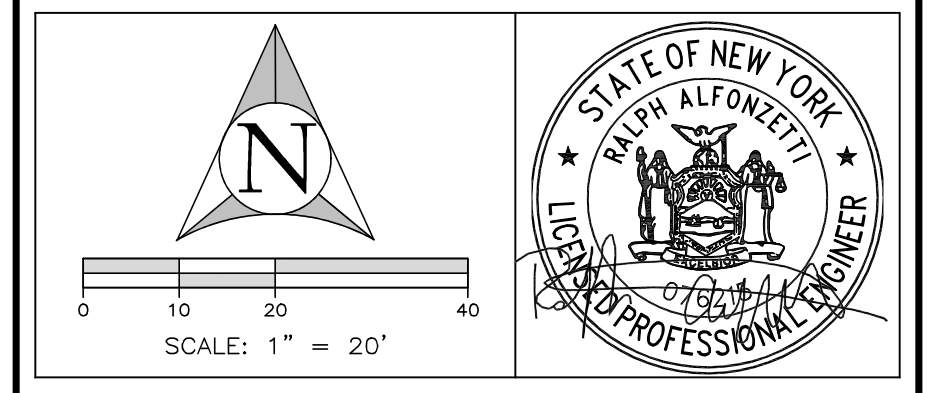
**CONSTRUCTION NOTES:**

- THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
- THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
- EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
- AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
- THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
- UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
- ALL PROPOSED OR DISTURBED SLOPES, 1H:2V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
- IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
- NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUFFICIENT BEARING CAPACITY.
- OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

**GENERAL NOTES:**

- THIS PLAN IS NOT A SURVEY.
- EXISTING FEATURES SHOWN HEREON ARE TAKEN FROM SURVEY MAP ENTITLED "TOPOGRAPHIC SURVEY 354 ALDEN ROAD, YORKTOWN, NEW YORK PREPARED FOR HERMAN UGUNA" BY ROWAN LAND SURVEYING, PLLC DATED JUNE 30, 2024.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED BY THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



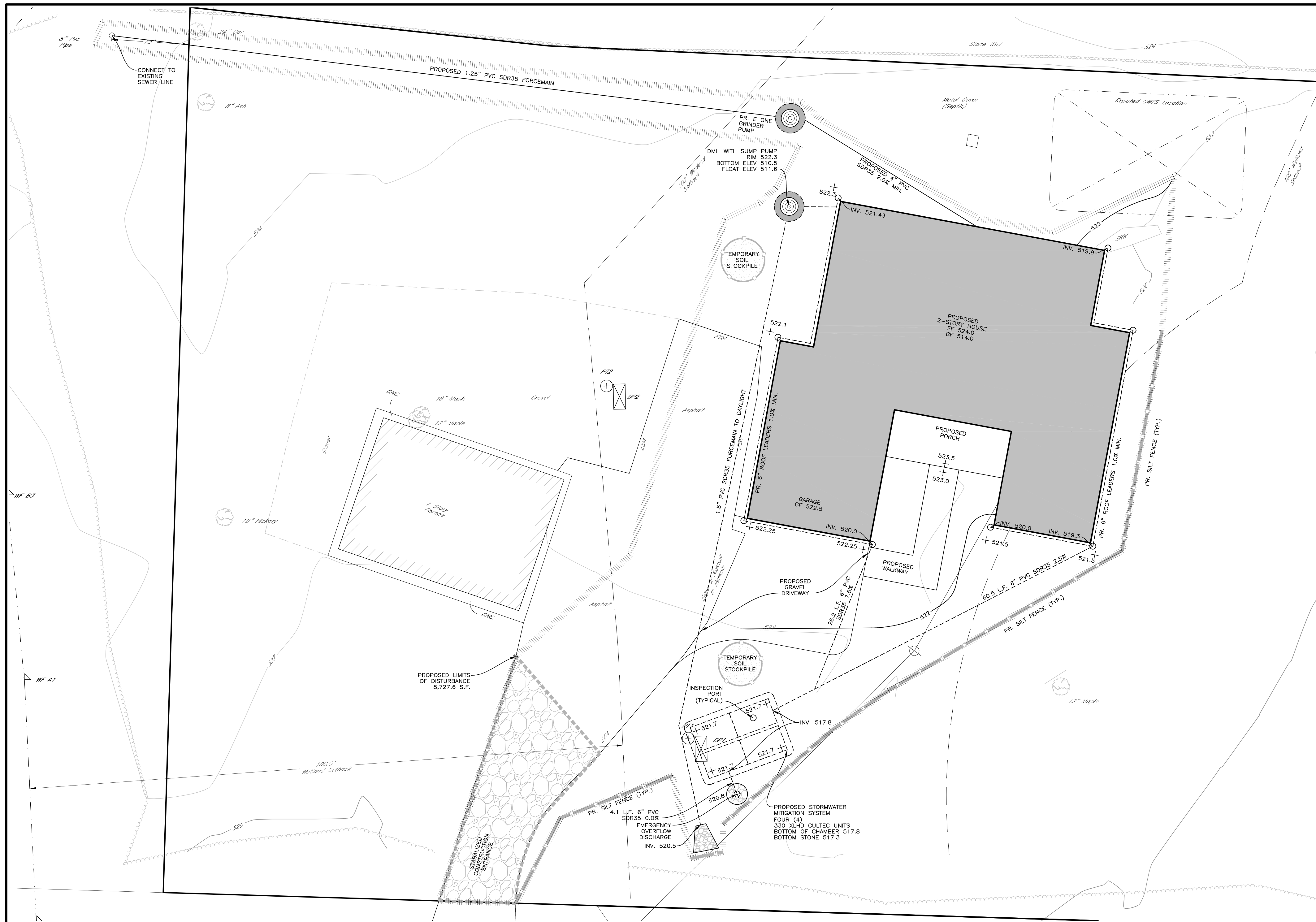
**ALFONZETTI ENGINEERING, P.C.**

14 SMITH AVE, MT. KISCO, N.Y. 10549

914-666-9800 INFO@ALFONZETTIENG.COM

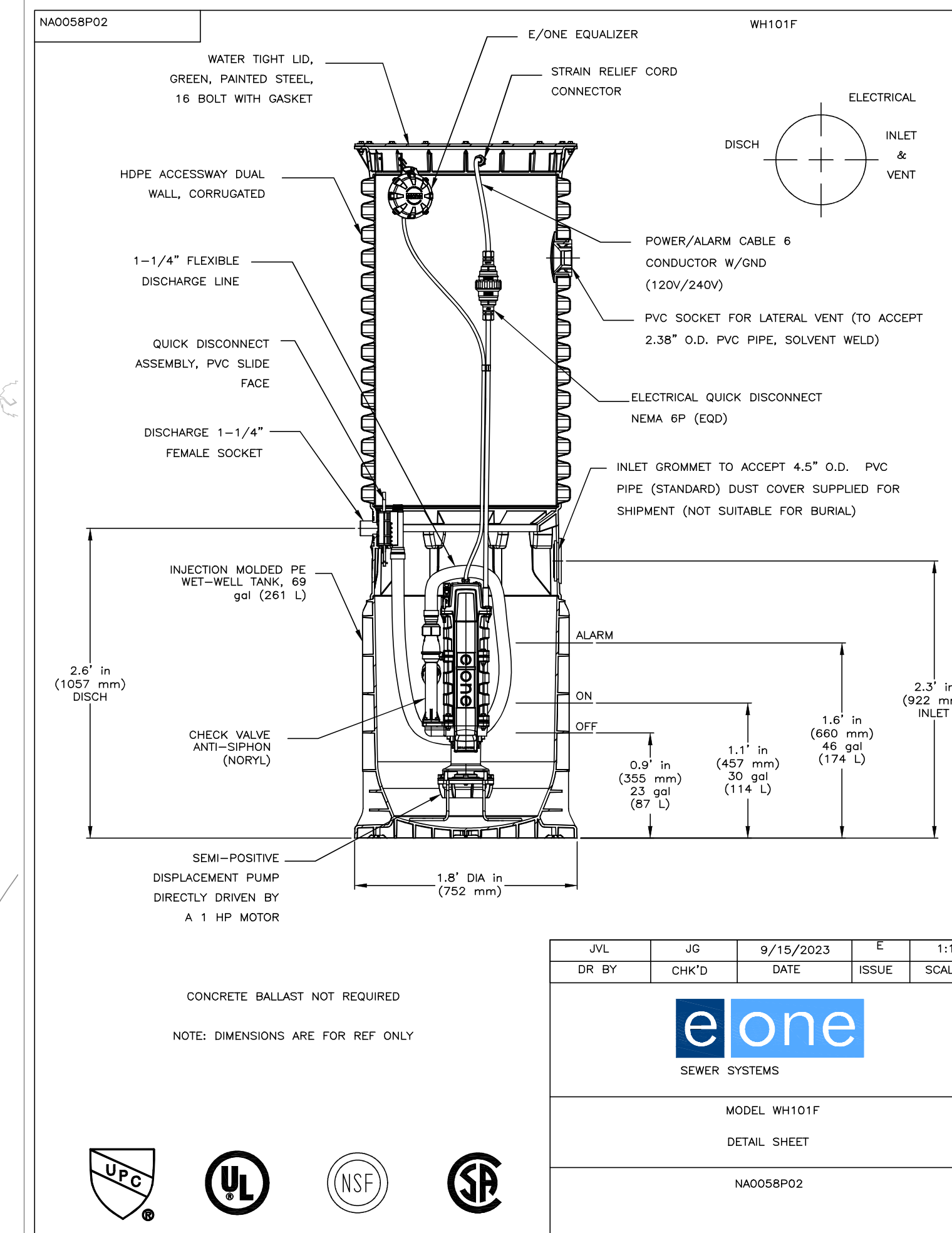
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|--|---------------------------|
| OWNER/APPLICANT:<br>HERMAN UGUNA   |                           |
| SITE ADDRESS:<br>354 ALDEN ROAD<br>YORKTOWN HEIGHTS<br>NEW YORK, 10598       |                           |
| TAX MAP #: 27.10-1-9   |                           |
| LOT AREA: 0.91 ACRES   | REVISED: JANUARY 13, 2025 |
| ZONING: R1-20  | REVISED: NOVEMBER 6, 2024 |
|  | REVISED: OCTOBER 9, 2024  |
| DRAWING: EXISTING CONDITIONS AND LAYOUT PLAN<br>AUGUST 14, 2024              | SHEET: 01 OF 02           |
| PROJECT: UGUNA RESIDENCE<br>TOWN OF YORKTOWN<br>WESTCHESTER COUNTY, NEW YORK |                           |



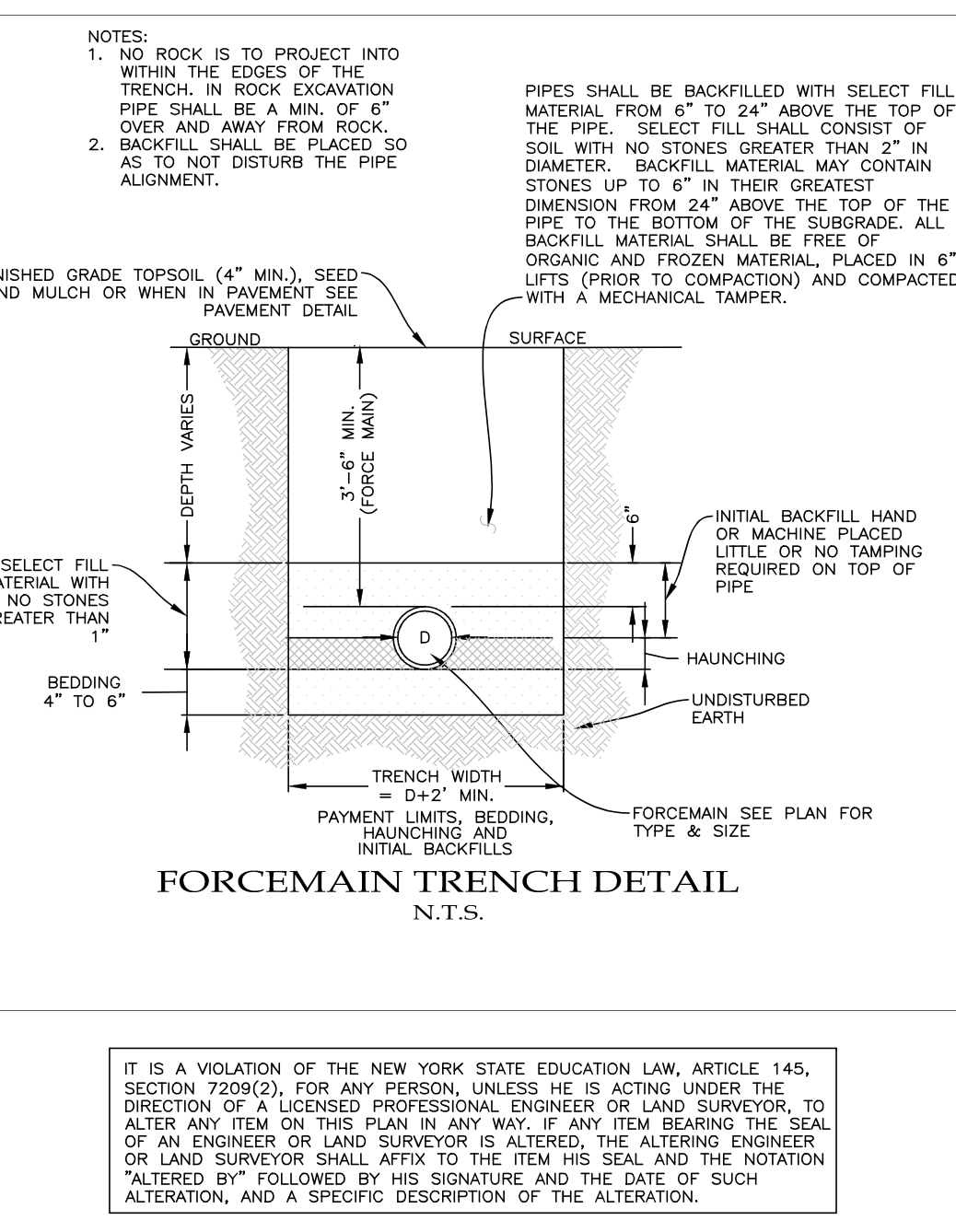
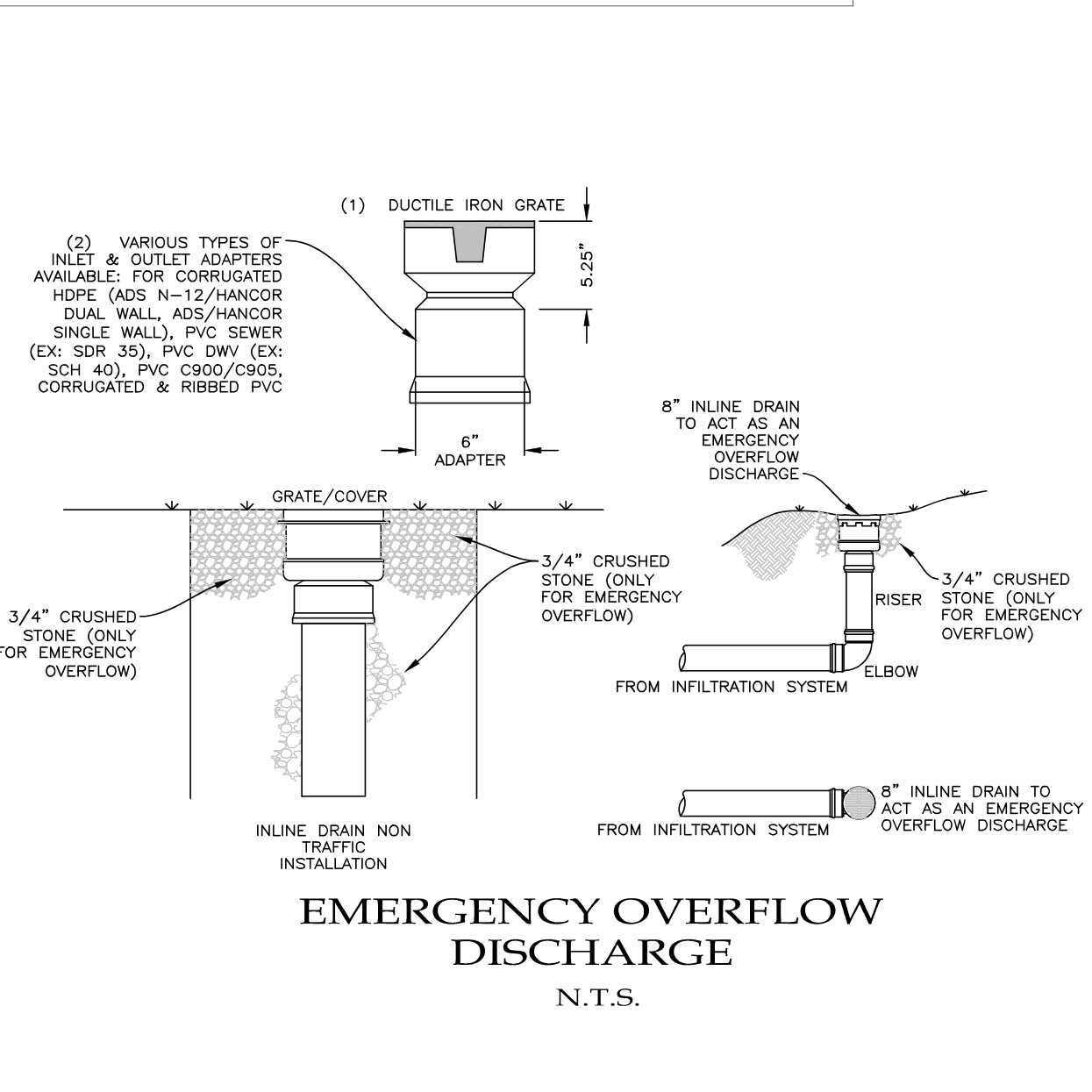
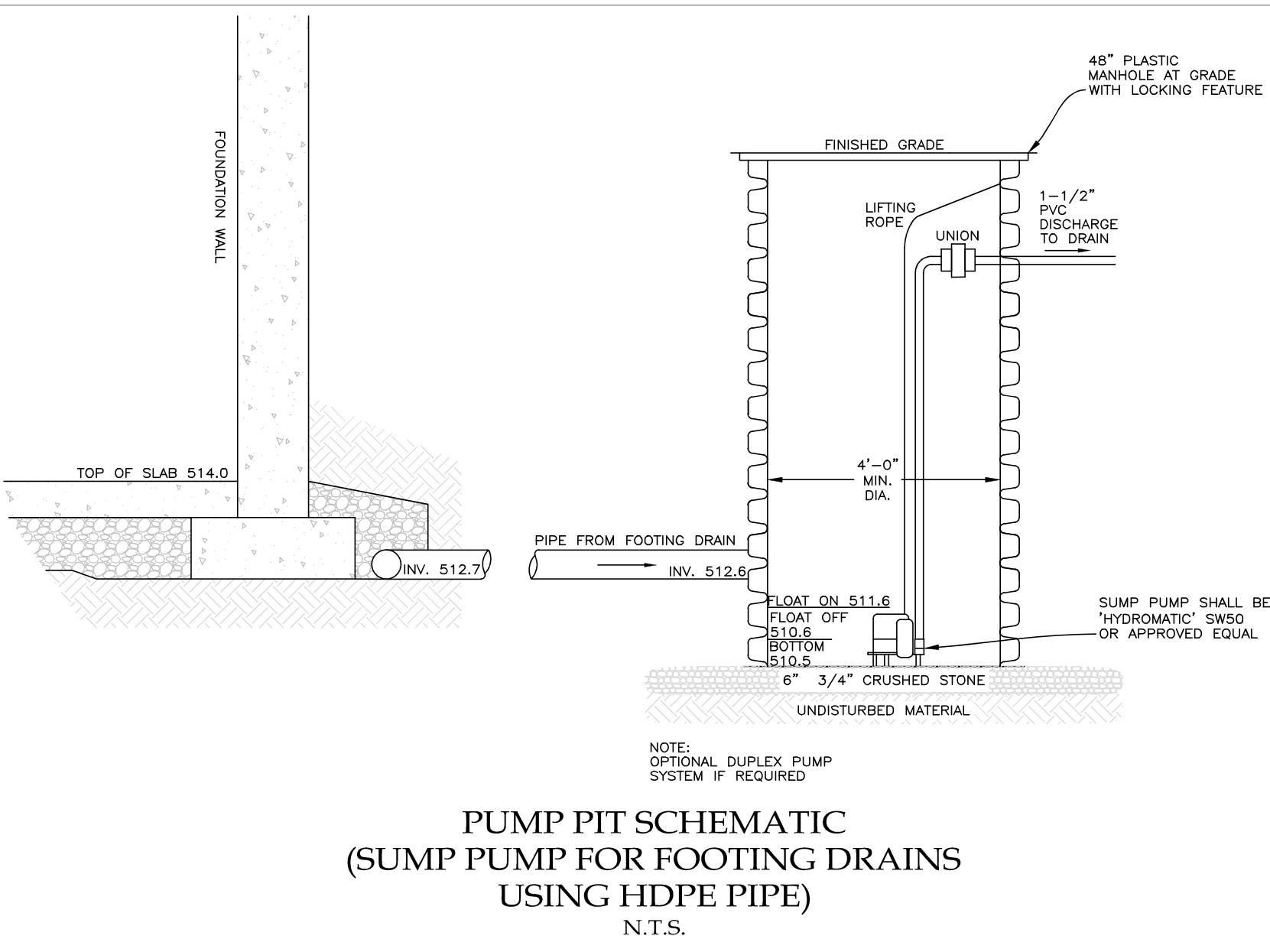
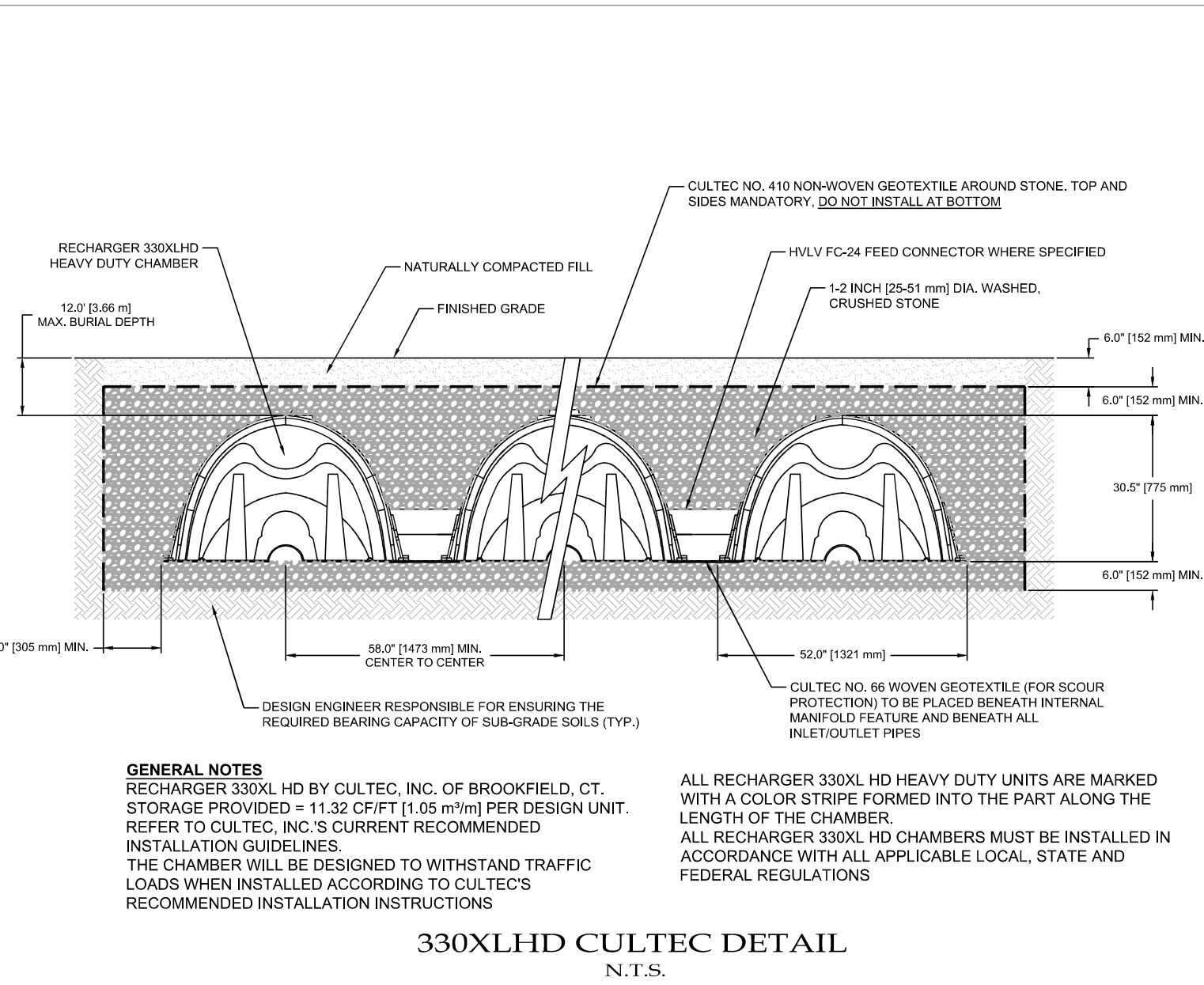
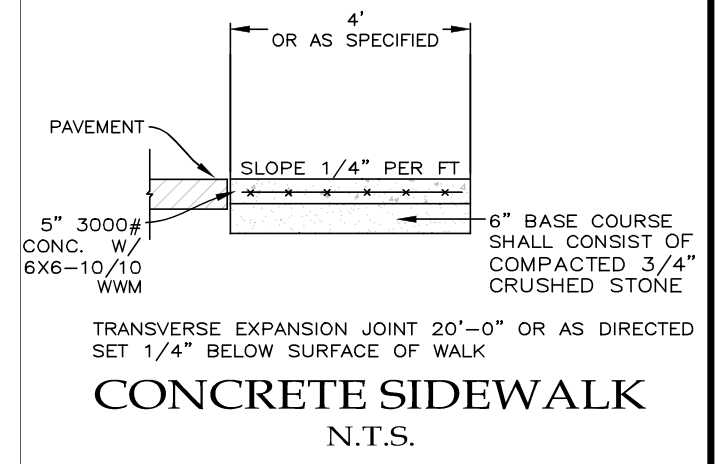
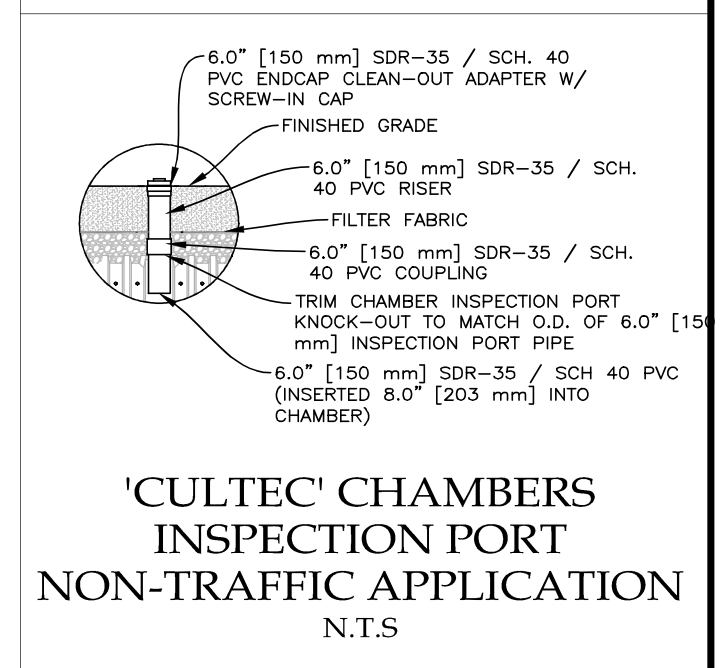
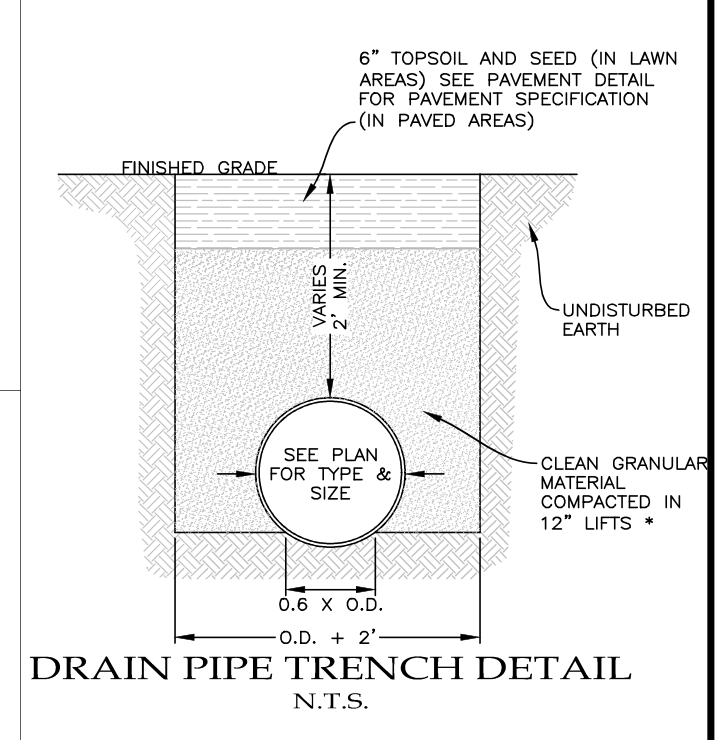


**Cut/Fill Summary**

| Name           | Cut Factor | Fill Factor | 2d Area         | Cut           | Fill          | Net                  |
|----------------|------------|-------------|-----------------|---------------|---------------|----------------------|
| CUT/FILL 1.000 | 1.000      |             | 8580.77 Sq. Ft. | 14.03 Cu. Yd. | 28.44 Cu. Yd. | 14.40 Cu. Yd. <Fill> |
| Totals         |            |             | 8580.77 Sq. Ft. | 14.03 Cu. Yd. | 28.44 Cu. Yd. | 14.40 Cu. Yd. <Fill> |



**E ONE GRINDER PUMP MODEL WH101F N.T.S.**



**ALFONZETTI ENGINEERING, P.C.**  
 14 SMITH AVE, MT. KISCO, N.Y. 10549  
 914-666-9800 INFO@ALFONZETTIENG.COM

| SITE DATA  |  |
|--|--|
| OWNER/APPLICANT:<br>HERNAN UGUNA                                       |  |
| SITE ADDRESS:<br>354 ALDEN ROAD<br>YORKTOWN HEIGHTS<br>NEW YORK, 10598 |  |
| TAX MAP #: 27.10-1-9   |  |
| LOT AREA: 0.91 ACRES   |  |
| ZONING: R1-20  |  |
| REVISIONS:   |  |
| REVISOR:   |  |
| DATE:  |  |
| REVISION:  |  |
| DATE:  |  |
| REVISION:  |  |
| DATE:  |  |

**SITE DEVELOPMENT**  
 AUGUST 14, 2024

PROJECT: **UGUNA RESIDENCE**  
 TOWN OF YORKTOWN  
 WESTCHESTER COUNTY, NEW YORK

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