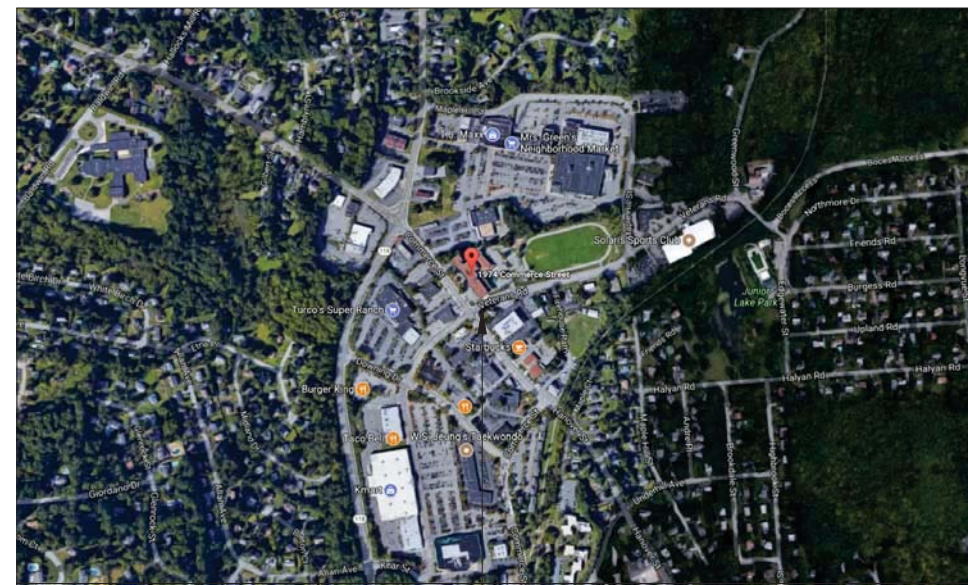


AERIAL MAP
No Scale



AERIAL VIEW
No Scale



TOILET ROOM UPGRADES

Yorktown Cultural and Community Center

1974 Commerce Street
Yorktown Heights, NY 10598



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Toilet Upgrades Town of Yorktown

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A.C.T.	ACOUSTIC CEILING TILE	G.	GENERAL CONTRACTOR	Q	QUARTER
A.F.F.	ABOVE FINISHED FLOOR	G.C.	GYPSUM WALLBOARD	QTR.	QUARTER
ACT.	ACTUAL	G.A.	GAUGE	R	ROOF DRAIN
ADJ.	ADJACENT	GALV.	GALVANIZED	R.O.	ROUGH OPENING
ALT.	ALTERNATE	GL.	GLASS	RAD.	RADIUS
ALUM.	ALUMINUM	GND.	GROUND	REC.	RECREATION
ANOD.	ANODIZED	GYP.	GYPSUM	REF.	REFERENCE
APPROX.	APPROXIMATE	H		REG.	REGISTER
AUTH.	AUTHORITY	H.M.	HOLLOW METAL	REINF.	REINFORCE / REINFORCEMENT
AUTO.	AUTOMATIC	H.P.	HIGH PRESSURE	REQD.	REQUIRED
AVG.	AVERAGE	H.P.L.	HIGH PRESSURE LAMINATE	RET.	RETURN
B		HDWD.	HARDWOOD	RFG.	ROOFING
B.M.	BENCH MARK	HDWR.	HARDWARE	S	
B.O.	BOTTOM OF	HORIZ.	HORIZONTAL	S.S	STAINLESS STEEL
B.O.B.	BOTTOM OF BEAM	HTR.	HEATER	SAN.	SANITARY
B.R.	BEDROOM	I		SCHED.	SCHEDULE
B.T.U.	BRITISH THERMAL UNIT	I.D.	INSIDE DIAMETER	SECT.	SECTION
B.U.R.	BUILT-UP ROOFING	IN.	INCH	SERV.	SERVICE
BLDG.	BUILDING	INCL.	INCLUDE	SEWR.	SEWER
BLKG	BLOCKING	INSUL.	INSULATE / INSULATION	SIM.	SIMILAR
BOT.	BOTTOM	INT.	INTERIOR	SK.	SKETCH
C		JCT.	JUNCTION	SPEC.	SPECIFICATION
C.B.	CEMENT BOARD	JT.	JOINT	SPKR.	SPEAKER
C.I.	CAST IRON	K		SQ.	SQUARE
C.I.P.	CAST-IN PLACE	K.D.	KNOCK DOWN	ST.	STONE
C.L.	CENTERLINE	K.O.	KNOCK OUT	STD.	STANDARD
C.M.U.	CONCRETE MASONRY UNIT	KIT.	KITCHEN	STL.	STEEL
C.O.	CLEANOUT	L		STOR.	STORAGE
C.O.2	CARBON MONOXIDE DETECTOR	L.C.C.	LEAD-COATED COPPER	STRUC.	STRUCTURAL
C.R.	CLASSROOM	L.P.	LOW PRESSURE	SVS.	SYSTEM
C.R.	COLD ROLLED	L.R.	LIVING ROOM	T	
C.T.	CERAMIC TILE	LAM.	LAMINATE	T4G	TONGUE AND GROOVE
CAB.	CABINET	LAV.	LAVATORY	T.O.	TOP OF
CATV.	CABLE TELEVISION	LDR.	LEADER	T.O.B.	TOP OF BEAM
CER.	CERAMIC	LG.	LENGTH / LONG	T.O.P.	TOP OF PLATE
CLG.	CEILING	LG.T.	LIGHT	T.V.	TELEVISION
CLG. HGT.	CEILING HEIGHT	LN.	LINEAR	TAN.	TANGENT
CLR.	CLEAR	LKR.	LOCKERS	TECH.	TECHNICAL
COMP.	COMPOSITION	LMB.	LUMBER	TEL.	TELEPHONE
CONC.	CONCRETE	LVL.	LAMINATED VENEER LUMBER	TEMP.	TEMPORARY
CONST.	CONSTRUCTION	M		TEMP.	TEMPERATURE
CONT.	CONTINUE / CONTINUOUS	M.B.R.	MASTER BEDROOM	TERR.	TERRAZZO
CONTR.	CONTRACTOR	M.BATH.	MASTER BATHROOM	THK.	THICK
COORD.	COORDINATE	M.CLOS.	MASTER CLOSET	TOIL.	TOILET
CORR.	CORRUGATED	M.H.	MANHOLE	TOT.	TOTAL
CPR.	COPPER	M.O.	MASONRY OPENING	TYP.	TYPICAL
CPT.	CARPET	MAN.	MANUAL	U	
CS.	COURSE / COURSES	MANUF.	MANUFACTURER	U.L.	UNDERWRITERS LABORATORY
CSK.	COUNTERSINK	MAT.	MATERIAL	U.N.O.	UNLESS NOTED OTHERWISE
CTD.	COATED	MAX.	MAXIMUM	U.O.	UNDERSIDE OF
CTR.	CENTER	MECH.	MECHANICAL	ULT.	ULTIMATE
D		MED.	MEDIUM	V	
D.F.	DRINKING FOUNTAIN	MEZZ.	MEZZANINE	V.	VALVE
DBL.	DOUBLE	MIN.	MINIMUM	V.A.V.	VARIABLE AIR VOLUME
DEG.	DEGREE	MISC.	MISCELLANEOUS	V.B.	VINYL BASE
DEMO	DEMOLITION	MMB.	MEMBRANE	V.C.T.	VINYL COMPOSITION TILE
DET.	DETAIL	MTL.	METAL	V.I.F.	VERIFY IN FIELD
DIA.	DIAMETER	N		V.P.	VENT PIPE
DIM.	DIMENSION	N.	NORTH	VAC.	VACUUM
DN	DOWN	N.I.C.	NOT IN CONTRACT	VERT.	VERTICAL
DR.	DINING ROOM	N.T.S.	NOT TO SCALE	VEST.	VESTIBULE
DWG.	DRAWING	NO.	NUMBER	VIT.	VITREOUS
E		NOM.	NOMINAL	VOL.	VOLUME
E.	EAST	O		W	
E.F.	EXHAUST FAN	O.A.	OVER ALL	W.	WEST
E.J.	EXPANSION JOINT	O.A.E.	OR APPROVED EQUAL	W.C.	WATERCLOSET
E.L.F.	EMERGENCY FIXTURE	O.C.	ON CENTER	W.I.	WROUGHT IRON
EA.	EACH	O.D.	OUTSIDE DIAMETER	W.P.	WATER PROOFING
ELEC.	ELECTRIC	OFF.	OFFICE	W.W.M.	WELDED WIRE MESH
ELEV.	ELEVATION	OPF.	OPENING	W	WITH
ELVTR.	ELEVATOR	OPP.	OPPOSITE	WO	WITHOUT
EQ.	EQUAL	OZ.	OUNCE	WD.	WOOD
EQUIP.	EQUIPMENT	P		WGT.	WEIGHT
EXH.	EXHAUST	P.C.F.	POUNDS PER CUBIC FOOT	WT.	WIDTH
EXIST.	EXISTING	P.S.F.	POUNDS PER SQUARE FOOT	YD	YARD
EXTR.	EXTERIOR	P.S.F.	POUNDS PER SQUARE FOOT	YR	YEAR
F		P.S.I.	POUNDS PER SQUARE INCH		
F.	FAHRENHEIT	P.S.L.	PARALLEL STRAND LUMBER		
F.D.	FLOOR DRAIN	P.T.	PORCELAIN TILE		
F.E.	FIRE EXTINGUISHER	P.V.	PIPE VENT		
F.E.C.	FIRE EXTINGUISHER CABINET	PAR.	PARALLEL		
F.M.	FACTORY MUTUAL	PERP.	PERPENDICULAR		
F.P.	FIREPROOF	PL.	PLATE		
F.R.	FAMILY ROOM	PLBG.	PLUMBING		
FAB.	FABRICATE	PNT.	PAINT		
FIN.	FINISH / FINISHED	PORC.	PORCELAIN		
FLR.	FLOOR	PR.	PAIR		
FOUND.	FOUNDATION	PREFAB.	PREFABRICATED		
FT.	FEET / FOOT	PT.	POINT		
FTG.	FOOTING	PTN.	PARTITION		

GENERAL CONSTRUCTION NOTES

- Contractor accepts the responsibility to provide all materials and labor required to perform the work in conformance with all the notes, details, drawings, etc. contained within this set of construction documents. Contractor to work from the building department approved set of documents.
- All work shall comply with all the applicable sections of the Code of New York State, NEC, NFPA 70, local Zoning Code Laws, and with all other applicable codes & the respective agencies having jurisdiction. In all cases, the most restrictive limitation of any applicable code shall be followed by the Contractor. It is the responsibility of each Contractor to carry out the work specified and in accordance with these codes, rules, regulations governing and to all the requirements, recommendations and instructions outlined by the manufacturers.
- Any Electrical and Plumbing work shall be performed and inspected under permits acquired at the expense of each Contractor. Electrical and Plumbing Contractors are to be fully licensed and insured. General Contractor shall be licensed and insured.
- No substitutions shall be made without consulting the Architect first.
- Contractor(s) shall follow all listed and noted dimensions and notes. DO NOT SCALE OFF OF DRAWINGS.
- Contractor to notify the Owner, in a timely manner, when the work will begin on the project and shall coordinate with same. Contractor to verify all existing conditions prior to the start of related work. Any discrepancies found shall be brought to the Architect's attention in a timely manner and prior to the commencement of work.
- Contractor shall coordinate work and trades with the timeline of required inspections so as to not delay the progress of the project. Contractor responsible for acquiring all inspections.
- The Contractor shall coordinate and cooperate with all other Contractors and shall cut, lay and install their work at such a time and manner so that no delay or interference with the carrying forward of the work of other Contractors shall occur.
- Contractor to institute & maintain all safety measures & and shall provide all equipment and temporary construction necessary to safeguard all persons & property. Contractor is responsible for all temporary supports and shoring, (including any engineering of such supports and shoring).
- Contractor is responsible for all means and methods of construction, all temporary services, protection against weather, and the coordination of trades and respective services.
 - All permits and close-out procedures shall be secured by, and at the expense of, the Contractor. Contractor shall give all notices and requests for all testing and inspections required by the governing jurisdiction. No work shall start until all the necessary permits are issued and the Contractor's work shall be considered complete only when all required close-out documents are in order.
 - Contractor shall notify Architect during the demolition phase of any questionable condition of exposed materials that are to remain, along with all load-bearing members, etc. Any discrepancies found between those uncovered in the field and those indicated on the Drawings shall be brought to the Architect's attention in a timely manner.
- All patching & repairing shall be done with material & workmanship to match adjacent. All new construction to align with existing unless otherwise indicated.
- All work shall be executed in accordance with the best acceptable trade practices, per Manufacturers recommendations, & per the requirements of the Code. Owner and Architect reserve the right to reject unacceptable construction at the expense of the Contractor. Contractor to provide to the Owner all warranty and guaranty information provided by the appropriate manufacturers and shall inform the Owner of warranties and guaranties associated with said Work.
- Any excavation shall be completed by the contractor to include final grading, seeding and replacement of any existing planting damaged by construction operations.
- Any substitution to any specified materials or assemblies requested by the Contractor shall be presented to the Architect in a timely manner. Contractor shall furnish to the Architect all product data, test report data, code related material, etc. regarding the substitution (if applicable) along with a signed approval by the Owner indicating that the Owner has approved such substitution pending the approval of the Architect. The Architect reserves the right to reject such substitution for any reason. In the event of a rejection, the Contract Amount shall not be increased by the use of the specified material over the requested substitution.
- All construction debris & refuse shall be removed from the project site on a regular basis and legally disposed of off of the property.
- All finishes shall comply with The New York State Building Code. All materials & assemblies required to have a fire resistance rating shall be of an approved assembly by The Underwriters Laboratories (UL) or an approved agency.
- All fixtures, finishes, furnishings, equipment, hardware, etc. to be approved of by the Owner. Contractor to coordinate Owner supplied material with Contractor's work.
- No responsibility has been assumed by the Architect for information supplied by others and believed by the Architect to be reliable, nor for any conditions which were concealed or impossible to detect without substantial and/or extensive probing or testing nor for any latent defects in the existing structure. Architect assumes no liability for any work not in conformance with the Code nor for existing conditions shown hereon.
- Any site observations performed by the Architect are solely for the Architect's purpose of determining if the Work is being carried out in accordance with the Contract Documents for the general design and aesthetic intent. The Architect's presence on the site in no way relieves the Contractor of his duties to perform the Work in accordance with the Contract Documents, the rules and regulations mandated by the local municipality, or the requirements of the New York State Building Code. The Architect will not be held liable for any unsatisfactory Work performed, the quality of craftsmanship, means and methods of construction and site safety, exceptions by the local municipality failed inspections, or any other deficiencies by the Contractor.
- Any required as-built drawings, final and progress surveys, and required close-out documents, shall be acquired by the Contractor at his expense.
- Architect not retained by Owner for services during construction and therefore will not perform any inspections, will not sign off nor will approve any work performed. Architect will not provide any affidavits of inspection, affidavits of final construction costs, nor furnish any documents attesting to the completion or conformance of the work performed by the Contractor.

BUILDING CODE INFORMATION

2015 INTERNATIONAL BUILDING CODE AND INTERNATIONAL EXISTING BUILDING CODE w/ 2016 NEW YORK STATE UNIFORM CODE SUPPLEMENT

CLASSIFICATION OF WORK: ALTERATION - LEVEL 2
CHAPTER 7 (ALTERATION LEVEL-1) AND CHAPTER 8 (ALTERATION LEVEL-2) APPLICABLE

CHAPTER 7 - ALTERATIONS LEVEL-1

- SECTION 701 - GENERAL: Complies with this Section (Flood Hazard Area not applicable)
- Section 702 - BUILDING ELEMENTS AND MATERIALS: Interior Finishes and Carpeting are specified in compliance with the 2015 International Building Code w/ the 2016 NYS Supplement. Methods and Materials used by Contractor to conform to the 2015 International Building Code w/ the 2016 NYS Supplement.
- Section 703 - FIRE PROTECTION: Alteration shall maintain or exceed the required protection.
- Section 704 - MEANS OF EGRESS: Proposed scope of work does not decrease the minimum required egress components.
- Section 705 - ACCESSIBILITY: Proposed scope of work complies with this Section of the Code. Proposed scope of work is intended to increase the existing toilet rooms to the proper level of handicap code requirements.
- Section 706 - REROOFING: This Section not applicable.
- Section 707 - STRUCTURAL: Proposed scope of work does not impose additional loads on existing load bearing elements.
- Section 608 - ENERGY CONSERVATION: Proposed scope of work does not conflict with the 2015 International Energy Conservation Construction Code w/ the 2016 NYS Supplement.

CHAPTER 8 - ALTERATIONS LEVEL-2

- SECTION 801 - GENERAL: Proposed scope of work complies with this Section.
- Section 802 - SPECIAL USE AND OCCUPANCY: Not applicable
- Section 803 - BUILDING ELEMENTS AND MATERIALS: Proposed scope of work does not propose any new, or affect any existing, vertical openings or supplemental shafts. Proposed scope of work does not create conditions where smoke compartments are required. Interior Finishes and Carpeting are specified in compliance with the 2015 International Building Code w/ the 2016 NYS Supplement. Methods and Materials used by Contractor to conform to the 2015 International Building Code w/ the 2016 NYS Supplement.
- Section 804 - FIRE PROTECTION: Existing system to remain. No proposed expansion or changes to existing system.
- Section 805 - MEANS OF EGRESS: Proposed scope of work is designed to meet the minimum required egress components, corridor widths, exit door locations, or length of travel distances. Building is not a single-exit building and does not require fire escapes. Proposed scope of work complies with the applicable requirements of this section regarding doors, door swing, egress travel distances, and path of egress lighting.
- Section 806 - ACCESSIBILITY: Proposed scope of work complies with applicable portions of this Section - See SECTION 705 above.
- Section 807 - STRUCTURAL: Proposed scope of work does not affect existing load bearing elements.
- Section 708 - ELECTRICAL: Proposed scope of work complies with applicable portions of this Section. See Electrical Drawings for additional information.
- Section 809 - MECHANICAL: Proposed scope of work complies with applicable portions of this Section. See Mechanical Drawings for additional information.
- Section 810 - PLUMBING: Occupant load not being increased by proposed scope of work - conformance with this Section not required.
- Section 811 - ENERGY CONSERVATION: Proposed scope of work conforms with the 2015 International Energy Conservation Construction Code and 2016 NYS Supplement.

SYMBOLS LEGEND

	SIM	SECTION CALLOUT (VIEW # SHEET No.)		W-1	WALL TYPE
	I Ref	ELEVATION CALLOUT (VIEW # SHEET No.)		(101)	DOOR NUMBER
	I Ref	CEILING DESIGNATION (TYPE # HEIGHT A.F.F.)		(W-12)	WINDOW NUMBER
	I	DEMOLITION TAG		8' - 0"	SPOT ELEVATION (HEIGHT A.F.F.)

GRAPHICS LEGEND

	CONCRETE		PLYWOOD
	FINISHED WOOD		CONCRETE BLOCK
	ROUGH LUMBER		BRICK
	STEEL		RIGID INSULATION
	SAND OR GYPSUM		EARTH

DRAWING LIST	
DWG. No.	DRAWING SHEET TITLE
A.01	PROJECT INFORMATION
A.02	DEMOLITION DRAWINGS
A.03	PROPOSED FLOOR PLANS
A.04	SCHEDULES AND INTERIOR ELEVATIONS

Revisions & Issues		
No.	Description	Date

Project Phase: Building Dep't Submission: For Permit & Construction

Issue Date: June 28, 2017

Project No.: 17-35

Sheet No.: A.01

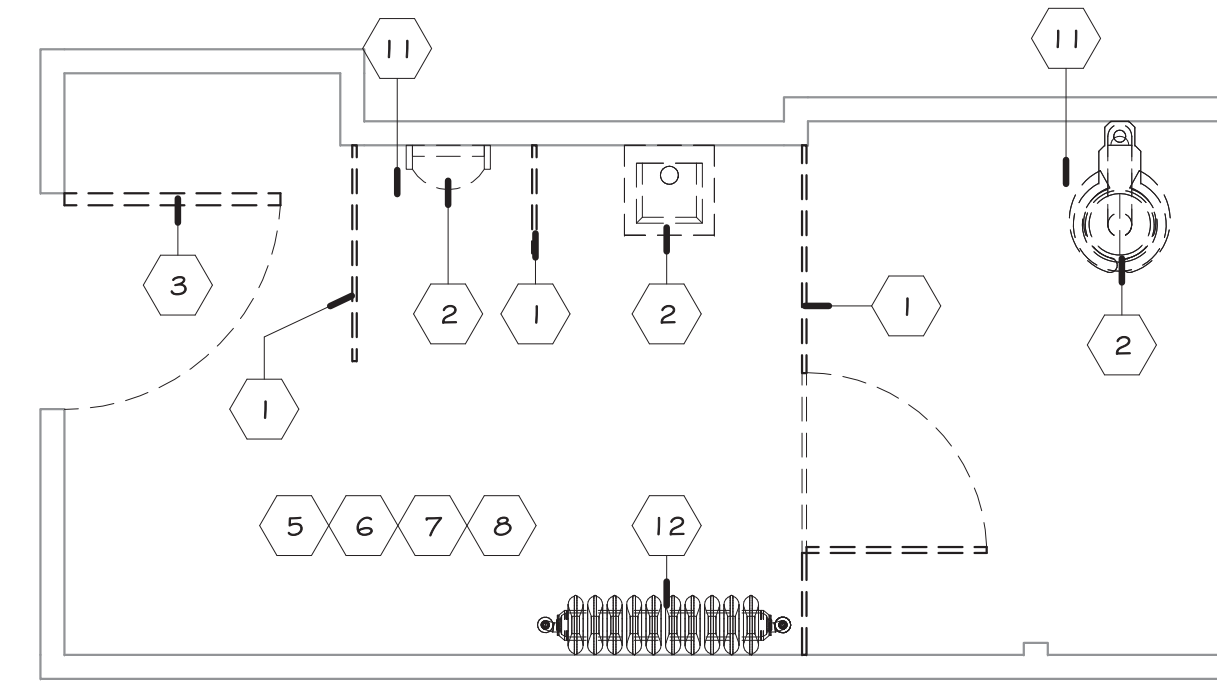
Scale: REGISTERED ARCHITECT DAVID ANTHONY TETRO STATE OF NEW YORK 028059

It is a violation of the New York State Education Law to alter these documents in any way once the date and signature have been affixed by the Architect. Unless these drawings bear the seal and signature of the Architect they shall not be used for the purposes of acquiring a permit or for construction.

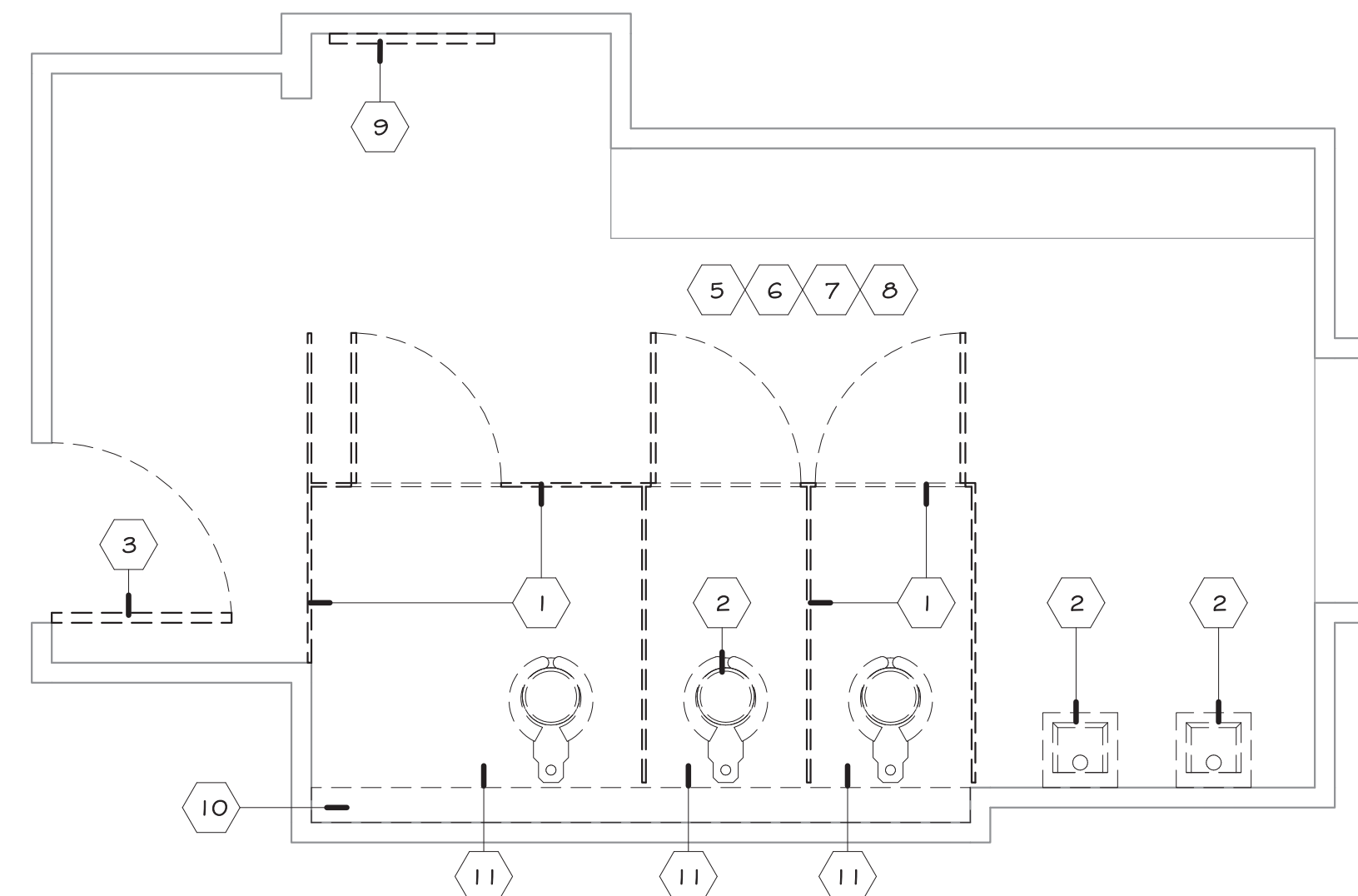
PROJECT INFORMATION

DEMOLITION NOTES

1. The General Contractor / Sub-Contractors shall perform all demolition work as necessary in order to carry out the Work within this Contract. The contractor shall not consider these demolition notes to be all-inclusive. It is the Contractor's responsibility to inspect and assess each area and to fulfill the intent of the design indicated by the contract documents. Contractor shall coordinate demolition work with HVAC, electrical, fire protection and plumbing trades and proposed work and carry out such work accordingly. All necessary disconnections of equipment and systems shall be included.
2. The General Contractor shall visually inspect all existing conditions and shall coordinate any outstanding demo issues with the Architect prior to beginning work. Notify Architect of discrepancies between existing conditions and Drawings before proceeding with any Work. Some portions of the Work may not specifically or graphically be shown on the plans but shall still remain as a requirement for Work to be performed (i.e. electrical wiring, ductwork, some partitions, etc.)
3. In the event that this project requires, or the Owner requests, a separate Demolition Permit, it shall be the responsibility of the Contractor to apply for, pay for, and obtain such permit. All applicable permits, inspections, approvals, etc. shall be applied for and paid for by the trade Contractor(s) required to do so in the field of his Work. Contractor shall be responsible for the coordination of inspections and approvals of said Work. A copy of the municipality approved plans, stamped with the permit number, shall be kept at site together with any revisions and addenda made during construction.
4. Architect is not retained for supervision of construction demolition nor for construction demolition methods, safety procedures and programs, scheduling, delays, or compliance with contract documents. However, the Architect may observe the Work in progress by means of periodic site visits. If requested, the Architect will provide interpretation of the drawings and code requirements as necessary. These observations and interpretations do not relieve the Contractor from any responsibility to carry out the Work in accordance with the Contract Documents or requirements of the Building Code or municipalities having jurisdiction.
5. Contractor shall comply with any governing EPA notification regulations before beginning any demolition Work. Comply with hauling and disposal regulations of authorities having jurisdiction. Comply with ANSI A10.6 and NFPA 241 and all standards required by Authorities having Jurisdiction if required for this particular project.
6. Any controlled inspections and/or certifications required by governing authorities having jurisdiction over the project shall be performed and certified by a licensed Professional Engineer either retained by the Owner or the General Contractor. This must be coordinated between the two parties prior to the start of the Work.
7. Consult Engineering notes for extent of existing building systems to be removed or to be relocated. Removal work is intended to include all associated built-in items such as electrical/data outlets, switches, conduits, controls, piping, mounting blocks, etc. Refer to MEP drawings for procedures concerning these trades in demolition areas or coordinate with associated trades if MEP drawings are not part of the Construction Documents. G.C. shall remove all existing conduit and associated wiring not used back to panel. All existing data wiring and devices shall be removed back to distribution panel.
8. G.C. shall be responsible to protect all interior walls, ceiling and floors, MEP systems, etc. that are to remain from damage during demolition and construction and shall be responsible for the replacement of any items that are damaged as a result of demolition.
9. Contractor shall maintain all measures of sanitation (HEPA filters, negative pressurized areas, compartmentalization measures, sticky mats, etc.) as required by the New York State Department of Health regulations if applicable for this particular project.
10. Provide dumpster for debris removal. Coordinate location with Owner. Remove demolition materials by the end of each work day and vacuum public/common areas before leaving Site. Transport demolished materials off property and legally dispose of them at intervals as necessary to prevent build-up or overflow of demolished material.
11. Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them in an EPA-approved landfill.
12. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent. Do not allow demolished materials to accumulate on-site. Do not burn demolished materials. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
13. Maintain existing services/systems as necessary to carry out the Work and to maintain services to adjacent properties or tenants. Provide temporary services if existing is insufficient. Protect services against damage during course of the Work.
14. The General Contractor, and/or Plumbing Contractor and Electrical Contractor, must contact the corresponding utility company in advance of any Work requiring removal, modification, or replacement of services and/or meters. Each Contractor is responsible, in a timely manner, for acquiring permits and paying such fees, scheduling inspections and acquiring all approvals and close-out documents and procedures as required by the associated utility company or service.
15. Maintain fire-protection facilities in service during course of the Work as required by the local municipality. Coordinate times, locations and zones of any areas where fire protection or life safety (including any system or service lines i.e. oxygen, suction, etc.) services need to be suspended or offline with the Owner in advance of any work that may affect such operation. Do not proceed with any demolition work of these items without obtaining approval and/or notice by the Owner.
16. All Work in a public Right Of Way is subject to the requirements of the D.P.W. and/or Town Engineer. Contractor shall be responsible for acquiring a permit from D.P.W. for this Work, providing and acquiring bond, adhering to all D.P.W. specifications and obtaining written approval from D.P.W. and/or Town Engineer at completion of Work.
17. Conduct demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities. Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain and to ensure safe passage of people around Work area and to and from occupied portions of building.
18. Provide temporary weather protection to prevent water leakage and damage to structure and interior areas. Protect walls, ceilings, floors, and other existing finish Work that are to remain or that are exposed during the course of the Work. Cover and protect furniture, furnishings, and equipment that have not been removed.
19. General Contractor shall be responsible for all shoring, scaffolding, needle beams, etc. as may be required for this Work and for the support and stability of the structure during demolition, modification, erection Work, or any other Work on this project. The General Contractor, or the scaffolding contractor, shall provide to the Architect and (if required) the Building Inspector, a stamped plan or specification prepared by a New York State Licensed Professional Engineer for any lateral and vertical temporary supports.
20. Contractor shall provide all temporary shoring (shoring, needle beams, temporary posts, temporary beams, temporary girders, etc.) for support of load-bearing elements that are to remain in a safe and secure manner. In situations where proposed structure installation cannot occur during the demolition phase, contractor shall provide all required temporary supports and shoring.
21. Architect not responsible for the design, designation, location, or assembly of any temporary shoring. In the event that advanced shoring may be required, the Contractor shall provide their own NYS Licensed Structural Engineer to design the appropriate shoring and shall provide signed and sealed drawings for the Building Department as necessary.
22. Contractor shall provide and maintain temporary lighting for safety purposes and shall provide temporary electric and plumbing as necessary to carry out the demolition work. Contractor shall provide and maintain fire extinguishers on site during the course of the work. Type of extinguisher shall be determined by the nature of the work. Fire extinguishers shall be readily accessible at all times.
23. Patch all construction and assemblies that are to remain in accordance with the contract drawings. Where contractor is designated to make removals, disposition of materials is the responsibility of the contractor. Verify with owner, the disposition and removal of any components of salvageable value.
24. Clean spaces, surfaces, adjacent structures and improvements of dust, dirt, and debris caused by demolition operations - this includes areas of travel, dumpster and carting locations and locations outside the Area of Work. Return adjacent areas to condition existing before selective demolition operations began.
25. Patch or rebuild any areas to remain that have been damaged or disturbed by HVAC, electrical, fire protection and plumbing demolition.
26. Architect not retained, nor responsible, to locate or for the identification, removal, testing and / or certification of removal relative to any hazardous substance including, but not limited to, PCB's, petroleum, mold infestation, hazardous waste, asbestos, lead paint, lead piping, and similar substances. If asbestos, or any other toxic substance, or risk to exposure thereto, is discovered during Work on the project, Contractor shall have the duty to inform the Owner and to coordinate and promptly retain a qualified expert to identify and safely remove or supervise the removal and the monitoring of the removal of such asbestos or other toxic substance.
27. Owner and Contractor shall indemnify and hold Architect harmless from any and all liability on the part of or damage to such entity, including the costs of any legal fees and expenses, as such fees and expenses are incurred, which may result from asbestos or other toxic substance exposure on the project. Contractor shall hold harmless the Owner, the Architect, Engineers, and Professional Consultants related to this project, against claims for damages by any party, including legal fees, which may result in any way from the Work.
28. The removal and disposal of any asbestos containing materials, hazardous materials, or any toxic or controlled materials, from the premises shall be performed and carried out by the Contractor performing such work in strict accordance with New York State, Federal, and Local Government, OSHA and EPA guidelines and requirements.



2 MEN'S ROOM - DEMOLITION
3/8" = 1'-0"



1 WOMEN'S ROOM - DEMOLITION
3/8" = 1'-0"

DEMOLITION KEY

1 SYMBOL ON PLAN REFERENCES KEYNOTES BELOW

- 1 REMOVE INTERIOR TOILET PARTITIONS AND PARTITION DOORS INCLUDING ASSOCIATED BRACING, HARDWARE AND ANCHORS. PREP FOR NEW PARTITION ASSEMBLIES.
- 2 REMOVE ALL TOILET FIXTURES, FIXTURE HARDWARE AND EXPOSED PLUMBING AND WASTE CONNECTIONS AND EXPOSED VALVES. PREP FOR NEW EXPOSED PIPING AND WASTE AND FIXTURES.
- 3 REMOVE EXISTING TOILET ROOM ENTRY DOOR AND FRAME, ALONG WITH ALL ASSOCIATED HARDWARE. PREP OPENING FOR NEW FRAME AND DOOR.
- 5 REMOVE ALL EXISTING WALL TILE AND PREP FOR NEW INSTALLATION.
- 6 REMOVE ALL EXISTING INTERIOR CEILING LIGHTING AND ANY ABANDONED CEILING ACCESSORIES. ALARM AND LIFE SAFETY DEVICES TO BE TAKEN OFFLINE DURING CONSTRUCTION AND RE-ESTABLISHED PRIOR TO FINALIZING PROJECT. (COORDINATE WITH LOCAL FIRE MARSHAL AS NECESSARY).
- 7 REMOVE ALL EXISTING TOILET ROOM ACCESSORIES (SOAP DISPENSERS, ROLL TISSUE DISPENSERS, ETC.).
- 8 STRIP EXISTING FLOOR FOR PREPARATION OF NEW TILE INSTALLATION
- 9 REMOVE EXISTING FAUX DOOR AND PREP FOR NEW INFILL TO MATCH ADJACENT FINISHES
- 10 REMOVE EXISTING LOW WALL BEHIND TOILETS IN ITS ENTIRETY
- 11 CHOP OUT PORTION OF EXISTING TERRAZZO FLOOR FINISH TO SOUND CONCRETE AT LOCATIONS OF HEAVY URINE SOILING AROUND URINALS AND TOILETS. ASSUME 60 S.F.
- 12 REMOVE EXISTING RADIATOR COVER AND RADIATOR. SAVE BOTH FOR RE-INSTALLATION AT PROPOSED LOCATION: SEE PROPOSED PLAN

DAVID A. TETRO
ARCHITECT P.C.
AIA - LEED A.P. - NCARB

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Client / Project:


Toilet Upgrades Town of Yorktown

Yorktown Cultural &
Community Center
1974 Commerce Street
Yorktown Heights, NY
10598

Area Map:

Revisions & Issues		
No.	Description	Date

Project Phase:
**Building Dep't Submission:
For Permit & Construction**

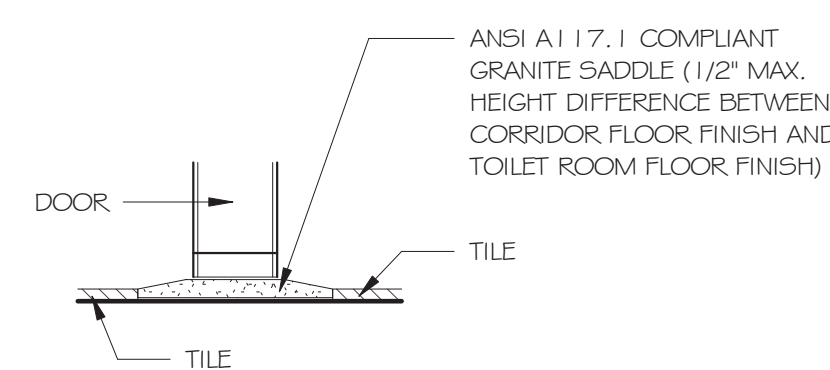
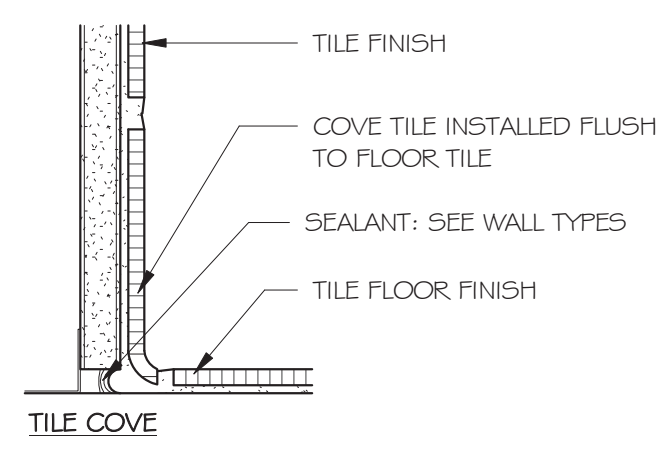
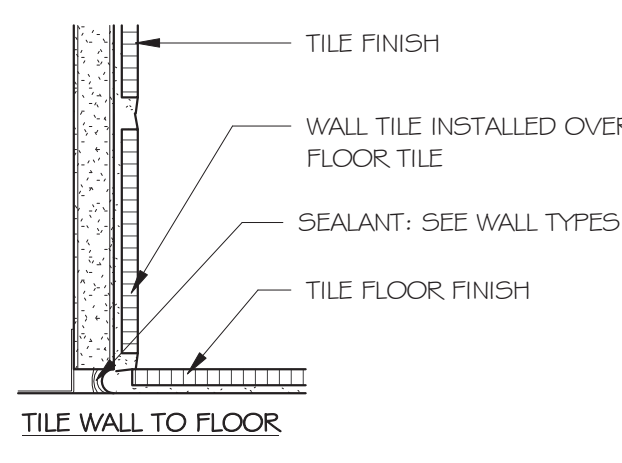
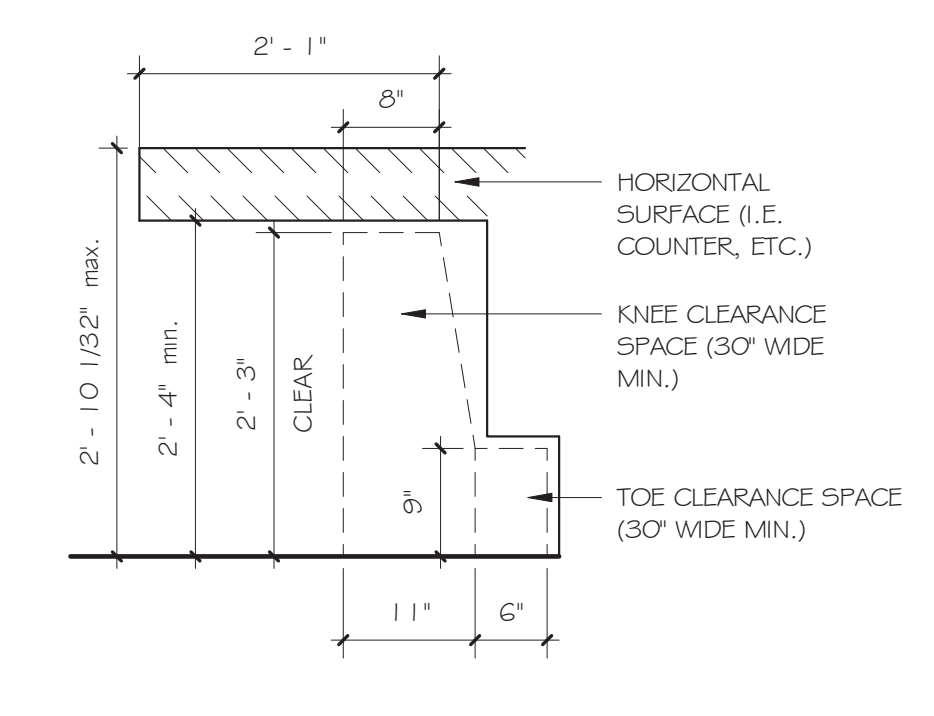
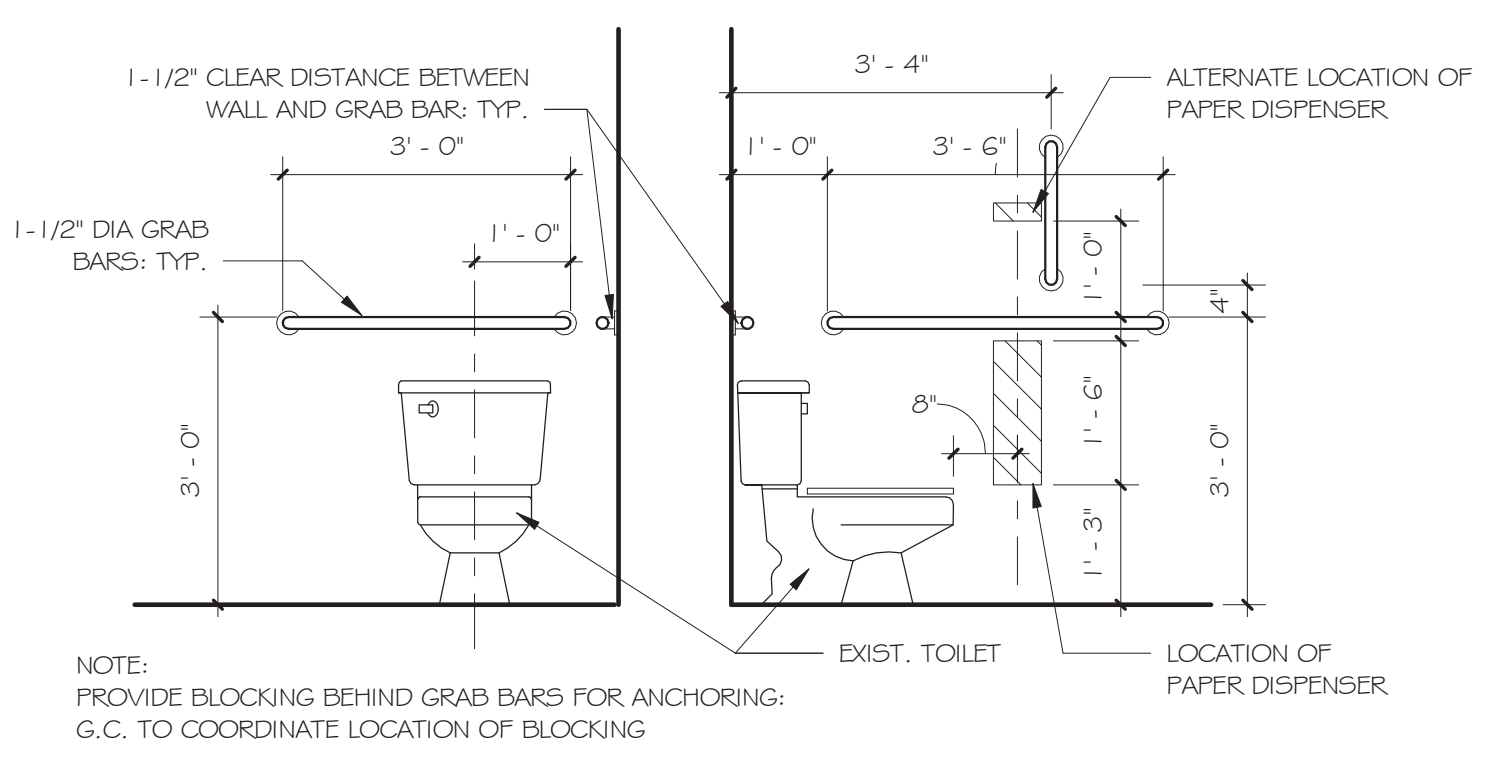
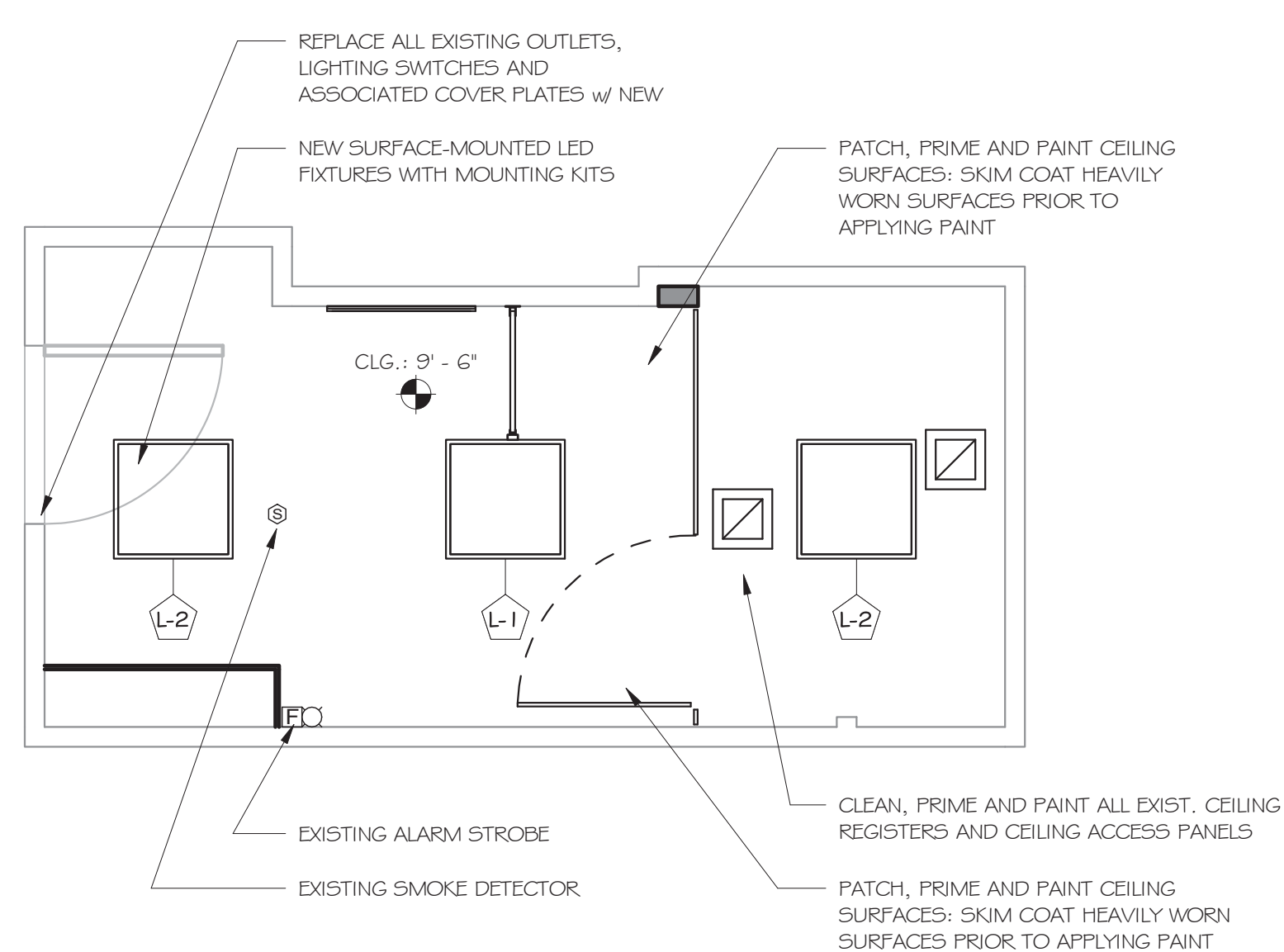
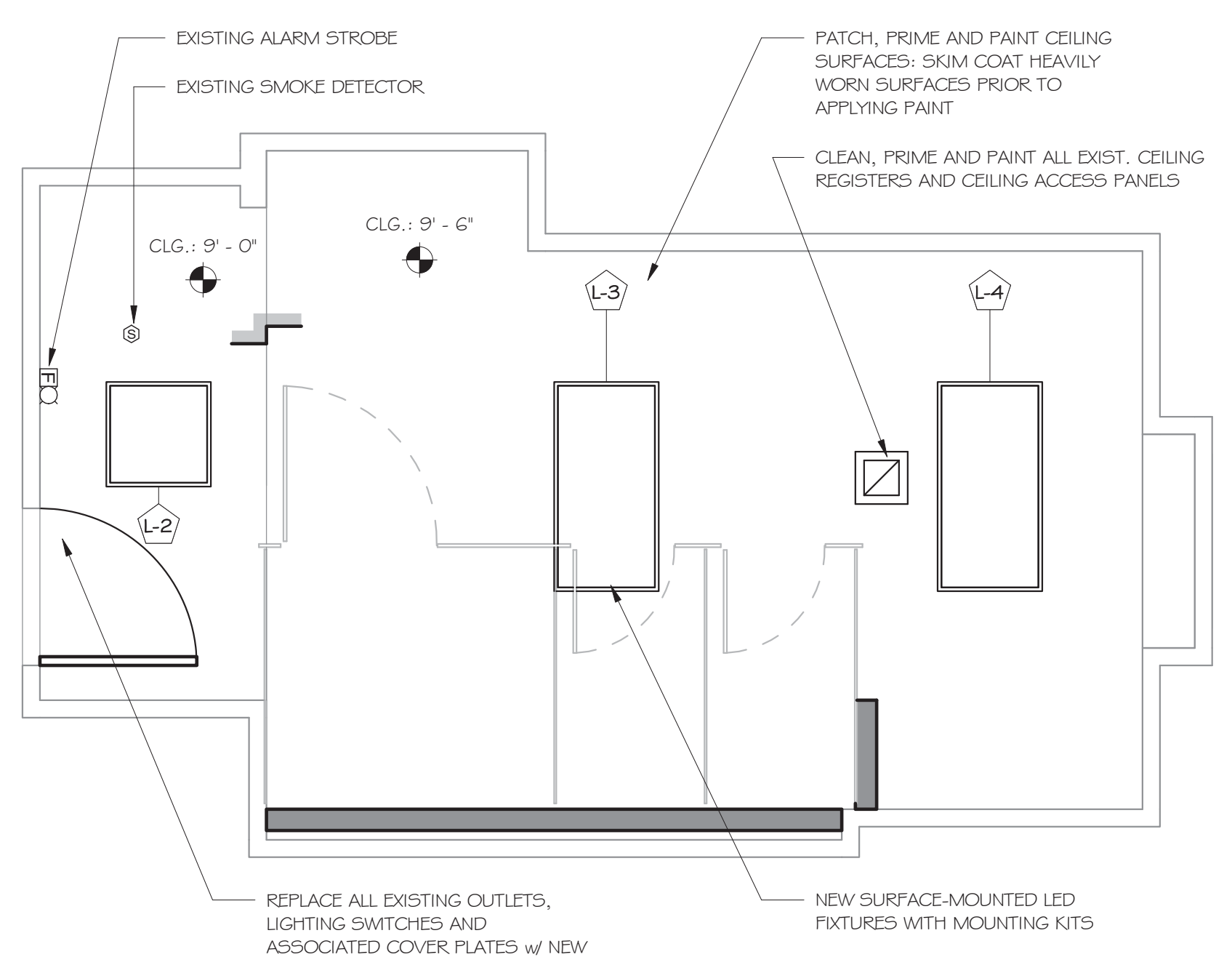
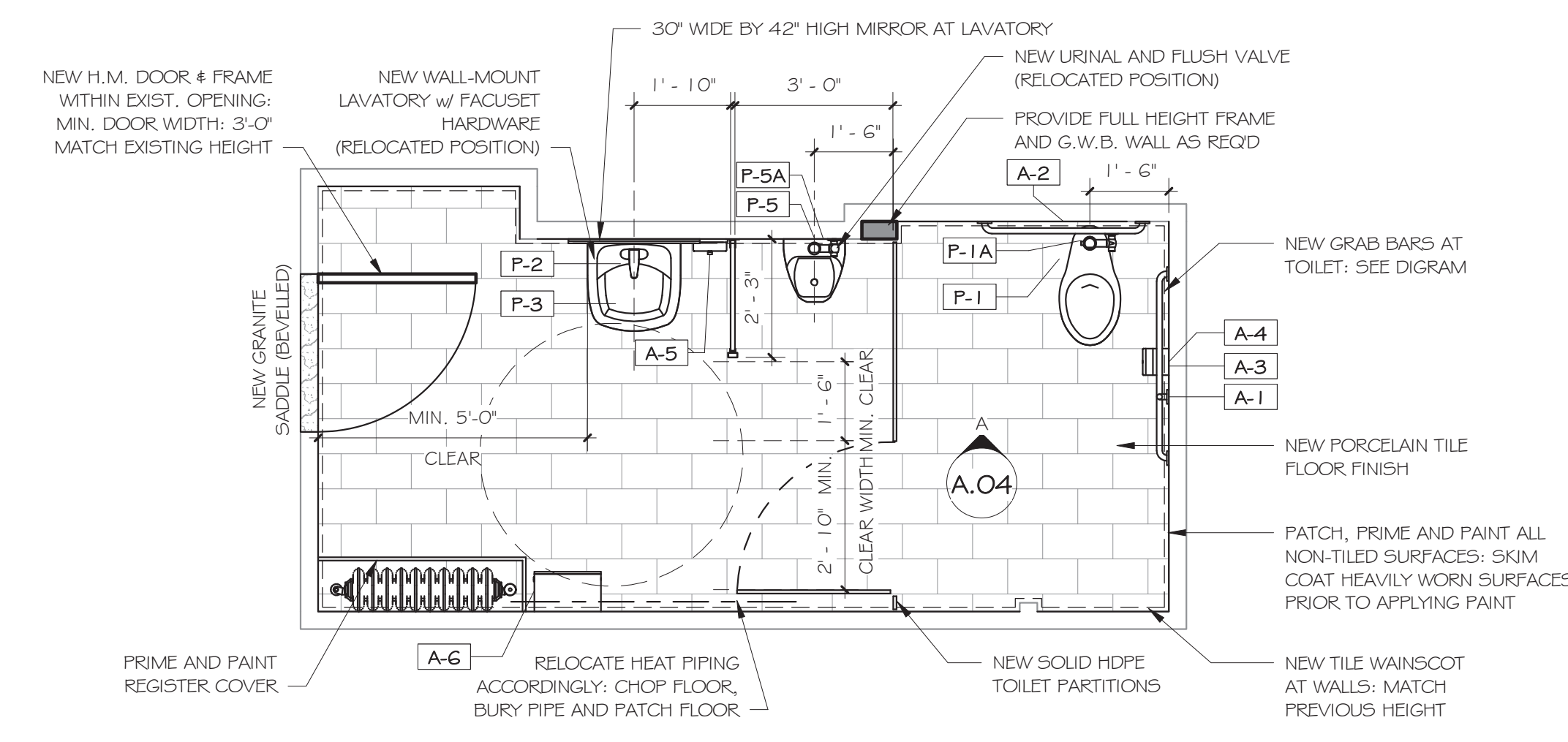
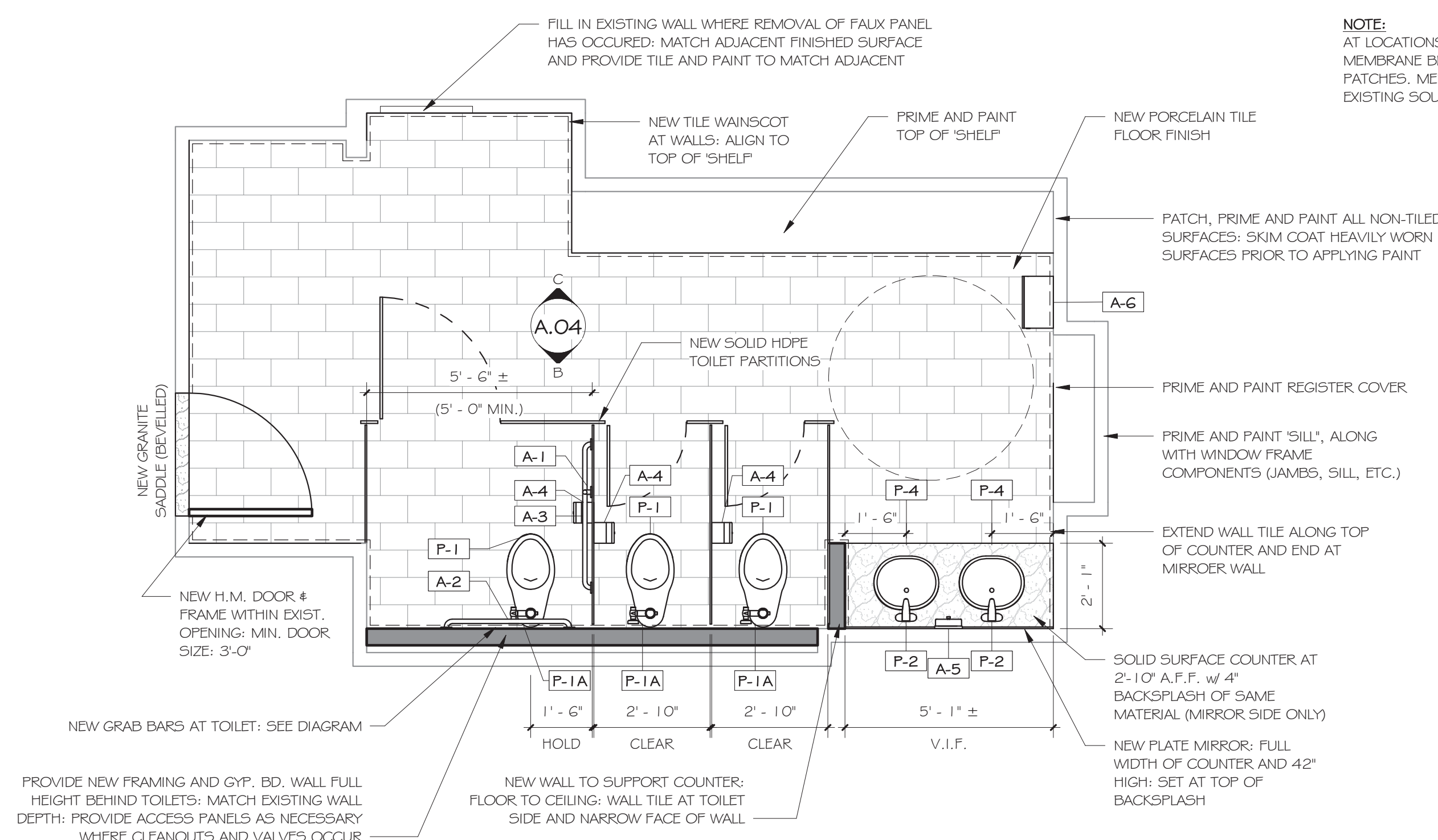
Seal: 

It is a violation of the New York State Education Law to alter these documents in any way once the seal and signature have been affixed by the Architect. Unless these drawings bear the seal and signature of the Architect they shall not be used for the purposes of acquiring a permit or for construction.

Issue Date: **June 28, 2017**
Project No.: **17-35**
Sheet No.: **A.02**

Sheet Title:

DEMOLITION DRAWINGS



Client / Project:

Toilet Upgrades
 Town of Yorktown

Yorktown Cultural & Community Center
 1974 Commerce Street
 Yorktown Heights, NY 10598

Area Map:

Revisions & Issues

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Building Dep't Submission:
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Seal:

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Issue Date: **June 28, 2017**

Project No.: **17-35**

Sheet No.: **A.03**

PROPOSED FLOOR PLANS

Client / Project:

Toilet Upgrades Town of Yorktown


Yorktown Cultural &
Community Center
1974 Commerce Street
Yorktown Heights, NY
10598

Area Map:

Revisions & Issues		
No.	Description	Date

Project Phase:

Building Dep't Submission: For Permit & Construction

Seal:  It is a violation of the New York State Education Law to alter these documents in any way once the seal and signature have been affixed by the Architect. Unless these drawings bear the seal and signature of the Architect they shall not be used for the purposes of acquiring a permit or for construction.

Issue Date: **June 28, 2017**
 Project No.: **17-35**
 Sheet No.: **A.04**

Sheet Title:

SCHEDULES AND INTERIOR ELEVATIONS

MARK	DESCRIPTION	MANUFACTURER	MODEL	REMARKS
L-1	24" x 24" LED Panel	CREE LIGHTING	FP22-34L-35K-1OV	w/ SMK-CR22 Mounting Kit
L-2	24" x 24" LED Panel w/ Emergency Battery	CREE LIGHTING	FP22-34L-35K-1OV-EB14	w/ SMK-CR22 Mounting Kit
L-3	24" x 48" LED Panel	CREE LIGHTING	FP24-40L-35K-1OV	w/ SMK-CR24 Mounting Kit
L-4	24" x 48" LED Panel w/ Emergency Battery	CREE LIGHTING	FP24-40L-35K-1OV-EB14	w/ SMK-CR24 Mounting Kit

LIGHTING MANUFACTURERS AND MODELS SHOWN AS REFERENCE.
 EQUAL ALTERNATIVES ACCEPTABLE - SEE SPECIFICATIONS.

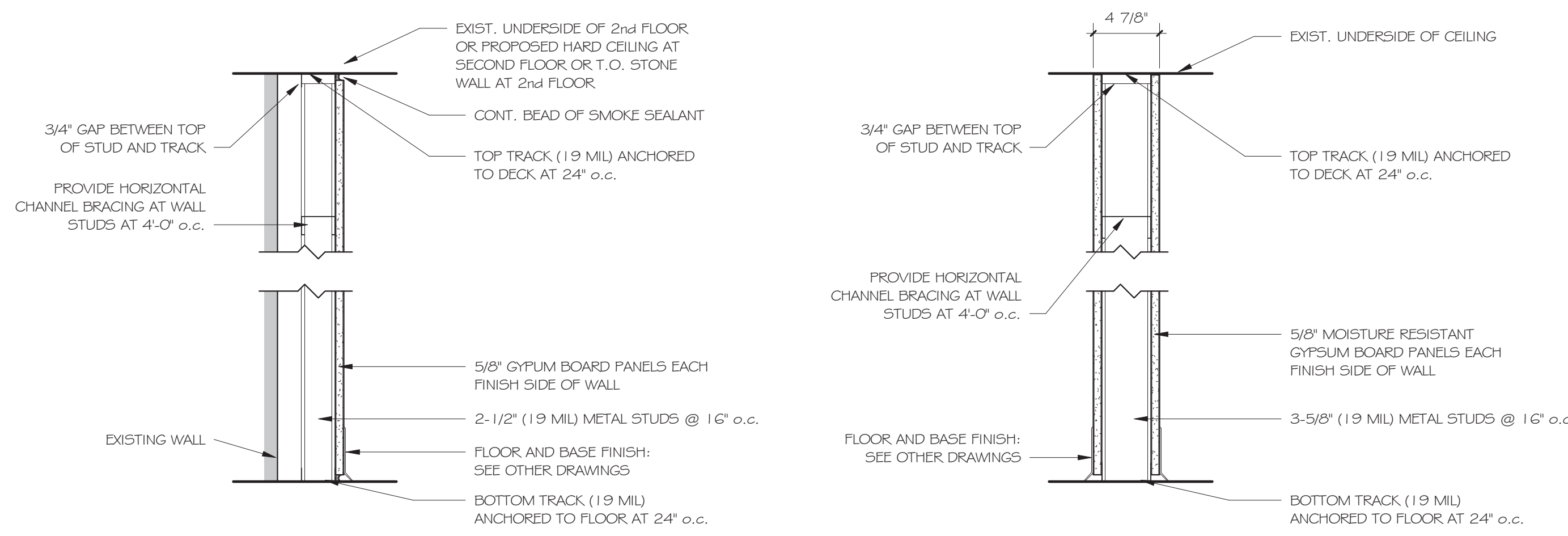
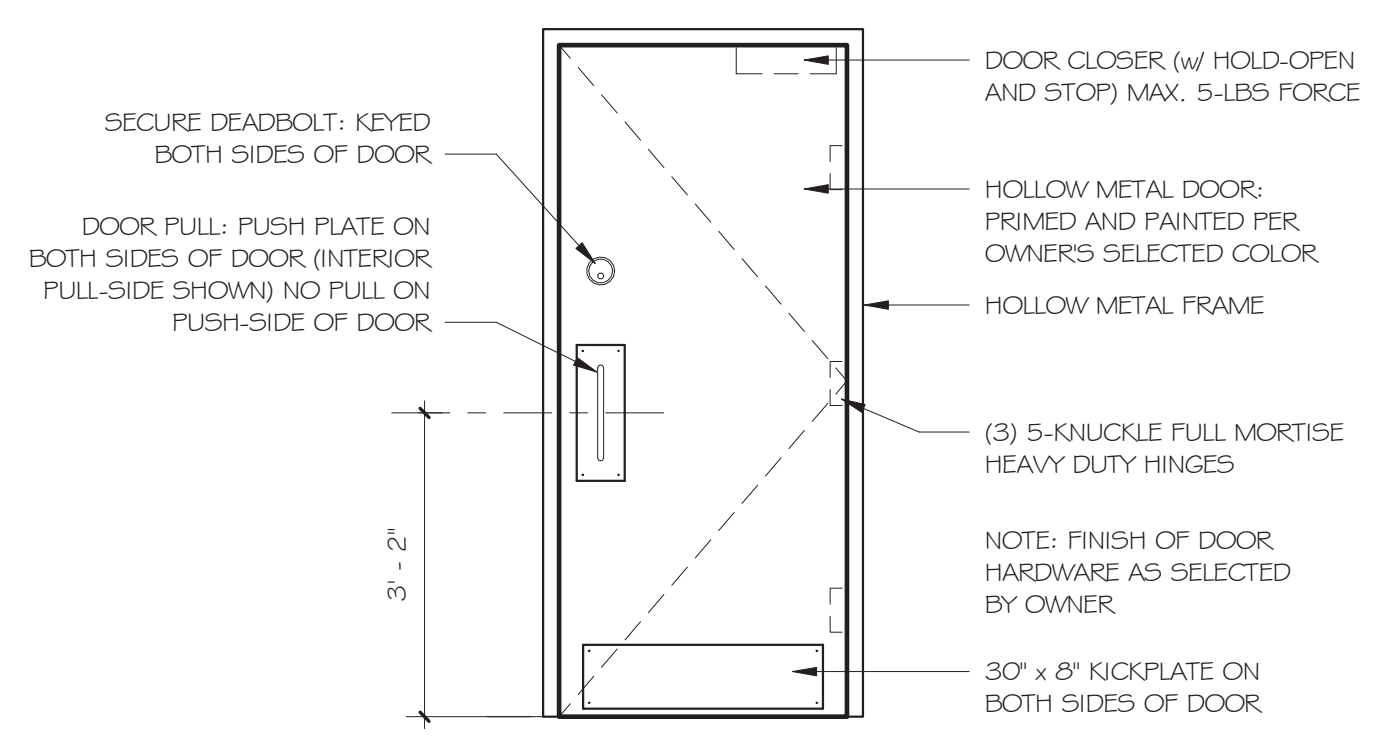
MARK	DESCRIPTION	MANUFACTURER	MODEL No.	REMARKS
P-1	Madera FloWise 16-1/2" Height 1.6/1.1 GPF Dual Flush Toilet System	American Standard	3461.576	
P-1A	'ELECTRONIC' FloWise Electronic 'No-Touch' Battery Dual-Flush Flush Valve Unit, C.P. low consumption, 6 LPF or 4.2L flush (1.6 GPF or 1.0 GPF) flush factory set flow, self cleaning piston operated flush valve with proximity operation and manual override, vacuum breaker, back-check angle stop, battery included, 11-1/2" (292mm) rough-in.	American Standard	6065.761.002	
P-2	6055.204 with cast spout, 0.35 GPM pressure compensating, vandal-resistant non-aerated spray, CR-P2 lithium battery included. Faucet is factory set for 7.5 second running time to deliver 0.044 gallons per cycle.	American Standard	6055.204.002	
P-3	Wall Mount Lavatory with 4" o.c. with Ever Clean Surface and Vitreous Shroud	American Standard	0954.004EC	
P-4	19" x 16" vitreous china undermount lavatory.	Zurn Industries, LLC.	Z5220	
P-5	Allbrook FloWise 0.5 GPF High Efficiency Urinal System wall hung for flush valve, vitreous china, siphon jet flush action 1.9 LPF (0.5 GPF) per flush, integral flush spreader, strainer, wall hanger, 3/4" (19mm) top spud. For use with exposed flush valve. 2" (50mm) outlet, connecting flange with gasket and bolts.	American Standard	6550.510	
P-5A	'ELECTRONIC' FloWise Electronic 'No-Touch' Battery Flush Valve Unit, C.P. low consumption, 1.9 LPF (0.5 GPF) factory set flow, self cleaning piston operated with proximity operation with manual override, vacuum breaker, back-check angle stop, battery included, 11-1/2" (292mm) rough-in.	American Standard	6063.051.002	

TOILET FIXTURE AND HARDWARE MANUFACTURERS AND MODELS SHOWN AS REFERENCE.
 EQUAL ALTERNATIVES ACCEPTABLE - SEE SPECIFICATIONS.

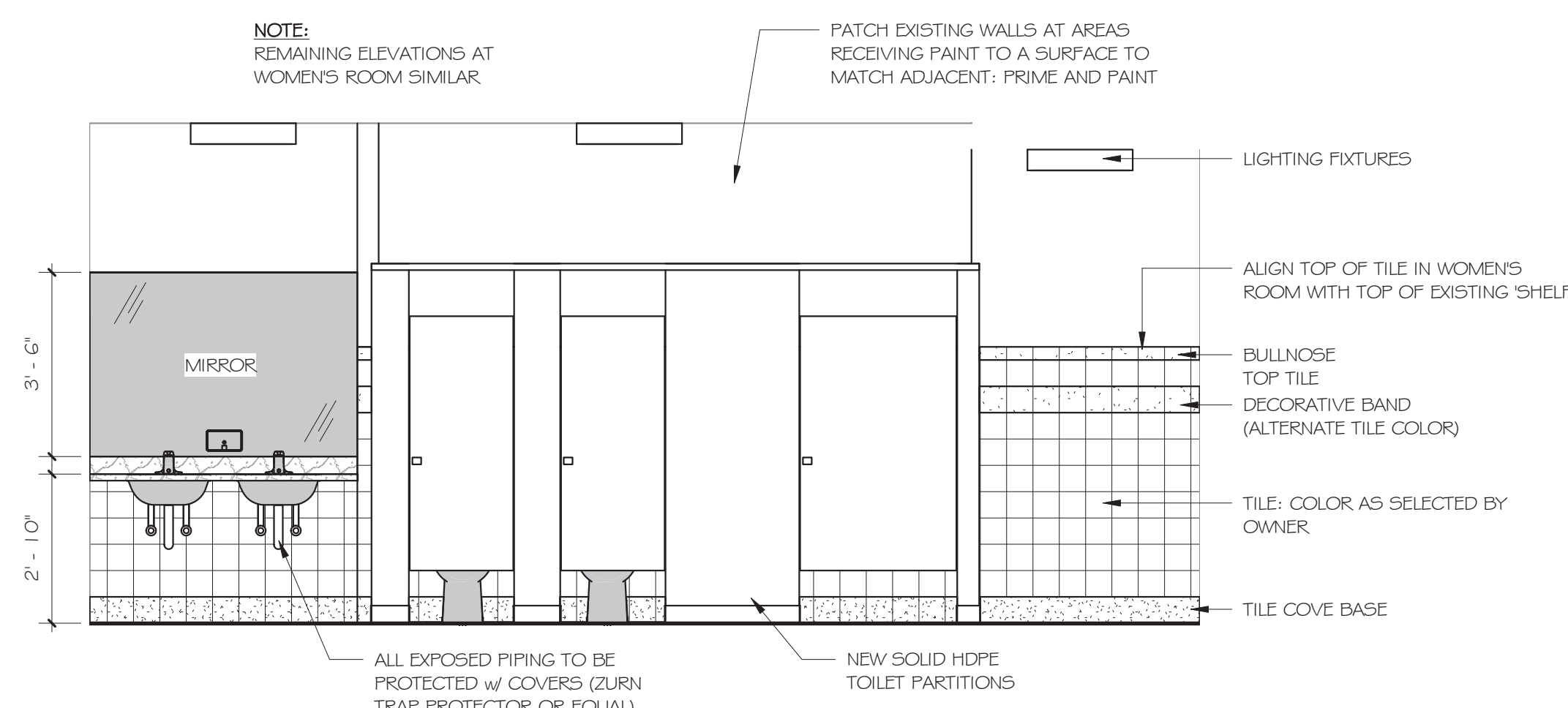
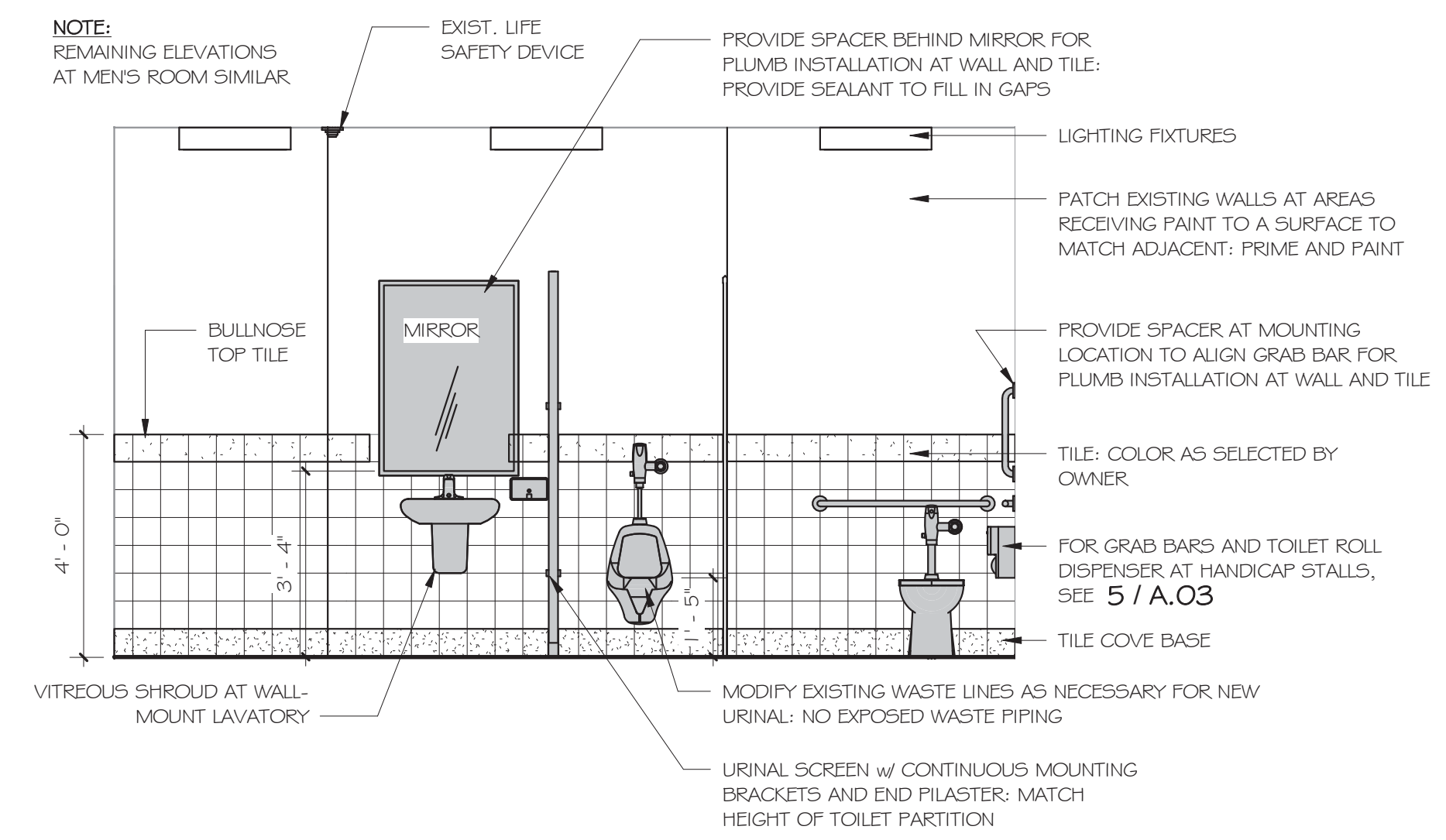
MARK	DESCRIPTION	MANUFACTURER	MODEL No.	REMARKS
A-1	1 1/4" Diameter Stainless Steel Grab Bars with Snap Flange	Bobnck Washroom Equipment, Inc.	B-5806 Series 18"	See Diagram for Location within Handicap Stall
A-2	1 1/4" Diameter Stainless Steel Grab Bars with Snap Flange	Bobnck Washroom Equipment, Inc.	B-5806 Series 36"	See Diagram for Location within Handicap Stall
A-3	1 1/4" Diameter Stainless Steel Grab Bars with Snap Flange	Bobnck Washroom Equipment, Inc.	B-5806 Series 42"	See Diagram for Location within Handicap Stall
A-4	Bobnck B-2888 Classic Series Surface Mounted Multi-roll Toilet Tissue Dispenser	Bobnck Washroom Equipment, Inc.	B-2888	See Diagram for Location within Handicap Stall
A-5	Bobnck B-2112 Classic Series Surface Mounted Soap Dispenser	Bobnck Washroom Equipment, Inc.	B-2112	Mount Spout at 40" A.F.F.
A-6	Paper Towel Dispenser for 7" Wide Roll - Smoke Grey	Granger Tough Guy	39E963	Mount Dispenser Opening at 40" A.F.F.

TOILET ACCESSORY MANUFACTURERS AND MODELS SHOWN AS REFERENCE.
 EQUAL ALTERNATIVES ACCEPTABLE - SEE SPECIFICATIONS.

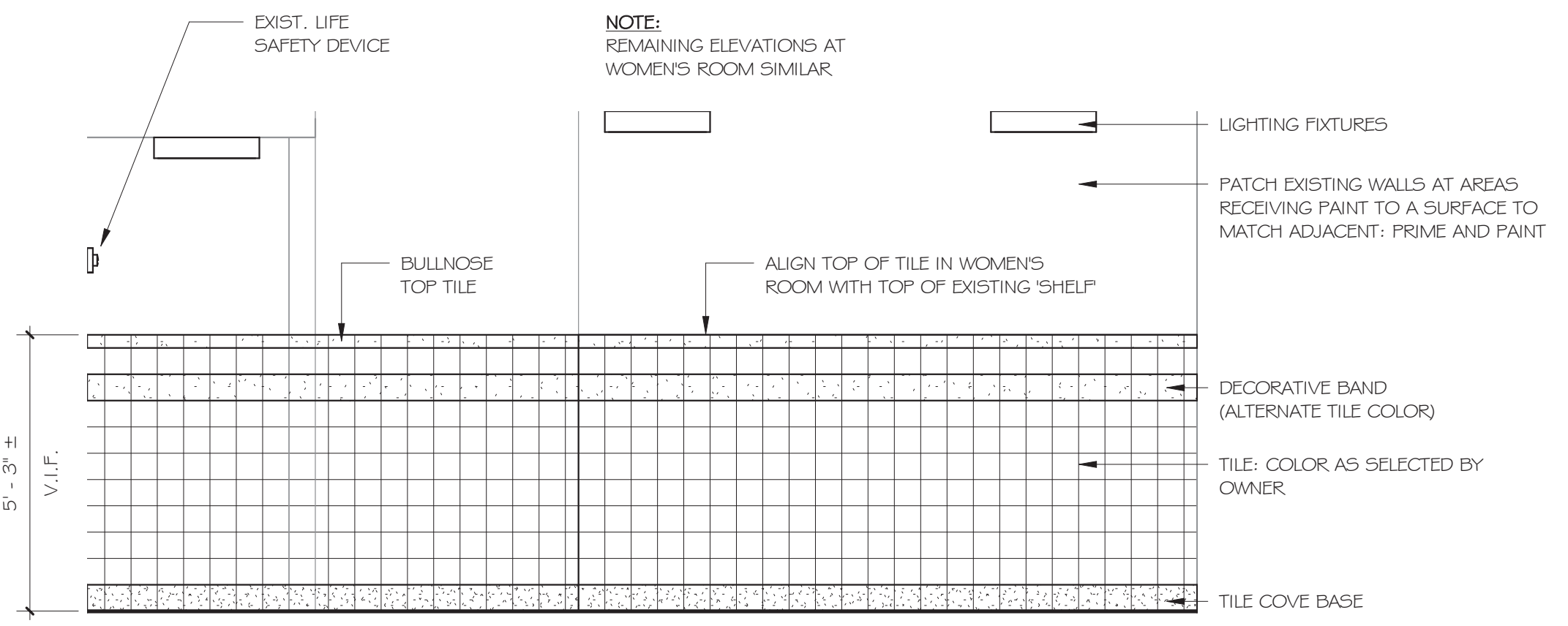
- GENERAL DOOR NOTES:**
- All hardware to comply with Chapter 10 and Chapter 11 of the New York State Building Code.
 - Verify all hardware with Owner prior to placing order.
 - G.C. shall verify and coordinate final cores and keying with Owner / Owner's Locksmith. Provide construction cores during course of work. Final cores to be either provided and installed by Owner / Owner's Locksmith or provided and installed by G.C. after Owner / Owner's Locksmith verifies keying.
 - Finish of all accessories (kick-plates, wall stops, weather-stripping, seals, etc.) and hardware to be coordinate w/ Owner prior to Contractor completing hardware schedule.
 - Provide silencers on all doors and weather stripping on all rated and exterior doors.
 - All lock sets shall have push-bars (on all panic devices) or lever-acting handles (on all non-panic devices) complying with ANSI A117.1.
 - Door heads shall be aligned with each other and door bottoms shall be undercut as necessary for saddle conditions.
 - Provide compliant hardware at all rated doors.
 - Refer to Specifications for additional information.



WALL TYPES
 1/2" = 1'-0"



ELEVATION - WOMEN'S - FRONT WALL
 3/8" = 1'-0"



ELEVATION - WOMEN'S - BACK WALL
 3/8" = 1'-0"