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BATHROOM RENOVATIONS

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10588



Michael Piccirillo Architecture

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ABBREVIATIONS

| | | | | | | | | | |
|--------|----------------------|----------|--------------------------|-------|--------------------|--------|------------------------|---------|-------------------------|
| AB | ANCHOR BOLT | DIAM | DIAMETER | INCL | INCLUDING | PTD | PAINTED | TELE | TELEPHONE |
| AT | ACOUSTICAL TILE | DIM | DIMENSION | I.D. | INSIDE DIAMETER | P.LAM | PLASTIC LAMINATE | TV | TELEVISION |
| A.F.F. | ABOVE FINISHED FLOOR | DN | DOWN | INSUL | INSULATION | PLWD | PLYWOOD | THK | THICKNESS |
| ADD. | ADDENDUM | DWG | DRAWING | INT | INTERIOR | PVC | POLYVINYL CHLORIDE | T&G | TONGUE AND GROOVE |
| A/C | AIR CONDITIONING | D.F. | DRINKING FOUNTAIN | INV | INVERT | P.C.F. | POUNDS PER CUBIT FOOT | T&B | TOP AND BOTTOM |
| ALT | ALTERNATE | ELEC | ELECTRICAL | JT | JOINT | P.S.F. | POUNDS PER SQUARE FOOT | T.O.S. | TOP OF SLAB |
| ALUM | ALUMINUM | E.W.C. | ELEC. WATER COOLER | | | P.S.I. | POUNDS PER SQUARE INCH | T.O.STL | TOP OF STEEL |
| ANOD | ANODIZED | ELEV | ELEVATION | LAM | LAMINATE | POL | POLISHED | T.O.W. | TOP OF WALL |
| ARCH | ARCHITECTURAL | EQ | EQUAL | LAV | LAVATORY | PLAS | PLASTER | TYP | TYPICAL |
| BSMT | BASEMENT | EXP | EXPOSED | L.F. | LINEAR FOOT | QT | QUARRY TILE | T.O.C. | TOP OF CURB |
| BIT | BITUMINOUS | EXT. | EXTERIOR | | | | | | |
| BLKG | BLOCKING | EXP. JT. | EXPANSION JOINT | MTL | METAL | RCP | REFLECTED CEILING PLAN | UL | UNDERWRITERS LABORATORY |
| BD | BOARD | MAS | MASONRY | RE | REFERENCE | RE | REFERENCE | UNO | UNLESS NOTED OTHERWISE |
| BLDG | BUILDING | MFR | MANUFACTURER | REINF | REINFORCED | REIN | REINFORCED | URINAL | URINAL |
| | | REV | REVISION | REQ | REQUIRED | REQ | REQUIRED | | |
| CAB | CABINET | F.F.E. | FINISHED FLOOR ELEV. | M.O. | MASONRY OPENING | R | RISER | V.C.T. | VINYL COMPOSITION TILE |
| CIP | CAST IN PLACE | F.P.S.C. | FIRE-PROOF, SELF-CLOSING | MECH | MECHANICAL | R | RISER | VB | VAPOR BARRIER |
| CPT | CARPET | FLR | FLOOR | MIN | MINIMUM | RM | ROOM | VERT | VERTICAL |
| C.B. | CATCH BASIN | FTG | FOOTING | | | R.O. | ROUGH OPENING | | |
| CLG | CEILING | FND | FOUNDATION | NOM | NOMINAL | | | | |
| CEM | CEMENT | N.I.C. | NOT IN CONTRACT | | | | | W/ | WITH |
| C.T. | CERAMIC TILE | N.T.S. | NOT TO SCALE | | | SIM | SIMILAR | WC | WATER CLOSET |
| COL | COLUMN | | | | | SPEC | SPECIFICATION | WCOT | WAINSCOT |
| CONC | CONCRETE | O.A.I. | OUTSIDE AIR INTAKE | O.C. | ON CENTER | SQ | SQUARE | WP | WATERPROOFING |
| CMU | CONC. MASONRY UNIT | O.H. | OVERHANG | O.C. | ON CENTER | S.F. | SQUARE FOOT | WR | WEATHER RESISTANT |
| CONST | CONSTRUCTION | OPNG | OPENING | O.H. | OVERHANG | S.Y. | SQUARE YARD | WS | WEATHERSTRIPPING |
| CONT | CONTINUOUS | OPP | OPPOSITE | OPNG | OPENING | S.S. | STAINLESS STEEL | WT | WEIGHT |
| C.F. | CUBIC FEET | OPD. | OUTSIDE DIAMETER | HT | HEIGHT | STD | STANDARD | W.W.F. | WELDED WIRE FABRIC |
| C.Y. | CUBIC YARD | O.D. | OUTSIDE DIAMETER | HM | HOLLOW METAL | STL | STEEL | W. | WIDE |
| | | HB | HOSE BIB | OPT | OPTION OR OPTIONAL | SYM | SYMBOL | WD | WOOD |

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2015 INTERNATIONAL BUILDING CODE AND LOCAL CODES. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES.
- THIS LAYOUT WAS BASED ON THE GIVEN CONFIGURATION AND FEATURES OF THE EXISTING STRUCTURE. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT WITHIN THE EXISTING STRUCTURE. THE GENERAL CONTRACTOR & EACH SUBCONTRACTOR SHALL CAREFULLY SURVEY AND EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. WHEN ESTABLISHING LAYOUT, CONTRACTOR SHALL CONTACT ARCHITECT FOR APPROVAL BEFORE COMMENCING WITH CONSTRUCTION.
- BEFORE SUBMITTING A PROPOSAL THE CONTRACTOR SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES W/ EXISTING CONDITIONS & SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK & THE DIFFICULTIES THAT ATTEND TO ITS EXECUTION.
- MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY THE MANUFACTURERS' PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.
- ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
- PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.
- CONTRACTOR SHALL PROTECT EXISTING PREMISES FROM DAMAGE DURING CONSTRUCTION.
- IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE CONTRACTOR.
- TIME REQUIRED TO COMPLETE THE PROJECT SHALL BE STATED IN CONTRACTOR'S PROPOSAL. AFTER AWARD OF JOB CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE FOR REVIEW, INDICATING THE SEQUENCE OF OPERATIONS AND TIME REQUIRED FOR EACH, ESTABLISHING A TARGET DATE.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER, CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE PROJECT.
- NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS SUBMITTED IN WRITING TO ARCHITECT/OWNER & APPROVED BY ARCHITECT/OWNER.
- CONTRACTOR SHALL PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, FURNISHINGS AND FIXTURES LIKELY TO BE DAMAGED. WHEN EXTERIOR OPENINGS ARE MADE IN EXISTING WORK, THEY SHALL BE COVERED WITH WATERTIGHT PROTECTION AT THE END OF THE DAY'S WORK.
- PATCH, REPAIR AND REPLACE ALL EXISTING WALLS, CEILINGS AND FLOORS DAMAGED DUE TO NEW CONSTRUCTION.
- STARTING TIME AND COMPLETION FOR CONSTRUCTION IS TO BE COORDINATED WITH OWNER AND AGREED UPON BY BOTH PARTIES.
- CONTRACTOR IS EXPECTED TO WORK ON JOB WITHOUT ANY UNREASONABLE DELAY. IF A DELAY IS TO OCCUR, NOTIFICATION TO THE OWNER SHALL BE REQUIRED.
- WORK PERFORMED OVER ANY SURFACE CONSTITUTES ACCEPTANCE OF THAT SURFACE FOR THE SPECIFIED QUALITY OF THE WORK BEING PERFORMED THEREON.
- THE CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY ADAPTATIONS TO THESE DRAWINGS OR SPECIFICATIONS REQUIRED BY LOCAL LIFE AND SAFETY CODES OR ANY OTHER GOVERNING AGENCY.
- SINCE IT IS NOT POSSIBLE TO INDICATE ON THE DRAWINGS ALL THE EXISTING WORK TO BE REMOVED BY DASHED LINES OR NOTES, THE CONTRACTOR IS ADVISED TO ACQUAINT HIMSELF WITH THE ACTUAL CONDITIONS AT LOCATIONS WHERE ALTERATIONS OCCUR.
- THE CONTRACTOR SHALL REPORT TO ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
- ALL CONSTRUCTION AND SUBCONTRACTED WORK IS TO BE PERFORMED BY CONTRACTORS LICENSED IN THE STATE WHERE THE WORK IS BEING EXECUTED.
- ALL CONTRACTORS ARE RESPONSIBLE TO CONFORM TO THE OWNER'S INSURANCE REQUIREMENTS AND TO PROVIDE A CERT. OF INSURANCE TO ALL PARTIES UPON AWARD OF CONTRACT.
- ALL CONTRACTORS ARE TO CONFORM WITH THE BUILDING OWNER'S REQUIREMENTS FOR DELIVERY TO THE SITE AND STORAGE OF ALL CONSTRUCTION MATERIALS.
- REMOVE DEBRIS AND ABANDONED ITEMS FROM AREA AND FROM CONCEALED SPACES. CONTRACTOR TO COORDINATE REMOVAL OF DEBRIS FROM SITE SO THAT IT DOES NOT INTERFERE WITH OWNER'S ACTIVITIES.
- PROPERLY PREPARE ALL SURFACES BEFORE APPLICATION OF FINISHES, IN STRICT ACCORDANCE WITH THE PRINTED RECOMMENDATIONS.
- EXECUTE PRIOR TO FINAL INSPECTION: CLEAN INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW, REMOVE TEMPORARY LABELS, STAINS AND FOREIGN SUBSTANCES. CLEAN FIXTURES AND CABINETS TO A SANITARY CONDITION.
- PERMITS:
A. GENERAL CONTRACTOR / SUBCONTRACTOR IS RESPONSIBLE FOR ALL INFORMATION AND DESIGN (INCLUDING ELECTRICAL, SPRINKLER, AND MECHANICAL) REQUIRED BY LOCAL BUILDING OFFICIAL TO OBTAIN ALL NECESSARY BUILDING PERMITS FOR CONSTRUCTION.
B. GENERAL CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED, UNLESS OTHERWISE SPECIFIED BY OWNER.
C. GENERAL CONTRACTOR SHALL OBTAIN FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SHALL FORWARD SAME TO OWNER.
- CLEANING:
A. MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATIONS OF WASTE, DEBRIS AND RUBBISH, CAUSED BY OPERATIONS.
B. AT COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS AND CLEAN ALL SIGHT-EXPOSED SURFACES. LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.
- WARRANTIES:
A. CONTRACTOR SHALL WARRANT THE WORK WILL BE FREE FROM DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE DATE OF OWNER'S ACCEPTANCE OR WITHIN SUCH PERIOD OF TIME AS MAY BE PRESCRIBED BY THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS; THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.
- THE CONTRACTORS' EXPERIENCE, EXPERTISE AND PROFESSIONAL JUDGMENT SHALL NOT BE DISREGARDED DURING THE CONSTRUCTION PROCESS. THE CONTRACTORS' INPUT, COMMENTS AND RECOMMENDATIONS WILL BE WELCOMED AND EXPECTED BY THE OWNER AND THE ARCHITECT. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED AND EMBRACED IF THEY HAVE MERIT AND A BETTER RESULT CAN BE ACHIEVED. SUCH CHANGES MAY NOT TAKE PLACE WITHOUT THE EXPRESS APPROVAL OF THE ARCHITECT/OWNER.

ALL NEW INTERIOR FINISHES SHALL COMPLY WITH 2015 INTERNATIONAL BUILDING CODE
-INTERIOR WALL AND CEILING FINISHES & CORRIDOR FINISHES SHALL BE A MIN CLASS "C" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX
-EXIT PASSAGE FINISHES SHALL BE A MIN CLASS "B" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX
-INTERIOR FLOOR FINISHES SHALL COMPLY WITH THE DOC FF 1 "PILL TEST"

PORTABLE FIRE EXTINGUISHERS

-EXISTING SPRINKLER SYSTEM SHALL BE MODIFIED PER NEW CONSTRUCTION TO PROVIDE THE REQUIRED COVERAGE FOR NEWLY CREATED SPACES. ALL SPRINKLER WORK/MODIFICATIONS SHALL BE DONE IN ACCORDANCE WITH NFPA 72.
-G.C. SHALL PROVIDE ENGINEER STAMPED SPRINKLER DRAWINGS

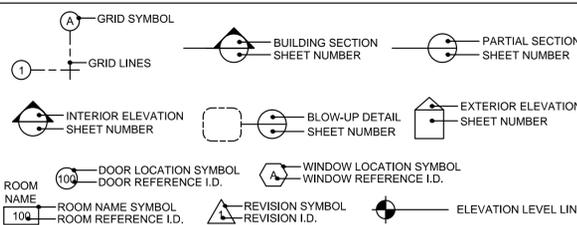
PLUMBING

-ALL PLUMBING FIXTURES AND DRAINS USED TO RECEIVE OR DISCHARGE LIQUID WASTE SHALL BE DIRECTLY CONNECTED TO THE SANITARY DRAINAGE SYSTEM IN ACCORDANCE WITH 2015 IPC.
-ALL PLUMBING FIXTURES AND APPLIANCES USING WATER SHALL BE CONNECTED TO THE WATER SUPPLY SYSTEM IN ACCORDANCE WITH 2015 IPC.
-THE SUPPLY LINES AND FITTINGS FOR EVERY PLUMBING FIXTURE SHALL BE INSTALLED SO AS TO PREVENT BACKFLOW IN ACCORDANCE WITH ASME A 112.18.1
-STRAINER PLATES AND DRAIN INLETS SHALL BE DESIGNED AND INSTALLED SO THAT ALL OPENINGS ARE NOT GREATER THAN 0.5" IN LEAST DIMENSION
-OPENINGS FOR PIPES MADE IN FLOORS, WALL, AND CEILINGS SHALL BE CLOSED AND PROTECTED BY INSTALLATION OF APPROVED METAL COLLARS THAT ARE FASTENED TO THE STRUCTURE. EXTERIOR WALL AND ROOF OPENINGS SHALL BE MADE WATER TIGHT WITH APPROVED FLASHING.
-BURIED PIPING SHALL BE SUPPORTED THROUGHOUT ITS ENTIRE LENGTH. PIPE TRENCHES SHALL BE LINED WITH FINE GRAVEL.
-THE DESIGN OF WATER DISTRIBUTION SYSTEM SHALL CONFORM TO ACCEPTED ENGINEERING PRACTICE. METHODS UTILIZED TO DETERMINE PIPE SIZES SHALL BE APPROVED.
-WATER SERVICE AND DISTRIBUTION PIPE SHALL CONFORM TO NSF 61.
-NEW PLUMBING FIXTURES SHALL BE ACCESSIBLE FIXTURES.

ELECTRICAL

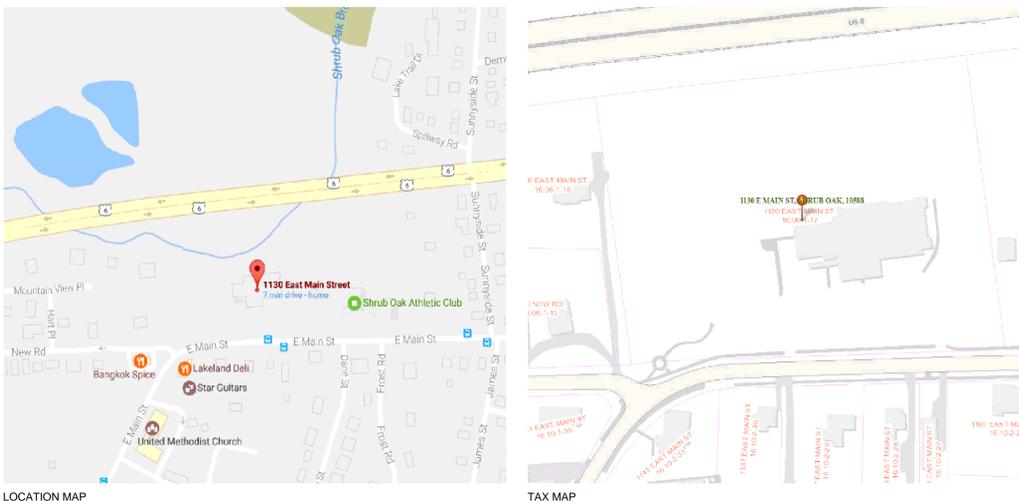
-NEW ELECTRICAL COMPONENTS, INCLUDING OUTLETS & LIGHTING, AND ALTERATIONS TO EXISTING ELECTRICAL INSTALLATIONS SHALL CONFORM TO NFPA 70.

REFERENCE SYMBOLS



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE R301.2(1)

| GROUND SNOW LOAD | WIND SPEED (MPH) | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE FROM | | | WINTER DESIGN TEMPERATURE | ICE SHIELD UNDERLAYMENT REQUIREMENT | FLOOD HAZARDS | |
|------------------|------------------|-------------------------|------------------------|------------------|----------------|---------------------------|-------------------------------------|---------------|--------|
| | | | WEATHERING | FROST DEPTH LINE | TERMITE | | | | DECAY |
| 30 PSF | 105-110 MPH | C | SEVERE | 42" | MODERATE HEAVY | SLIGHT MODERATE | 7° F | YES | ZONE X |



| No. | DATE | REVISION |
|-----|----------|---|
| 1 | 10/17/17 | ISSUED FOR BIDDING |
| 2 | 11/16/17 | REVISED AS PER ENGINEERING DEPT. COMMENTS |

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TITLE SHEET
NOTES
LOCATION & TAX MAPS

SCALE: AS NOTED DATE: 11-16-2017

DESIGN BY: BEK
CHECKED BY: MAP
DATE: 11-16-2017
1-100